

CITY OF LEWISTON
PLANNING BOARD MEETING
Monday, August 10, 2020 – 5:30 P.M.
Lewiston City Government
27 Pine Street, Lewiston, ME

AGENDA

Remote Meeting Information:

In accordance with An Act To Implement Provisions Necessary to the Health, Welfare and Safety of the Citizens of Maine in Response to the COVID-19 Public Health Emergency, as enacted to read: Sec. G-1 1 MRSA §403-A Public proceedings through remote access during declaration of state of emergency due to COVID-19, the meeting will be held through ZOOM video conferencing. To participate in the meeting please go to <https://www.lewistonmaine.gov/2020PB>

Information regarding this application is available at <http://www.lewistonmaine.gov/209/Planning-Board> Questions and comments on the application or meeting may be sent to dgreene@lewistonmaine.gov or by calling 207-513-3000, ext. 3223.

1. ROLL CALL

2. ADJUSTMENTS TO THE AGENDA

3. CORRESPONDENCE

4. PUBLIC HEARINGS:

- a. Ransom Consulting LLC, an agent for Avesta Housing Development Corporation, Inc., and the Lewiston Housing Authority has submitted a Development Review and Subdivision application for a 44 unit Senior Housing development on property located at 860 Lisbon Street.

5. OTHER BUSINESS

6. READING OF THE MINUTES: Motion to adopt the July 27, 2020 draft minutes.

7. ADJOURNMENT

The next scheduled Planning Board meeting is August 24, 2020

The City of Lewiston is an EOE. For more information, please visit our website @ www.lewistonmaine.gov and click on the Non-Discrimination Policy.



CITY OF LEWISTON

Department of Planning & Code Enforcement

TO: Lewiston Planning Board

FROM: Douglas Greene, AICP, RLA, City Planner

DATE: August 10, 2020

RE: Agenda Item 4a, Martel School Apartments, 860 Lisbon Street

Ransom Consulting LLC, an agent for Avesta Housing Development Corporation, Inc., and the Lewiston Housing Authority has submitted a Development Review and Subdivision application for a 44 unit Senior Housing development on property located at 860 Lisbon Street.

PROJECT DESCRIPTION

The property at 860 Lisbon Street is a total of 3.26 acres in size and includes the former Martel Elementary School, parking areas, and park with playground. The property is zoned Office Residential (OR), which allows the proposed multi-family development as a permitted use. The OR district requires 3,000 sf. of lot area for each dwelling unit, which would allow up to 47 units. Avesta Housing has a purchase and sales agreement to acquire the entire property and will apply for Maine State Housing Tax Credits. No Tax Increment Financing is requested. 2.2 acres will be developed as senior housing and related parking, and the remaining land will continue as a small park with an easement to the City. The redevelopment of the former Martel Elementary School preserves the older, three-story brick school building that faces Lisbon Street, and a new three-story wing will replace the one-story section of the school.

Stormwater Management and Landscaping-

The proposed development reduces the impervious surface area in the project area by 20,068 sf. or 14%. The proposed stormwater management system will replace the existing combined sewer connection with separate storm and sanitary sewer drains. The applicant's landscape plan adds street trees and shrub plantings to buffer parking areas along street frontages, a patio area with plantings, benches for seating, and four landscaped rain gardens.

Vehicular Access-

There will be one entrance to the site on East Avenue and one on Marston Street. An existing driveway entrance, closer to the intersection of Lisbon Street and East Avenue, will be removed. The cul-de-sac at the end of Marston Street is undersized, and the applicant has proposed a "T-turn-around" leg that extends into the subject property to facilitate emergency vehicle movements. To avoid yard and setback conflicts, the "T-turn around" will be a public easement, rather than a dedicated right-of-way. Public Works and the Fire Department have reviewed and approved this approach. An angled access drive/path at the rear of the "T-turn-around" will create access for maintenance vehicles to the park. The proposed access drive/path location will necessitate the removal of a swing set in the playground.

Parking-

The applicant proposes 44 parking spaces, with 15 handicapped accessible spaces and nine compact parking spaces in a parking area along the Lisbon Street frontage. Senior housing development requires .5 spaces per unit with .1 spaces per unit for guests, which would require 26 spaces total spaces.

Sidewalks-

New sidewalks within the Project will allow residents access around the development and will connect to the patio area. The existing sidewalks along Marston Street, Lisbon Street, and East Avenue will be improved as necessary. Currently, pedestrians using the sidewalk on East Avenue near the western entrance into the Shaw's Shopping Center must walk in the driveway to get to the grocery store. The Staff has had discussions with the applicant, Shaw's, and the City and will work on an easement agreement, design, construction plans, funding, and maintenance for a new sidewalk connection to Shaw's along the southeastern edge of the property.

Public Transportation-

The Staff looked at the availability of access to public transportation (Citylink bus) and received comments from Marsha Bennett, Transit Coordinator for Androscoggin Valley Council of Governments, who reported:

“The issue is, the bus is traveling in the wrong direction on both East Avenue and Lisbon Street to provide curbside service to Martel. A person would be required to cross Lisbon Street or East Avenue to catch the bus. A person living at Martel School would have to walk to Shaw's. There is a sidewalk on East Avenue, but there is not a sidewalk entering the Shaw's parking lot from East Avenue”.

In addition, Ms. Bennett mentioned,

“The Androscoggin Transportation Resource Center (ATRC) is kicking off a transit study within the next month. The consultants will be talking to planning staff to get current projects, proposed projects, development areas, etc., to design and improve the system. If the Martel School project moves forward, it will most likely be taken into consideration by the consultants when designing the Lisbon Street route.”

Green Space and Senior Center-

The purchase and sales agreement (Attachment B in the application) contains two provisions worth mentioning.

1. Green Space.

The purchase and Sales agreement provides that the deed to the developer will include an easement which “provides that the former Martel School playground (“Open Space”), located to the rear of the Real Estate, shall remain as open space for recreational use by the residents of the Project and citizens of Lewiston, and permits the City to install, maintain and replace playground equipment. The terms of such reserved easement shall be subject to the mutual satisfaction of the Buyer and the City. The Buyer agrees to cause Lewiston Housing Authority to mow and maintain the Open Space. If the City decides to replace the playground equipment, the cost of the equipment and installation

will be paid by the City. The City shall maintain liability insurance coverage for the playground equipment, naming Buyer as an additional insured.”

An easement agreement between the developer and the City has not been finalized with the final details but will be executed prior to the closing on the property. (See the condition of approval #1)

2. Senior Center.

At the time the City entered into the purchase and sales agreement, it was agreed that the developer will “work with the City on the feasibility of providing space in the ground floor of the original Martel School building for a senior center possibly to include the relocation of the existing senior center from the Lewiston Armory.”

As of the time of writing this staff report, it appears that there will not be a community based senior center as part of the Martel School Apartment project.

LIST TYPES OF APPROVALS

The submitted application will require the Planning Board to review and take action on Article XIII, Development Review and Standards, Section 4, Approval Criteria for the Development Review portion and Article XIII, Development Review Standards, Section 5, Coordination with State Subdivision Law for the subdivision component.

Development Review- The Staff has reviewed the application and subsequent revisions and finds the applicant meets the approval criteria for Article XIII, Section 4, on pages 3-6 of the application narrative.

Subdivision- The application to create 44 senior housing units meets the definition of a subdivision and therefore requires subdivision approval. The applicant adequately addressed the standards of Article XIII, Section 5, on pages 6-7 of the application narrative.

STAFF REVIEW and COMMENTS

Staff brought the following topics to the attention of the applicant:

1. Pedestrian access to the park and Shaw’s.
2. Details on all easements for the park, “T-turn-around,” and sidewalks.
3. Conflict of parked cars intruding on the sidewalk adjacent to the park.
4. Access by project residents to city bus service.
5. Indicate snow storage on the site plan.
6. Addition of notes to the site plan.
7. Will the rain gardens be planted?
8. How will the City gain access to the park for maintenance?

The applicant’s response to the staff comments is located in the application narrative. All other review comments from city staff have been addressed to the Staff’s satisfaction with the revisions provided by the applicant.

STAFF RECOMMENDATION

Staff recommends APPROVAL of the Project, with the following conditions:

1. Prior to closing on the property at 860 Lisbon Street, the applicant and City of Lewiston will execute an easement and maintenance agreement for the:
 - a. "T-turn-around"
 - b. Access way to the park
 - c. Sidewalks
 - d. Fencing between the Park and Playground areas

2. The applicant will work collaboratively with the City of Lewiston and WS Development (Shaw's) to explore the feasibility of extending the proposed pathway through the park and adjacent property to the bus stop and Shaw's Shopping Center.

ACTION NECESSARY

Make a motion that the application submitted by Ransom Consulting LLC, on behalf of Avesta Housing Development Corporation, Inc., and the Lewiston Housing Authority to construct a 44-unit multi-family building for senior housing located at 860 Lisbon Street meets all of the necessary criteria contained in the Zoning and Land Use Code, including, but not limited to Article XIII, Section 4 of the Zoning and Land Use Code, and Article XIII, Development Review Standards, Section 5, Coordination with State Subdivision Law and that approval be granted with the above mentioned conditions, along with any other conditions raised by the Planning Board.



Consulting
Engineers
and Scientists

August 6, 2020

Mr. Douglas M. Greene; AICP
City Planner
Deputy Director Planning and Code Enforcement
City Hall Building
27 Pine Street
Lewiston, ME 04240

Subject: Martel School Apartments
860 Lisbon Street
Map 176, Lot 64
Submission for Major Site Plan and Subdivision Review/Approval

Dear Mr. Greene,

On behalf of Avesta Housing Development Corporation (the Applicant) and their partner, Lewiston Housing Authority, Ransom Consulting LLC (Ransom) is pleased to make this submission for Major Site Plan/Subdivision Plan Review and seek approval for the Martel School Apartments. Attached in this submission package, immediately following this cover letter, is our response to staff review comments received July 20, 2020.

The Applicant proposes to renovate the c. 1922 historic portion of the Martel School building and to construct a new three-story wing to create a total of 44 units of residential housing and space that the City can finish to create a senior center. The existing single-story building addition, circa 1960-70s, as well as the single-story wooden outbuilding will be demolished. Four (4) two-bedroom units and forty (40) one-bedroom units are proposed. The overall project cost is estimated to be approximately \$10.4 million. The total building area for the existing three-story building that is proposed to remain is 12,540 SF and the total floor area for the proposed three-story building addition is 28,875 SF.

The Martel School property provides an excellent opportunity to repurpose an existing historic structure and vacant City owned land to provide much needed housing for seniors in Lewiston. The site is approximately 3.26 acres. The northern third of the site, consisting of a field and playground, will remain mostly undisturbed with a recreational easement in favor of the City of Lewiston to preserve ongoing use of the green area, while the southern two thirds will be redeveloped to provide parking, pathways, stormwater management, and other site amenities to support the proposed residential housing and senior center.

The proposed site plan will reduce the property's impervious area and impervious coverage ratio significantly, which will, in turn, reduce peak stormwater runoff rates and the burden of the Martel School site on Lewiston's municipal drainage system. Rain gardens are proposed as part of the stormwater management system and the Applicant will remove the existing stormwater connection to the combined Marston Street sewer. Additional detail can be found in the attached stormwater report. Of the approximately 2.2-acre total development area, the impervious area will be 43,530 SF for a coverage ratio of 30.7%, with rain garden landscape areas to be created around the building and parking areas to control and treat runoff.

The proposed new wing will be three floors. Accompanying this application are the preliminary elevations generated by Platz Associates.

The Applicant has developed similar multi-family housing projects throughout Maine and New Hampshire, including developments that incorporate new construction and historic renovation. Lewiston Housing Authority, who will own and manage the property when complete, has extensive experience with similar properties throughout the Lewiston community.

Based on the site and development size, the project will be subject only to Local Site Plan and Subdivision review and it will not require review related to the MaineDEP Site Location of Development Act for projects involving greater than three acres of new structure/imperious area, for which Lewiston has delegated review authority.

The land for the proposed project is a single lot at 860 Lisbon Street, currently owned by the City of Lewiston (Map 176, Lot 64).

The site control documents providing Right, Title & Interest to the applicant are as follows:

- A signed Purchase and Sale Agreement between Avesta Housing Development Cooperation and the City of Lewiston. A copy of this agreement is included in Attachment B to this submission.

Ransom has been retained and authorized on behalf of the Applicant, to perform all work necessary to submit this application. The Site Plan application fee of \$700 is included with this application.

PROJECT DESCRIPTION

The property is located within the Office-Residential (OR) District, that Section 8 of Article XI of the City of Lewiston Ordinance describes as:

“Statement of purpose. The purpose of the office-residential district is to provide for the orderly transition of older residential areas along major traffic arteries to low-intensity nonresidential uses and multifamily housing. The conversion of existing properties from residential to nonresidential use should occur in a manner which preserves the architectural character of the neighborhood, provides controlled traffic access and adequate parking and protects adjoining residential neighborhoods from undesirable impacts.

The proposed use is a multi-unit senior housing development, which is consistent with the statement of purpose which prioritizes multi-family housing. The architectural character of the original Martel School building will be preserved. The applicant proposes 44 parking spaces, which is more than the 31 required for the residential units and senior center. In order to improve traffic flow, the applicant proposes to remove the curb cut on East Avenue that is closest to the intersection of Lisbon Street and to relocate the curb cut on Marston Street further away from Lisbon Street. The proposed senior housing is not anticipated to generate any undesirable impacts.

Evidence of the Applicant’s financial and technical capacity to meet the City’s development standards are provided in the application as Attachment C.

SUPPORTING EVIDENCE FOR APPROVAL

In accordance with Article XIII - Section 4 - Approval Criteria, the following evidence is provided:

Utilization of the Site

The proposed development will be clustered in the southern half of the site leaving the existing green space and playground to remain. The three-story building with elevator provides an efficient footprint that allows for the reduction of impervious area and for the addition of green space. There are no wetlands, floodplains, or any other natural features that would prevent or restrict the development potential for the site.

Traffic Movement into and Out of the Development Area.

At less than 100 vehicle trips in the AM or PM peak hours, the traffic volumes are low enough to preclude the need for a traffic movement permit. A trip generation and parking calculation prepared by Ransom has been included in this application as Attachment D.

Access to the Site.

Vehicular access to the development will be via curb cuts from both East Avenue and Marston Street. Pedestrian access to the site is provided via sidewalks from East Avenue Marston Street and Lisbon Street. The curb cut on Marston Street will be shifted away from Lisbon Street to improve sight distances and to provide more space for queuing/turning vehicles. There are currently two curb cuts from East Avenue. In order to minimize the potential for conflicts, improve sightlines and minimize our impact on the Lisbon-East intersection, the curb cut closest to the intersection will be removed. On balance, the proposed site access will be an improvement when compared with the existing conditions.

Internal Vehicular Circulation

Internal vehicular circulation is provided by an access drive/aisle that connects to Marston Street and East Avenue. Turning movement diagrams for an SU-30, which represents a delivery truck and WB-40, which represents a ladder truck, are provided as Attachment E. These vehicles can access and drive through the site and do not need to back out onto Marston or Lisbon Streets.

Pedestrian Circulation

Pedestrian access through the site is provided by an internal network of pathways. There is a proposed sidewalk connection to Marston Street as well as a sidewalk that runs from East Avenue to Marston Street with access to the building and the playground/field. Also, a pathway is provided from the building to the corner of East Avenue and Lisbon Street to connect to these sidewalks; potentially to facilitate pedestrian trips to the downtown area.

Stormwater Management

The proposed development will have less impervious area than the existing site. The stormwater management plan was designed so that existing drainage patterns are not significantly altered. However, the connection to the combined sewer in Marston Street will be removed and all of the stormwater runoff from the site will discharge to separated storm drains in East Avenue and Lisbon Street. Also, rain gardens are proposed around the site to provide a high-quality stormwater management feature that integrates nicely with the landscaping package and takes maximum advantage of the available footprint. A stormwater management report prepared by Ransom is included in this application as Attachment F.

Erosion Control

The Erosion Control Plan is incorporated into the design plans and includes the locations of the erosion control provisions (i.e., mulch berms, silt sacks, erosion control blanket) along with a narrative and construction details for reference by the contractor during construction. Provisions for periodic inspection and maintenance of erosion control measures and good housekeeping are included in the plan.

Water Supply

The Applicant proposes to install a new 6" diameter water line for fire protection and to reuse the existing 4" dia. water line for domestic service. Service will be provided from the 12" watermain in East Avenue.

Sewage Disposal

Wastewater from the site will discharge from the site to the City's municipal sewer system via the sewer main in East Avenue. The Applicant proposes to reuse the existing sewer services if feasible (based on video inspection) or to replace the sewer services with new 6" PVC sewers if the existing sewers are determined not to be in good condition.

Utilities

Power and communications services will be provided from existing overhead three-phase power and communications lines in East Avenue.

Natural Features

The site does not have any significant natural features; however, the existing field to the north will be preserved and greenspace will be added to the site. Trees will be preserved to the greatest extent feasible and trees that must be removed will be replaced.

Groundwater Protection

The project will connect to public water supply and wastewater collection systems, so the groundwater conditions will not be negatively affected. There is the potential for some groundwater recharge due to infiltration in the rain gardens.

Water and Air Pollution

There are no projected undue water or air pollution generators on the project. The mechanical systems are modern and efficient with very minor air emissions, and the site has natural rain gardens to address runoff.

Exterior Lighting

In order to provide minimum lighting levels for safety while avoiding light trespass, building mounted lights are proposed at the entrances, 12-foot site lights are provided adjacent to the parking areas and bollard lighting is proposed for the patio area. All lights will be LED and meet full cutoff standards. A lighting plan is included in the site plans and light fixture cut sheets are included as Attachment G: Site Lighting Cut Sheets.

Waste Disposal

An outdoor trash and recycling dumpster enclosure is proposed, with waste removal services provided by contract with a local vendor. The enclosure will have privacy fencing as shown in the site plans.

Lot Layout

The property will remain a single lot meeting all the requirements of the Office-Residential zone per the following table.

Zoning Summary

1.	Property is located in the	Office-Residential	zoning district.
2.	Parcel Area:	3.26 acres / 142,006	square feet(sf).
Regulations		<u>Required/Allowed</u>	<u>Provided</u>
Min Lot Area		20,000 SF	20,000 SF
Street Frontage		100 ft	100 ft
Min Front Yard		20 ft	20 ft
Min Rear Yard		10 ft	10 ft
Min Side Yard		10 ft	10 ft
Max. Building Height		35 ft	35 ft
Use Designation		Vacant	Multi-Family Res
Parking Requirement		0.5 / per d.u. + 0.1 / per d.u. (visitor) + 1/200 sf community center space	
Total Parking:		31	44
Overlay zoning districts (if any):		N/A	N/A
Urban impaired stream watershed?	YES/NO	If yes, watershed name	N/A

Landscaping

The proposed landscape plan includes planted rain garden features to manage stormwater and buffer the building and site. Street trees are proposed along Marston Street, Lisbon Street and East Avenue. Much of the green space will be a perennial pollinator meadow with native species. Plantings are proposed throughout the site with a particular emphasis on buffering parking/headlights from the building and city streets.

Shoreland Relationship

Not applicable to this project.

Open Space

The compact footprints of the three-story buildings will allow most of the site to remain as ospace. As mentioned above, the field and playground area in the northern portion of the site will remain. A patio area is proposed near the main/elevator entrance to the building, and benches/seating areas as well as walkways are provided throughout the site. Additionally, the proposed senior center will provide year-round opportunities for social engagement.

Technical and Financial Capacity

Evidence of the Applicant’s financial and technical capacity to meet the City’s development standards are provided in the application as Attachment C.

Buffering

The existing and proposed buildings are set well back from Lisbon Street and East Avenue and will be buffered with sizable green spaces. To the north, the project will be buffered by the existing field as well as plantings along the access drive to Shaws. Due to site constraints and our parking needs, the head in parking

along Marston Street will be between 5-feet and 10-feet from the Marston Street right of way. The area between Marston Street and the parking will be planted to minimize the impacts on the City sidewalk/public realm and an additional 4-foot wide esplanade will be provided between the Marston Street right-of-way and the sidewalk. All other proposed parking will be at least 10-feet away from public rights of way.

Compliance with District Regulations

To the best of our knowledge, we believe the proposed project will be compliant with all of the district regulations for the Office-Residential District in Article XI, and that the provisions for parking and open space will be satisfactory to the Board.

Design Consistent with Performance Standards

To the best of our knowledge, we believe the proposed project design will be consistent with all of the performance standards identified in Article XII.

In accordance with Article XIII- Section 5 – Coordination with State Subdivision Law, the following evidence is provided:

1. The proposed development will not result in undue water or air pollution as the project site is not located within or near a floodplain or other natural resource areas. The existing historic building will be repurposed, and the project will be supported by the existing utility infrastructure.
2. The project will tap into the same local public water supply used by the former Martel School on the property, for which there is documentation of capacity availability and no additional wells are proposed.
3. To the best of our knowledge, there is sufficient water supply capacity and this project would not pose undue burden on the existing water system. LPW has been contacted in regard to water service for the project and their response is currently pending.
4. The project includes sediment and erosion control measures, both temporary forms for protection during construction, and permanent measures in the form of rain gardens that will actually serve to increase the capacity for the soils to retain moisture.
5. Because this project will replace a former school with senior housing, we do not anticipate that additional traffic will be generated, particularly during peak hours. Please refer to the trip generation memorandum included as Attachment D for additional details.
6. Because this project will replace a former school with senior housing and will be connecting to the existing municipal wastewater collection system, we anticipate that the overall wastewater generation will be less than historic values.
7. The removal of solid waste from the site will be provided through a contract with a local private waste hauler and an enclosed exterior storage container will be provided to minimize any disturbance to the municipal waste removal system.
8. There are no natural features or resources that the proposed project will have an adverse effect upon. The project will repurpose a vacant City lot while retaining public access to the existing open space.

9. Located within the Office-Residential District, the project provides senior housing that is wholly consistent with the purpose of the district and the City's comprehensive plan.
10. Evidence of the Applicant's financial and technical capacity to meet the City's development standards are provided in the application as Attachment C.
11. The project is not situated within 250 feet of any pond, lake, or waterway.
12. The project will utilize existing municipal water supply and wastewater/sewerage systems and thus would have no impact on the quality or quantity of groundwater.
13. The site is not located within a mapped flood area (Zone X) according to Federal Emergency Management Agency's Flood Boundary and Floodway Maps and Flood Insurance Rate Maps.
14. The proposed building addition height will be approximately 31 feet from the finish floor elevation of the first floor to the top of the roof deck, and approximately 32 feet from the average proposed grade adjacent to the building addition (based on the average of spot grades at the 4 building corners). This is less than the 35' maximum height in the Office-Residential District. Also, the height of the proposed building addition will be close to the height of the existing building.

PROJECT PLANS

A complete set of civil and architectural plans detailing the proposed site work, site details, building floor plans and building elevations are provided in the application as Attachment I. The full-size drawings include:

- Cover Sheet
- Existing Conditions Plan
- Notes & Legend
- Demolition & Erosion Control Plan
- Subdivision Plan
- Site Plan
- Grading and Drainage Plan
- Utility Plan
- Erosion Control and Construction
- Civil Details
- Landscape Plan
- Lighting Plan
- Architectural Floor Plans
- Architectural Elevations

Additionally, the following information is included in support of this application:

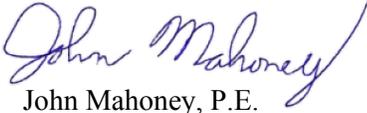
<u>Attachment</u>	<u>Description</u>
A	Development Review Application and Checklist
B	Purchase and Sale Agreement
C	Technical and Financial Capacity
D	Trip Generation and Parking Calculation Memorandum
E	Turning Movement Diagrams
F	Stormwater Management Report
G	Lighting Cut Sheets

H
I

Property Deeds & Easements
Site Plans

We look forward to presenting the proposed building development plan at the upcoming August 2020 Planning Board meeting. Please do not hesitate to contact me if you have any questions or need more information in the meantime.

Sincerely,

A handwritten signature in blue ink that reads "John Mahoney". The signature is written in a cursive, flowing style.

John Mahoney, P.E.
Attachments

CC: Catherine Elliott, Avesta Housing
Tom Platz, Platz Associates

August 6, 2020

Douglas Greene, AICP, RLA
Deputy Director/City Planner
City of Lewiston
27 Pine Street
Lewiston, Maine 04240

Re: Martel School Apartments
Response to Comments
Lewiston, Maine

Dear Mr. Greene,

Ransom Consulting, LLC., (Ransom) has prepared the following responses to City Staff comments and have the following responses.

Site Plan Review Comments July 20, 2020:

Department of Planning & Code Enforcement:

1. *Comment - How will residents of the project safely access the Shaw's Shopping Center?*

Response: Please see the attached revised site and subdivision plans which propose a pathway from the sidewalk along the park from East Avenue along the Shaw's driveway to the Store. The pathway runs behind the tree line along the field which will be more pleasant for pedestrians and as was discussed on our July 24 site walk with City staff.

While the applicant is fully committed to working with the City and Shaw's to achieve the proposed connection, we think it is important to highlight that work will be needed on the abutting Shaw's property, which we do not control.

2. *Comment - How will residents of the project access the park?*

Response: Residents can access the park via the crosswalk at the north end of the building. They could also use Marston Street or East Street sidewalks although those are less direct. The applicant is hopeful that the fencing between the development and the park can be removed to improve connectivity. If the fencing cannot be removed, a gap or gate would be installed.

3. *Comment - Please show any existing or proposed easements such as: the Shaw's entrance, new sidewalk on Marston Street, city access through the site and into the park.*

Response: Please see the attached revised subdivision and site plans which include all existing and proposed easements. The applicant is proposing a public access and maintenance easement for the park and playground, the turnaround area, and the connection from the turnaround to the park. The sidewalk on Marston Street is entirely within the ROW. The

Douglas Greene, AICP, RLA
Deputy Director/City Planner
City of Lewiston

sidewalk from East Avenue to Marston Street is entirely within the proposed public access easement.

4. *Comment - Concern over parked cars overlapping into the adjacent sidewalk along the park boundary.*

Response: Please see the attached revised subdivision and site plans which include an esplanade between the parking spaces and sidewalk adjacent to the field.

5. *Comment - Has any consideration been given for residents to have access to city bus service?*

Response: There are bus stops (inbound and outbound) at the Shaw's supermarket, which could potentially be accessed via the connection discussed under comment #1.

6. *Comment - Will ADA tip-downs at the street intersections of Lisbon Street and East Avenue, and Lisbon Street and Marston Street be provided?*

Response: Yes, ADA compliant crossings will be provided at all driveway crossings and street intersections. This includes a maximum of 2% cross slope where sidewalks cross driveways and streets. Curbing transitions (tip-downs) will be provided to develop ADA compliant routes and crossings.

7. *Comment - Show snow storage areas.*

Response: Please see the attached revised site plan which include snow storage areas shown throughout the development.

8. *Comment - Add note regarding post construction performance guarantee.*

Response: A note has been added to the plans.

9. *Comment - Add notes regarding inspection and report that storm water facilities and all site improvements have been constructed as per the approved site plan.*

Response: A note has been added to the plans.

10. *Comment - Clarify whether rain gardens will be planted or not. The application narrative states they will be planted (page 5).*

Response: The intent is that the rain gardens would be planted. Please see the attached revised Landscape Plans.

11. *Are other amenities planned for the on-site outdoor/open space?*

Response: A patio area is provided with benches and pathways are provided throughout the site.

Douglas Greene, AICP, RLA
Deputy Director/City Planner
City of Lewiston

12. Relocate small curve of sidewalk to be off of the *Quadrant* apartment property.

Response: Please see the attached revised subdivision and site plans, which do not propose any construction on the *Quadrant* apartment property.

13. Resolve maintenance access into the park from the project area.

Response: The revised subdivision and site plans show a proposed easement which contains the turnaround on *Marston Street* and the field/playground area. It is expected that the maintenance crews will access the park from the turnaround area via the 10' wide paved pathway shown on the plans.

Public Works Department:

1. Comment - Public Work's only concern at this point is providing vehicular access for City crew to maintain the playground and park.

Response: See comment 13 above.

Fire Department:

No Comments

Police Department:

No Comments

Sincerely,



Amber Ferland, P. E.
Associate Project Manager



John Mahoney, P.E.
Project Manager

CC: Catherine Elliott, Avesta Housing
Tom Platz, Platz Associates

Attachment A

Development Review Application and Checklist



Development Review Application

City of Auburn Planning and Permitting Department
City of Lewiston Department of Planning and Code Enforcement



PROJECT NAME: Martel School Apartments

PROPOSED DEVELOPMENT ADDRESS: 860 Lisbon St

PARCEL ID#: RE00006182

REVIEW TYPE: **Site Plan/Special Exception** **Site Plan Amendment**
 Subdivision **Subdivision Amendment**

PROJECT DESCRIPTION: The applicant proposes to renovate the historic portion of Martel School Building and to construct a three-story building addition to provide 44 units of residential housing and a senior center. Four (4) two-bedroom units and forty (40) one-bedroom units are proposed.

CONTACT INFORMATION:

Applicant Avesta Housing

Name: Catherine Elliott, Avesta Housing
Address: 307 Cumberland Ave, Portland
Zip Code 04101
Work #: (207) 245-3345
Cell #:
Fax #: (207) 553-7778
Home #:
Email: CElliott@avestahousing.org

Project Representative

Name: John Mahoney, Ransom Consulting
Address: 400 Commercial St, Portland
Zip Code 04101
Work #: (207) 772-2891 x32
Cell #: (207) 831-6165
Fax #:
Home #:
Email: john.mahoney@ransomenv.com

Property Owner

Name: City of Lewiston, Martel School
Address: 27 Pine St, Lewiston
Zip Code 04240
Work #: (207) 513-3000
Cell #:
Fax #:
Home #:
Email:

Other professional representatives for the project (surveyors, engineers, etc.),

Name: Randy Loubier, Owen Haskell, Inc.
Address: 390 US Route One, Falmouth
Zip Code 04105
Work #: (207) 774-0424
Cell #:
Fax #:
Home #:
Email: rloubier@owen haskell.com

PROJECT DATA

The following information is required where applicable, in order to complete the application

IMPERVIOUS SURFACE AREA/RATIO

Existing Total Impervious Area	63,598	sq. ft.
Proposed Total Paved Area	29,337	sq. ft.
Proposed Total Impervious Area	43,530	sq. ft.
Proposed Impervious Net Change	-20,068	sq. ft.
Impervious surface ratio existing	44.8	% of lot area
Impervious surface ratio proposed	30.7	% of lot area

BUILDING AREA/LOT COVERAGE

Existing Building Footprint	22,830	sq. ft.
Proposed Building Footprint	9,715	sq. ft.
Proposed Building Footprint Net change	-13,116	sq. ft.
Existing Total Building Floor Area (existing historic structure to remain)	29,738	sq. ft.
Proposed Total Building Floor Area (proposed 3-story structure)	28,275	sq. ft.
Proposed Building Floor Area Net Change	-1,463	sq. ft.
New Building	Yes	(yes or no)
Building Area/Lot coverage existing	16.1	% of lot area
Building Area/Lot coverage proposed	6.8	% of lot area

ZONING

Existing	<u>Office-Residential</u>
Proposed, if applicable	<u>Office-Residential</u>

LAND USE

Existing	<u>Vacant Lot/Previous School</u>
Proposed	<u>Multi-Family Residential</u>

RESIDENTIAL, IF APPLICABLE

Existing Number of Residential Units	<u>0</u>
Proposed Number of Residential Units	<u>44</u>
Subdivision, Proposed Number of Lots	<u>1</u>

PARKING SPACES

Existing Number of Parking Spaces	<u>43</u>
Proposed Number of Parking Spaces	<u>44</u>
Required Number of Parking Spaces	<u>31</u>
Number of Handicapped Parking Spaces	<u>16</u>

ESTIMATED COST OF PROJECT

\$10,400,000

DELEGATED REVIEW AUTHORITY CHECKLIST

SITE LOCATION OF DEVELOPMENT AND STORMWATER MANAGEMENT

Existing Impervious Area	1.47 acres	sq. ft.
Proposed Disturbed Area	2.2 acres	sq. ft.
Proposed Impervious Area	0.99 acres	sq. ft.

1. *If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with MDEP.*
2. *If the proposed impervious area is greater than one acre including any impervious area created since 11/16/05, then the applicant shall apply for a MDEP Stormwater Management Permit, Chapter 500, with the City.*
3. *If total impervious area (including structures, pavement, etc) is greater than 3 acres since 1971 but less than 7 acres, then the applicant shall apply for a Site Location of Development Permit with the City. If more than 7 acres then the application shall be made to MDEP unless determined otherwise.*
4. *If the development is a subdivision of more than 20 acres but less than 100 acres then the applicant shall apply for a Site Location of Development Permit with the City. If more than 100 acres then the application shall be made to MDEP unless determined otherwise.*

TRAFFIC ESTIMATE

Total traffic estimated in the peak hour-existing higher PCE for 275 students passenger car equivalents (PCE)
(Since July 1, 1997)

Total traffic estimated in the peak hour-proposed (Since July 1, 1997) 25 passenger car equivalents (PCE)
If the proposed increase in traffic exceeds 100 one-way trips in the peak hour then a traffic movement permit will be required.

Zoning Summary

1. Property is located in the Office-Residential zoning district.
 2. Parcel Area: 3.26 acres / 142,006 square feet(sf).

Regulations	<u>Required/Allowed</u>	<u>Provided</u>
Min Lot Area	20,000 SF	/ 20,000 SF
Street Frontage	100 ft	/ 100 ft
Min Front Yard	20 ft	/ 20 ft
Min Rear Yard	10 ft	/ 10 ft
Min Side Yard	10 ft	/ 10 ft
Max. Building Height	35 ft	/ 35 ft
Use Designation	Vacant	/ Multi-Family Res
Parking Requirement	0.5 / per d.u. + 0.1 / per d.u. (visitor) + 1/200 sf community center space	
Total Parking:	31	/ 44
Overlay zoning districts (if any):	N/A	/ N/A / N/A
Urban impaired stream watershed?	YES/NO If yes, watershed name <u>N/A</u>	

DEVELOPMENT REVIEW APPLICATION SUBMISSION

Submission shall include payment of fee and fifteen (15) complete packets containing the following materials:

1. Full size plans containing the information found in the attached sample plan checklist.
2. Application form that is completed and signed.
3. Cover letter stating the nature of the project.
4. All written submittals including evidence of right, title and interest.
5. Copy of the checklist completed for the proposal listing the material contained in the submitted application.

Refer to the application checklist for a detailed list of submittal requirements.

L/A's development review process and requirements have been made similar for convenience and to encourage development. Each City's ordinances are available online at their prospective websites:

Auburn: www.auburnmaine.org under City Departments/ Planning and Permitting/Land Use Division/ [Zoning Ordinance](#)

Lewiston: <http://www.ci.lewiston.me.us/clerk/ordinances.htm> Refer to Appendix A of the Code of Ordinances

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, I certify that the City's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for development review only; a Performance Guarantee, Inspection Fee, Building Permit Application and other associated fees and permits will be required prior to construction.

Signature of Applicant: 	Date: 7/8/2020
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Development Review Checklist

City of Auburn Planning and Permitting Department
City of Lewiston Department of Planning and Code Enforcement



THE FOLLOWING INFORMATION IS REQUIRED WHERE APPLICABLE TO BE SUBMITTED FOR AN APPLICATION TO BE COMPLETE

PROJECT NAME: Martel School Apartments

PROPOSED DEVELOPMENT ADDRESS and PARCEL #: 860 Lisbon Street, Map 176, Lot 64

Required Information		Check Submitted		Applicable Ordinance	
		Applicant	Staff	Lewiston	Auburn
Site Plan					
	Owner's Names/Address	X			
	Names of Development	X			
	Professionally Prepared Plan	X			
	Tax Map or Street/Parcel Number	X			
	Zoning of Property	X			
	Distance to Property Lines	X			
	Boundaries of Abutting land	X			
	Show Setbacks, Yards and Buffers	X			
	Airport Area of Influence (Auburn only)				
	Parking Space Calcs	X			
	Drive Openings/Locations	X			
	Subdivision Restrictions	X			
	Proposed Use	X			
	PB/BOA/Other Restrictions	X			
	Fire Department Review	X			
	Open Space/Lot Coverage	X			
	Lot Layout (Lewiston only)	X			
	Existing Building (s)	X			
	Existing Streets, etc.	X			
	Existing Driveways, etc.	X			
	Proposed Building(s)	X			
	Proposed Driveways	X			
Landscape Plan					
	Greenspace Requirements	X			
	Setbacks to Parking	X			
	Buffer Requirements	X			
	Street Tree Requirements	X			
	Screened Dumpsters	X			
	Additional Design Guidelines	X			

	Planting Schedule	X			
Stormwater & Erosion Control Plan					
	Compliance w/ chapter 500	X			
	Show Existing Surface Drainage	X			
	Direction of Flow	X			
	Location of Catch Basins, etc.	X			
	Drainage Calculations	X			
	Erosion Control Measures	X			
	Maine Construction General Permit	X			
	Bonding and Inspection Fees	X			
	Post-Construction Stormwater Plan	X			
	Inspection/monitoring requirements	X			
	Third Party Inspections (Lewiston only)	X			
Lighting Plan					
	Full cut-off fixtures	X			
	Meets Parking Lot Requirements	X			
Traffic Information					
	Access Management	X			
	Signage	X			
	PCE - Trips in Peak Hour	X			
	Vehicular Movements	X			
	Safety Concerns	X			
	Pedestrian Circulation	X			
	Police Traffic	X			
	Engineering Traffic	X			
Utility Plan					
Ransom	Water	X			
Ransom	Adequacy of Water Supply	X			
N/A	Water main extension agreement	N/A			
Ransom	Sewer	X			
	Available city capacity	X			
	Electric	X			
	Natural Gas	X			
	Cable/Phone	X			
Natural Resources					
	Shoreland Zone	N/A			
	Flood Plain	N/A			
	Wetlands or Streams	N/A			
	Urban Impaired Stream	N/A			
	Phosphorus Check	N/A			
	Aquifer/Groundwater Protection	N/A			
	Applicable State Permits	N/A			
	No Name Pond Watershed (Lewiston only)	N/A			

	Lake Auburn Watershed (Auburn only)	N/A			
	Taylor Pond Watershed (Auburn only)	N/A			
Right Title or Interest					
	Verify	X			
	Document Existing Easements, Covenants, etc.	X			
Technical & Financial Capacity					
	Cost Est./Financial Capacity	X			
	Performance Guarantee	X			
State Subdivision Law					
	Verify/Check	X			
	Covenants/Deed Restrictions	X			
	Offers of Conveyance to City	X			
	Association Documents	N/A			
	Location of Proposed Streets & Sidewalks	X			
	Proposed Lot Lines, etc.	N/A			
	Data to Determine Lots, etc.	N/A			
	Subdivision Lots/Blocks	N/A			
	Specified Dedication of Land	N/A			
Additional Subdivision Standards					
	Single-Family Cluster (Lewiston only)	N/A			
	Multi-Unit Residential Development (Lewiston only)	X			
	Mobile Home Parks	N/A			
	Private Commercial or Industrial Subdivisions (Lewiston only)	N/A			
	PUD (Auburn only)	N/A			
A jpeg or pdf of the proposed site plan		X			
Final sets of the approved plans shall be submitted digitally to the City, on a CD or DVD, in AutoCAD format R 14 or greater, along with PDF images of the plans for archiving					

Attachment B

Purchase and Sale Agreement

OPTION AGREEMENT

THIS OPTION AGREEMENT (“Agreement”) is made as of May __, 2020 (“Effective Date”) between the City of Lewiston (the “City”), and Avesta Housing Development Corporation, a Maine nonprofit corporation (“Buyer”).

BACKGROUND

The City is the owner of the land and buildings situated at 860 Lisbon Street, Lewiston, Maine, more particularly described in deeds recorded in the Androscoggin County Registry of Deeds, Book 337, Page 302, Book 342, Page 92, Book 342, Page 271 and Book 342, Page 313 which includes the former Martel School (collectively the “Real Estate”). The City wishes to grant to Buyer an option to purchase the Real Estate.

The parties agree as follows:

1. **Option.** The City grants to Buyer an exclusive option to purchase the Real Estate as provided in this Agreement during the Option Term.
2. **Option Price.** The option price is **\$10,000** (“Option Price”), receipt of which is hereby acknowledged by the City. The Option Price shall be applied towards the purchase price if Buyer exercises its option.
3. **Option Term.** The option term (“Option Term”) shall commence on the Effective Date and continue for **two years** after the Effective Date, with an extension of one additional year if approved by the City Administrator.
4. **Cooperation by the City.** The City shall cooperate with (a) the performance of tests by Buyer, and (b) application by Buyer, at its expense, for all licenses and permits or authorizations required for the Project from all applicable government and/or regulatory entities (collectively, “Governmental Approvals”).
5. **Grant of Access License and Permission to Seek Government Approvals.** Commencing on the Effective Date and throughout the Option Term, the City grants to Buyer, an irrevocable, exclusive license (“License”) to (a) enter upon the Real Estate at any time and from time to time to conduct, at Buyer’s expense and risk, such tests, inspections, surveys and investigations as Buyer deems necessary or appropriate to evaluate the suitability of the Real Estate for the Project and (b) seek Government Approvals during the Option Term for the Project. During the Option Term, the Buyer shall not install any permanent improvements or structures on the Real Estate. If Buyer does not exercise its option during the Option Term, Buyer shall, at Buyer’s sole cost and expense, promptly remove any and all liens, improvements, personal property, equipment, goods, and other property, and all trash, debris, and other refuse from the Real Estate that are the result of such tests, and shall have no other rights in and to the Real Estate.

6. Exercise. Buyer shall exercise its option by written notice to the City given during the Option Term.
7. Purchase Price. The purchase price for the acquisition of the Real Estate shall be **\$129,000**. The purchase price shall be paid in full (less the Option Price) at the closing.
8. Representations and Warranties. The City represents and warrants to Buyer that, as of the date of this Agreement and as of the date of the closing:
 - 8.1. No Pending Litigation Affecting Real Estate. There is no legal proceeding pending or threatened (or, to the best knowledge of the City, any basis for such a proceeding) against the City affecting any portion of the Real Estate in any court or before any arbitrator of any kind or before or by any governmental body.
 - 8.2. No Leases or Contracts. There are no leases, subleases or agreements concerning the ownership, leasing, subleasing or occupancy of the Real Estate. There are no service contracts, maintenance agreements or other agreements with respect to the Real Estate.
 - 8.3. Compliance with Laws. All applicable laws, statutes, ordinances and regulations have been complied with in regard to the Real Estate.
9. Termination. If Buyer objects to any exceptions to the title of the Real Estate or to the environmental conditions of the Real Estate during the Option Term, the City shall have the option, at the City's sole discretion, to use reasonable efforts to cure such defects at the City's own expense during the next **60** days. If the City cannot cure the defects within the **60** day time period, or such additional period as Buyer, in Buyer's sole discretion, may allow, Buyer may elect to terminate the option on the Real Estate. Buyer shall notify the City of such election, in which case the Option Price shall be refunded to Buyer and the obligations of all parties under this Agreement shall terminate. Alternatively, Buyer may elect to purchase the Real Estate as provided under the provisions of this Agreement subject to any defects which cannot be removed.
10. Closing and Payment. The closing shall take place at Buyer's election but not later than **60** days after the exercise of the option, at the offices of Brann & Isaacson, 184 Main Street, Lewiston, Maine, or such other place within the State of Maine as the parties may select. Buyer will make all closing payments by wire or by certified, cashier's or attorney trust account check.
11. Conveyance, Conditions of Sale and Payment.
 - 11.1. Title. The City shall convey the Real Estate by municipal quitclaim deed, free and clear of all liens, rights to liens, claims, encumbrances, and other matters affecting title, subject only to conventional utility easements and such restrictions as would not make the title unmarketable. The title shall also be insurable by any reputable title insurance company licensed to do business in the State of Maine.

The City will execute such typical seller affidavits and closing documents as may approved by the City's counsel.

- 11.2. Possession. At the time of the closing, the City will deliver exclusive possession of the Real Estate to Buyer free of all leases, tenancies or occupancies by any person or entity.
- 11.3. Green Space. The City's deed shall retain an easement which provides that the former Martel School playground ("Open Space"), located to the rear of the Real Estate, shall remain as open space for recreational use by the residents of the Project and citizens of Lewiston, and permits the City to install, maintain and replace playground equipment. The terms of such reserved easement shall be subject to the mutual satisfaction of Buyer and the City. Buyer agrees to cause Lewiston Housing Authority to mow and maintain the Open Space. If the City decides to replace the playground equipment, the cost of the equipment and installation will be paid by the City. The City shall maintain liability insurance coverage for the playground equipment, naming Buyer as an additional insured.
- 11.4. Senior Center. Buyer agrees to work with the City on the feasibility of providing space in ground floor of the original Martel School building for a senior center ("Senior Center"), possibly to include the relocation of the existing senior center from the Lewiston Armory. The parties have not yet determined the size of the Senior Center. The cost of renovation and/or new construction required for the Senior Center, including accessibility improvement if needed, will be paid by the City. The parties will reach a decision concerning the feasibility of the Senior Center no later than August 15, 2020. The parties agree to discuss in good faith the ownership structure relating to the senior center, which may include a long term lease or, in the alternative, condominium form of ownership.
- 11.5. Payment in Lieu of Taxes. Although Buyer is a nonprofit entity, the deed shall contain a condition that Buyer will pay full property taxes on the Real Estate. Nothing contained in this Section shall preclude Buyer from seeking an abatement of real property taxes in accordance with Maine law.
- 11.6. No TIF or HOME Funding. Buyer agrees not to seek tax increment financing or HOME funding (except as set forth in Section 11.7 below) from the City for the Project.
- 11.7. Funding for Environmental Remediation. If environmental contamination is found on the Real Estate, Buyer may apply for financial support from the City to assist in remediation. This support could include a reduction in the purchase price, HOME, CDBG or Brownfields funding or any combination thereof.

12. Miscellaneous.

- 12.1. Brokers. Neither the City nor Buyer has retained a real estate broker in this transaction. Each agrees to hold harmless and indemnify the other from and against any losses, damages, costs or expenses that either party may suffer as a result of claims made or suits brought by any broker in connection with this transaction, the indemnifying party to be the party whose conduct gives rise to such claim.
- 12.2. Time. Time is of the essence in all matters relating to this Agreement.
- 12.3. Headings. Section headings are for convenience only. They are not intended to expand or restrict the scope or the substance of the provisions of this Agreement.
- 12.4. Binding Effect. This Agreement shall be binding on the successors and assigns of the City and Buyer.
- 12.5. Assignment. This Agreement may not be assigned or delegated by either party without the prior written consent of the other party, except that Buyer may assign to an affiliate controlled by Buyer or to Lewiston-Auburn Area Housing Development Corp. or an affiliate controlled by Lewiston-Auburn Area Housing Development Corp..
- 12.6. Amendment. This Agreement may not be amended, modified or revoked except by a writing signed by both parties.
- 12.7. Counterparts. This Agreement may be signed on any number of counterparts with the same effect as if the signatures were on the same instrument. The parties agree to conduct business by electronic means.
- 12.8. Governing Law. This Agreement shall be governed by Maine law.
- 12.9. Notices. Any notices required by this Agreement shall be in writing and be given:

To the City:

To Buyer:

Edward A. Barrett, City Administrator
City of Lewiston
27 Pine Street
Lewiston, ME 04240

Avesta Housing Development Corporation
307 Cumberland Avenue
Portland, ME 04101

or such other persons and addresses as a party may designate by notice to the other party. All such notices shall be effective upon receipt or refusal when delivered in person, by certified mail, return receipt requested or by delivery service providing proof of receipt.

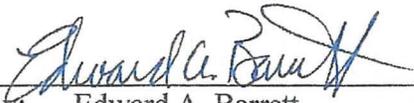
12.10. Entire Agreement. This Agreement contains the entire and only agreement between the parties and no oral statements or representations or prior written matter not contained in this Agreement shall have any force and effect.

[SIGNATURE PAGE FOLLOWS]

Executed by the parties as of the date first written above

City of Lewiston

Avesta Housing Development Corporation


By: Edward A. Barrett
Its: Administrator
Dated: 5-7-2020, 2020


By: Dana Totman, its President
Dated: 5/15/20, 2020

Attachment C

Technical and Financial Capacity



Martel School Apartments | Development Team
July 2, 2020

Martel School Senior Housing LP will be the owner of Martel School Apartments. The General Partner of the limited partnership will be a related entity of Lewiston Housing Authority, and the Limited Partner will be a TBD tax credit syndicator.

Avesta Housing Development Corporation is the Development Consultant on this project and will manage all aspects of pre-construction, construction, and construction closeout. AHDC currently holds the purchase option for the property, which will be assigned to the Limited Partnership at construction loan closing. Please see attached for additional information about AHDC's development experience and capacity.

Lewiston Housing Authority will be the Management Company for this building and will provide all lease-up, occupancy, and building maintenance/management support to the property. Their extensive portfolio and experience in the Lewiston-Auburn market mean they are ideally suited for this role.

Platz Associates is the Architect on the project. Platz Associates has decades of experience designing and building multifamily apartment buildings in and around the Greater Lewiston/Auburn area, including the recent completion of Hartley Block on Lisbon Street and the pending Blake & Pine development.

Selected Developer Experience - Avesta Housing Development Corporation - 2015-2019

Property	City	State	Type	Construction	Income Targeting	Total Units	Year Completed
409 Cumberland Ave	Portland	ME	Rental	New	Mixed Income	57	2015
Golden Park Maple	Saco	ME	Rental	New	100% Affordable	32	2015
1 Meeting Place	Exeter	NH	Rental	New	100% Affordable	39	2015
Thomas Heights	Portland	ME	Rental	New	100% Affordable	18	2015
Young Street	South Berwick	ME	Rental	New	100% Affordable	28	2015
Steeple Square	Westbrook	ME	Rental	New	100% Affordable	73	2015
Butler Payson	Portland	ME	Rental	Rehab	100% Affordable	56	2015
Ridgewood II	Gorham	ME	Rental	New	100% Affordable	24	2016
Bayside Anchor	Portland	ME	Rental	New	Mixed Income	45	2016
Huston Commons	Portland	ME	Rental	New	100% Affordable	30	2017
Bartlett Woods	Yarmouth	ME	Rental	New	100% Affordable	28	2017
Meadows I	Hampton Falls	NH	Rental	New	100% Affordable	24	2017
Carleton Street	Portland	ME	Rental	New	100% Affordable	37	2017
Blackstone	Falmouth	ME	Rental	New/Rehab	100% Affordable	39	2018
3 Meeting Place (4th	Exeter	NH	Rental	New	Mixed Income	43	2018
Fox School	South Paris	ME	Rental	Adaptive Reuse	100% Affordable	12	2019
Southgate	Scarborough	ME	Rental	New/Adaptive Reuse	100% Affordable	38	2019



Rebecca Hatfield

Vice President of Real Estate Development & Management

Rebecca Hatfield joined Avesta Housing in 2015 as an Assets and Acquisitions Officer. She was promoted to Director of Real Estate Development in 2017 and subsequently promoted to her current role in 2019. Rebecca is responsible for overseeing real estate development and property management for Avesta. Prior to Avesta, Rebecca was a Senior Vice President at Citigroup working in various roles within the commercial and corporate bank. She has over a decade of experience in finance with a focus on deal structuring, underwriting, credit risk analysis, and portfolio management. Additionally, she has extensive experience completing real estate transactions. Rebecca's previous employment also includes five years as a software and network management engineer, serving as Project Manager and Lead Developer.

Rebecca earned a B.S. in Computer and Information Science from University of Maryland and an M.B.A from University of California Los Angeles, Anderson School of Management. She is a Certified Compliance Professional (C3P) for Low Income Housing Tax Credits. She currently serves as a board member for the Maine Council on Aging and Genesis Community Loan Fund.

Todd Rothstein, CPHC

Director of Construction Services

Todd Rothstein started at Avesta Housing in 2013 as the Director of Construction Services. He is responsible for managing the construction design standards and processes for new and major-rehabilitation projects. He plays a major role in most pre-construction design and construction planning of new projects and works with the real estate development staff as an owner's representative during select construction projects. Todd also works with our Property Management division staff to improve energy efficiencies, purchasing and contract mechanisms, contractor warranty work, and the overall physical integrity of our properties.

Prior to joining Avesta, Todd worked for a construction management company as Project Manager and Business Development Manager. Todd also worked for a commercial millwork manufacturing company, managing all facets of design, store layout, installation and business development activities, and he worked as a Divisional Sales Manager for a national design and display manufacturer.

Todd earned a B.S. in Education from S.U.N.Y. Cortland and ROTC Certificate at Norwich University Military Academy in Northfield, VT. Todd is a Certified Passive House Consultant, and has completed OSHA training and Lead Smart Renovator training. He is a former board member of the Maine Association of Building Contractors. He is a part-time adjunct faculty member at Southern Maine Community College, teaching a portion of the Facilities Management Certification training. Todd is also a member of Efficiency Maine's Low-Income Advisory Group.

Catherine Elliott

Development Officer

Catherine Elliott came to Avesta Housing in 2016 as a Development Associate and was promoted to her current role in 2017. Catherine has managed all stages of renovation and development of multifamily rental housing, from land leads and municipal approvals to applications, contract negotiation, construction management, and closeout. She has experience with both 4% and 9% LIHTC deals and has developed properties in both Maine and New Hampshire.

Catherine has over a decade of experience working with people with low incomes across a variety of issue areas, including healthcare, literacy, housing stability, lead poisoning, domestic violence, and financial stability.

Catherine earned a Bachelor of Arts in Politics and in Studio Art from Bates College.

Patrick Hess

Development Officer

Patrick Hess started at Avesta Housing in 2017. Prior to Avesta, Patrick worked in a range of real estate, community, and economic development capacities for the City of New York, most recently as Chief of Staff for Development at the New York City Department of Housing Preservation and Development. He also worked on the construction of affordable housing with Habitat for Humanity – New York City as an AmeriCorps volunteer and site supervisor. Patrick earned a Bachelor of Arts in History from Boston College and a Masters of Urban Planning from New York University, Wagner Graduate School of Public Service. He was formerly certified with the American Institute of Certified Planners (AICP).

Nate Howes

Development Officer

Nate Howes joined Avesta in 2019 as a Development Officer. Prior to Avesta, Nate worked as a multifamily underwriter and tax credit administrator for MaineHousing. At MaineHousing he oversaw projects from application to completion ensuring their financial solvency and regulatory compliance.

Nate earned a Bachelor of Arts in History from George Washington University and a Master of Science degree in International Affairs: Conflict Studies from the London School of Economics and Political Science. He is also a certified tax credit underwriter under the National Development Council's Rental Housing Development Financial Professional (RHDFP) program.

Tyler Norod

Development Officer

Tyler Norod joined Avesta Housing in 2017 as a Development Officer. Prior to Avesta, Tyler was the Housing Planner for the City of Portland, where he demonstrated considerable insight into government regulations and public funding requirements. Tyler also served as a Senior Project Manager at the Boston Redevelopment Authority. While there, he managed the public review process and community benefit negotiations for several million square feet of development, including transitional housing for homeless veterans; housing for low-income seniors; and community-driven, mixed-income residential developments.

Tyler is a Master of Arts candidate in Urban and Environmental Planning and Policy at Tufts University, and has a Bachelor of Arts in Political Science from St. Mary's College of Maryland.

Greg Payne

Development Officer

Greg Payne joined Avesta Housing in 2007 as a Development Officer. In addition to his responsibilities for managing all aspects of multifamily rental projects from concept to completion, Greg serves as Director of the Maine Affordable Housing Coalition, a diverse association of more than 125 private and public sector organizations committed to ensuring that all Mainers are adequately and affordably housed.

Greg has nearly two decades of experience in issues related to housing and homelessness, including work at the Atlanta Task Force for the Homeless and the Massachusetts Coalition for the Homeless. Following his graduation from law school, he worked in Boston for five years as a real estate attorney specializing in affordable housing.

Greg earned a B.A. in Economics from the College of the Holy Cross in Worcester, Massachusetts and a J.D. from Northeastern University School of Law in Boston. He is the Chair of the Board of Directors of the National Low Income Housing Coalition and serves on the Board of Directors of the Genesis Community Loan Fund.



Martel School Apartments | Budget & Statement of Financial Capacity July 2, 2020

Martel School Apartments has a development budget of approximately \$10.4 million. Construction costs are estimated at approximately \$7.4 million and are based on recent square footage costs for comparable projects in Avesta's development pipeline. This project is currently in the funding process, with applications pending throughout the summer and fall. See below for an explanation of the anticipated sources for redevelopment. See below for a description of anticipated sources and award timelines.

1. Low-Income Housing Tax Credit Capital (LIHTC)

This project will request the maximum allocation of 9% LIHTCs from MaineHousing under the 2021 QAP, which is the lesser of \$20,000 per credit unit or 25% of the state ceiling. We will work with a tax credit investor to generate capital of approximately \$7.4 million through the syndication of these credits. As the developer consultant, Avesta has a proven track record of successful LIHTC applications: Under the 2018, 2019, and 2020 QAPs, Avesta was awarded 9% LIHTCs for Southgate House in Scarborough, Deering Place in Portland, West End Apartments in South Portland (Phase I and Phase II), Blake & Pine in Lewiston, and Wessex Woods in Portland. We are confident in our ability to secure funding for this project under the 2021 QAP. A letter from Boston Capital indicating their interest in the project is attached to this application.

- Status: Application awaiting submission
- Application due date: September 24, 2020
- Anticipated award date: December 31, 2020

2. MaineHousing 0% Deferred Note – \$1,100,000

MaineHousing issues a Rental Loan Program with the annual QAP, and it includes funding mechanisms such as deferred financing. We will request \$25,000 per tax credit unit under the Rental Loan Program (RLP) offering associated with the 2021 Qualified Allocation Plan (QAP), the maximum request allowed for proposals in Androscoggin County.

- Status: Application awaiting submission
- Application due date: September 24, 2020
- Anticipated award date: December 31, 2020

3. MaineHousing 6% Interest-Only Debt – approx. \$130,000

MaineHousing issues a Rental Loan Program with the annual QAP, and it includes funding mechanisms such as interest-only financing. The RLP associated with the 2020 QAP offered interest-only debt at 6% and required maximization of debt service. Avesta has underwritten the Martel School Apartments project to MaineHousing's minimum standards of cash flow per unit and debt coverage ratio associated with this financing.

- Status: Application awaiting submission
- Application due date: September 24, 2020
- Anticipated award date: December 31, 2020

4. FHLBBoston AHP Subsidized Advance

This project is applying for below market financing under the Federal Home Loan Bank of Boston's (FHLBBoston) 2020 Affordable Housing Program (AHP). This award contemplates a subsidized rate of 2.5% for a 20-year term with a 30-year amortization. The current development budget contemplates a permanent loan of \$1,000,000.

- Status: Application awaiting submission
- Application due date: July 30, 2020
- Award date: December 11, 2020

5. FHLBBoston AHP Direct Subsidy

This project is applying for \$650,000 in direct subsidy under the FHLBBoston 2020 AHP program, the maximum request allowed per project.

- Status: Application awaiting submission
- Application due date: July 30, 2020
- Award date: December 11, 2020

6. Solar Tax Credits

Development plans include the installation of a rooftop solar array on both wings of the proposed Martel School Apartments. This investment qualifies for solar tax credits under the state program, and those tax credits will be syndicated through the same syndicator as handles the LIHTCs.

- Status: No application required
- Application due date: N/A
- Award date: N/A

7. Construction Loan – approx. \$7.4 million

Androscoggin Savings Bank will provide the construction loan associated with this project and has reviewed the project budget and loan request.

- Status: Terms received, commitment pending full funding
- Application due date: N/A
- Award date: N/A

Boston Capital

June 24, 2020

Catherine Elliot
Avesta Housing
307 Cumberland Ave.
Portland, ME 04101

RE: Martel School Apartments LP (the "Partnership")
Martel School Apartments, Lewiston, ME

Dear Catherine:

Boston Capital ("BC") is pleased to submit an offer to purchase the Federal Low Income Housing Tax Credits "LIHTC" which will be allocated to the Property located in Lewiston, ME. The offer is subject to the terms and conditions outlined herein and changes in market conditions. Based on an annual LIHTC allocation of \$880,000, and BC's 99.99% interest in the Partnership, BC would make best efforts to purchase a total of \$8,799,120 of low income tax credits. BC would make capital contributions to the Partnership totaling \$7,479,252 based on a LIHTC price of \$0.85, payable as follows:

\$373,963 (5.00%) upon the latest to occur of (i) tax credit reservation, (ii) closing of the construction financing, (iii) receipt of a commitment acceptable to BC for the permanent financing, (iv) admission of BC;

\$747,925 (10.00%) upon the later to occur of (i) 75% Completion or (ii) July 1, 2022

\$6,207,364 (82.99%) upon the later to occur of (i) Construction Completion or (ii) October 1, 2022

\$100,000 (1.34%) upon the latest to occur of (i) Initial 100% Occupancy, (ii) Permanent Mortgage Commencement or (iii) closing of any applicable financing

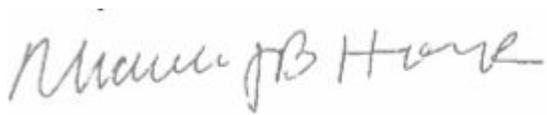
\$50,000 (0.67%) upon the latest to occur of (i) Rental Achievement or (i) State Designation

This offer is subject to full underwriting and committee approval upon receipt of a credit award based on prevailing market conditions and the following documents:

1. Project Description.
2. Construction/Development Cost Breakdown & Operating Pro-Forma.
3. Construction Schedule.
4. Qualified Lease-Up Schedule.
5. Tax Credit Reservation.
6. Construction Loan Financing Proposal (Note, Loan Agreement, & Mortgage, if closed)
7. Permanent Loan Financing Proposal (Note, Loan Agreement, & Mortgage, if closed)
8. General Partner Resume.
9. General Partner, Guarantor, and Affiliate current Financial Statements.
10. Market Study.

Please feel free to call me at (617) 624-8809, if you have any questions. We very much look forward to the opportunity to assist you with this tax credit development and to hearing from you.

Sincerely,

A handwritten signature in dark ink, appearing to read "Michele J.B. Hornok". The signature is written in a cursive style with a large initial "M".

Michele J.B. Hornok
Vice President, Acquisitions

Attachment D

Trip Generation and Parking Calculation Memorandum

Martel School Redevelopment Summary Traffic Memorandum

Date: July 6, 2020
From: Thomas Nosal, P.E.
Reviewed by: John, Mahoney, P.E.
Location: 880 Lisbon Street, Lewiston, Maine

The purpose of this memorandum is to describe the existing and proposed conditions of the site to be developed, as they pertain to trip generation and parking. It is demonstrated that the traffic estimated to be generated by this development does not meet the threshold for a Major Development or a Traffic Movement Permit (TMP) from the Maine Department of Transportation (MaineDOT).

Existing Conditions

The site is a 3.26-acre parcel located at 880 Lisbon Street (northwest corner of Lisbon Street and East Avenue). Two existing buildings – a historic three-story structure and a newer single-story wing – housed an elementary school that served 275 students before closing in 2019.

Proposed Development

The proposed development will consist primarily of age-restricted (senior adult) housing. The existing three-story structure (4800 SF footprint) will be redeveloped, and a new three-story structure (9600 SF footprint) will be constructed, to house 44 dwelling units (forty 1-bedroom units; four 2-bedroom units). Residents will live independently, and the development will not have centralized on-site dining or medical facilities.

In addition, space for a Senior Center will be provided in the basement of the existing building. While the final programming and space has yet to be configured (pending further discussion between Avesta and the City of Lewiston), the Senior Center would likely be used to accommodate the activities currently taking place at the existing senior center located in the Armory. At this time it is expected that the Senior Center would occupy approximately 1080 SF in the basement of the existing building.

Estimated Trip Generation and Distribution

The 10th edition of the *Institute of Transportation Engineers (ITE) Trip Generation Manual* was used to estimate peak-hour vehicle trip ends and to determine whether a Traffic Movement

Permit would potentially be required by MaineDOT. *Land use code (LUC) 252 – Senior Adult Housing – Attached* was used to estimate trip ends associated with the residential component of the development. *LUC 495 – Recreational Community Center* was used to estimate trip ends associated with the Senior Center space. Because *LUC 495* is best suited to facilities like a YMCA or Boys & Girls Club, this estimate is considered to be a conservative estimate of the trips generated by this space.

Table 1. Estimated Vehicle Trip Ends

	Peak Hour of Adjacent Street Traffic ¹	
	AM	PM
Residential (LUC 252)	9	13
Community Space (LUC 495)	16	8
Total	25	21

¹AM Peak: one hour between 7:00 and 9:00; PM Peak: one hour between 4:00 and 6:00

The estimated vehicle trip ends are presented in Table 1. With the conservative estimate of trips associated with the Senior Center, the proposed development results in a maximum trip generation estimate of 25 vehicle trip ends during the AM peak hour of adjacent street traffic, which is below 100 and thus does not meet the threshold for a Major Project and does not necessitate a Traffic Movement Permit from MaineDOT.

It is expected that the former elementary school generated a substantially higher number of trip ends, and that those trips tended to coincide more closely with the AM peak of the adjacent street network. The ITE Manual notes that trips associated with the senior housing tend to concentrate towards the middle of the day, outside of typical peak hours.

Parking Calculations

Parking Associated with Residential Use

- 0.5 Spaces / Dwelling Unit + 0.1 Visitor Spaces / Dwelling Unit
 $(0.5 + 0.1) * 44 \text{ Dwelling Units} = 26 \text{ Parking Spaces}$

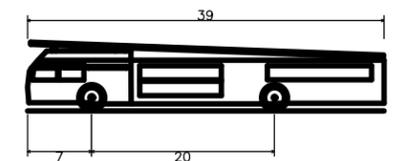
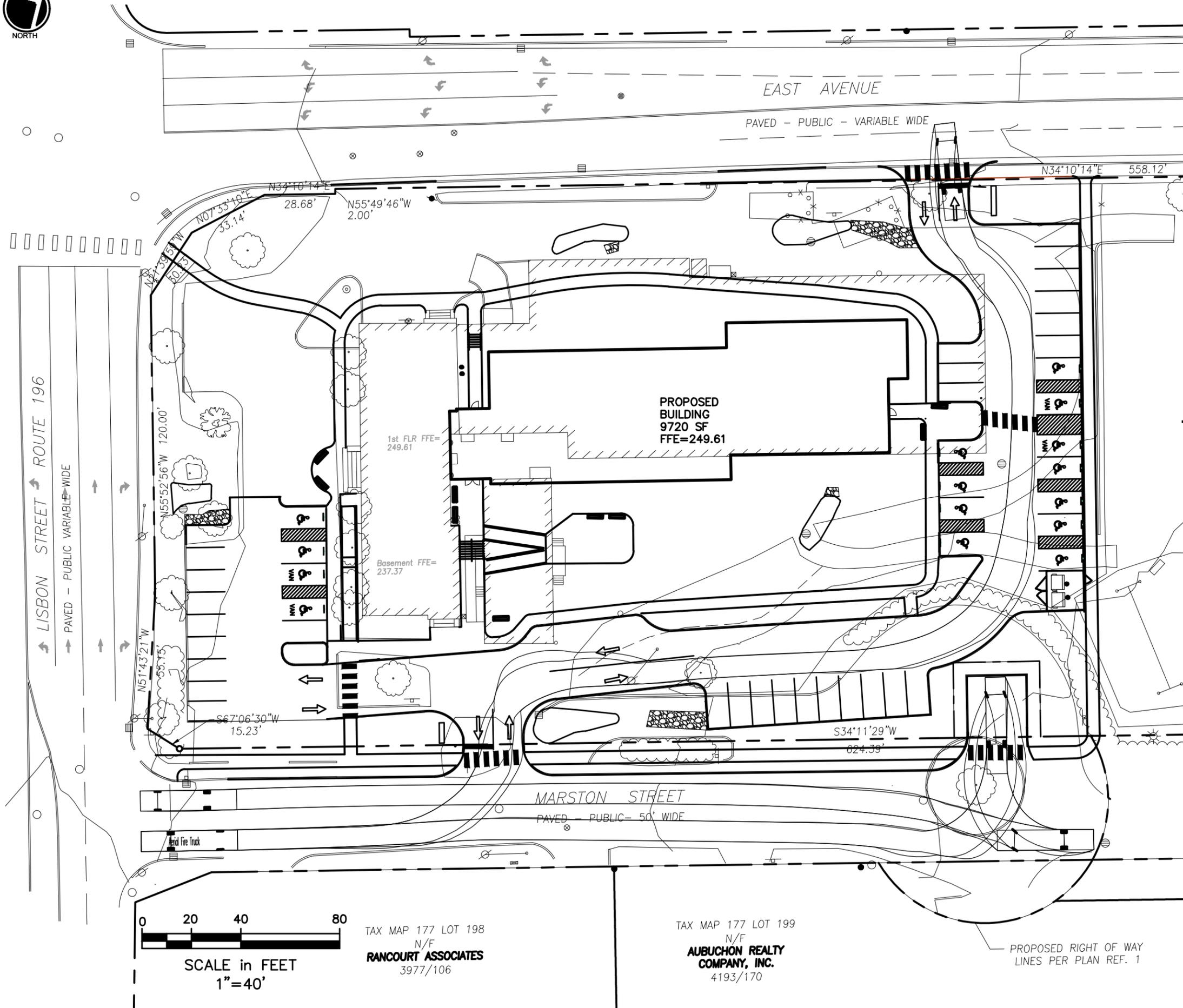
Parking Associated with Senior Center

- 1 Space / 200 SF
 $1080 \text{ SF} / 200 \text{ SF} = 5 \text{ Parking Spaces}$

Based on the calculations above, a total of 31 parking spaces are required, and per ADA standards, at least two must be accessible. In order to be conservative and given the particular needs of the anticipated residents and patrons of the Senior Center, 44 spaces will be provided, 16 of which will be accessible.

Attachment E

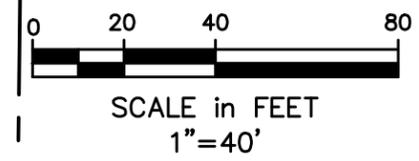
Turning Movement Diagrams



Aerial Fire Truck
 Overall Length
 Overall Width
 Overall Body Height
 Min Body Ground Clearance
 Track Width
 Lock-to-lock time
 Max Wheel Angle



SCALE in FEET
 1"=20'
**VEHICLE
 PROFILE**



SCALE in FEET
 1"=40'

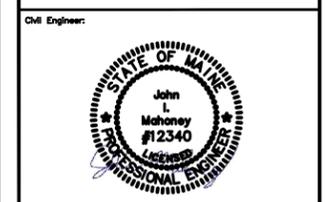
TAX MAP 177 LOT 198
 N/F
RANCOURT ASSOCIATES
 3977/106

TAX MAP 177 LOT 199
 N/F
**AUBUCHON REALTY
 COMPANY, INC.**
 4193/170

PROPOSED RIGHT OF WAY
 LINES PER PLAN REF. 1

**MARTEL SCHOOL
 APARTMENTS**
 860 LISBON STREET
 LEWISTON, ME

Prepared for:
AVESTA HOUSING
 307 CUMBERLAND AVE
 PORTLAND, ME 04101



JOHN I. MAHONEY, PE #12340
 400 COMMERCIAL STREET, SUITE 404
 PORTLAND, ME 04101
 207-772-2891

SURVEYOR:
 RANDY R. LOUBIER
 OWEN HASKELL, INC.
 390 U.S. ROUTE ONE, UNIT 10
 FALMOUTH, ME 04105

ARCHITECT:
 GABRIELLE RUSSELL
 PLATZ ASSOCIATES
 TWO GREAT FALLS PLAZA
 AUBURN, ME 04210

LANDSCAPE ARCHITECT:
 MITCHELL RASOR
 MRLD, LLC
 87 MAIN STREET
 YARMOUTH, ME 04096



400 Commercial Street, Suite 404
 Portland, ME 04101
 Tel. (207) 772-2891
 Fax (207) 772-3248
 www.ransomenv.com

**LADDER TRUCK TURN
 ANALYSIS**

No.	Revision/Issue	Date
B	CITY SUBMISSION	07/08/20
A	CLIENT REVIEW	07/02/20

Design by:	Checked by:
ARF	JIM
Drawn by:	Approved by:
BGC	JIM
Project:	Date:
201.06032	MAY 2020

Sheet No:
T-2
 Sheet 2 of 2

Attachment F

Stormwater Management Report

**STORMWATER MANAGEMENT REPORT
MARTEL SCHOOL APARTMENTS
LEWISTON, MAINE**

Prepared for:

Avesta Housing
307 Cumberland Ave
Portland, Maine 04101

Prepared by:

Ransom Consulting, LLC
400 Commercial Street
Portland, Maine 04101

Project 201.06032
July 8, 2020

Table of Contents

1.0	INTRODUCTION	3
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1.2	Tributary Watershed	3
1.3	Regulatory Requirements	3
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2.2	Existing Drainage Patterns	4
2.3	Flood Zone	4
3.0	PROPOSED CONDITIONS.....	4
3.1	Project Overview	4
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4.0	STORMWATER QUALITY MANAGEMENT.....	5
4.1	Rain Gardens	5
5.0	WAIVERS.....	5
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Exhibits

- Exhibit A – Soils Map & FEMA Map
- Exhibit B – Inspection, Maintenance & Housekeeping Plan
- Exhibit C – Annual Stormwater Certification

1.0 INTRODUCTION

This Stormwater Management Plan has been prepared to address the potential impacts associated with the proposed development at the Martel School Apartments in Lewiston. The stormwater management controls that are outlined in this plan have been designed to best suit the proposed development and to comply with applicable regulatory requirements.

1.1 Scope

Martel School (the site) is located at the east side of the East Avenue/ Lisbon Street (US Route 196) intersection. It is situated between East Avenue and Marston Street.

The site is approximately 3.25 acres and contains a 3 story, 4,561 square foot brick historic section of school building (which will remain), connected to a 15,976 SF section of building that will be demolished. There is also a 1 story, 1,862 SF wood out building that will be demolished. The site is proposed to be redeveloped with a 9,720 SF addition to the existing historic section of school building, along with associated parking, pathway and site improvements. The site is abutted by retail, commercial and residential properties.

1.2 Tributary Watershed

This site drains via municipal stormwater infrastructure which ultimately outfalls to the Androscoggin River.

1.3 Regulatory Requirements

Regulatory requirements by Maine Department of Environmental Protection (MDEP) and the City of Lewiston are described below for this project.

Basic Standard - Chapter 500, Section 4(B)

Since the project will disturb more than one (1) acre of land area, MDEP Maine Construction General Permit does apply. They require that grading or other construction activities on the site do not impede or otherwise alter drainage ways to have an unreasonable adverse impact. We have avoided adverse impacts by providing an Erosion & Sedimentation Control Plan, and an Inspection, Maintenance and Housekeeping Plan (Exhibit B) to be implemented during construction and post-construction stabilization of the site. These construction requirements have been developed following Best Management Practice guidelines. In accordance with City requirements, a MCGP will be submitted.

General Standard - Chapter 500, Section 4(C)

Since the project will not create more than one (1) acre of impervious surface, MDEP General Standards do not apply.

Flooding Standard - Chapter 500, Section 4(F)

Since the planned project will not create more than three (3) acres of impervious surface, MDEP Flooding Standards are not required to be met.

Municipal Requirements

Per the City of Lewiston Zoning and Land Use Code, Article XIII Development Review and Standards, Section 4 Stormwater Management, all projects including more than one acre of disturbed land shall meet the

Maine Department of Environmental Protection Chapter 500 Stormwater Management Rules including the Flooding Standards.

2.0 EXISTING CONDITIONS

2.1 Soils

Soil information onsite was obtained from the online Medium Intensity Soil Survey for Androscoggin County (Exhibit A). The Hydrologic Soil Group (HSG) of the site soils are classified by Technical Release TR-55 of the Soil Conservation Service as follows:

Soil Type	Symbol	HSG	Drainage Class
Adams loamy sand, 0-8% slopes	AaB	A	Very well drained
Hartland very fine sandy loam, 2-8% slopes	HfB	B	Well drained
Ninigret fine sandy loam, 0-8% slopes	NgB	C	Poorly drained

2.2 Existing Drainage Patterns

The site is currently vacant but contains three (3) school buildings, parking areas, and associated infrastructure. It was occupied prior to 2010 until the school closed. The site currently drains via overland flow to catch basins onsite. Drainage on the east side of the site discharges to a combined sewer system in Marston Street and a drainage on the west side flows to a separated stormwater system in East Avenue. A small portion of the site drains to Marston Street, Lisbon and East Avenue rights-of-way.

2.3 Flood Zone

The proposed development area is not in a flood prone area, it is in Zone X, areas of minimal flood hazard, per the FEMA Flood Insurance Rate Map for the City of Lewiston, Community Panel 23001C 0329 E, effective July 8, 2013 (Exhibit A).

3.0 PROPOSED CONDITIONS

3.1 Project Overview

Proposed improvements involve the construction of a 9,625 square foot, 40-unit multi-family residential building, renovations to a historic building to include 4 multifamily units, parking areas, access drives, stormwater treatment facilities, and associated utility infrastructure. The proposed development will have less impervious area than the previous development. The stormwater management plan was designed so that existing drainage patterns are not significantly altered. However, the connection to the combined sewer in Marston Street will be removed and all of the stormwater runoff from the site will discharge to separated storm drains in East Avenue and Lisbon Street.

3.2 BMP Summary

The proposed development does not require treatment; however, the project has been designed to include rain gardens to provide a moderate level of treatment and detention of stormwater.

4.0 STORMWATER QUALITY MANAGEMENT

4.1 Rain Gardens

Five (5) Rain gardens will provide treatment for the proposed impervious areas including two (2) for the proposed roof and three (3) for the paved and landscaped areas around the building. These filtration facilities provide a high level of contaminate removal and a moderate level of detention prior to discharge into downstream drainage ways.

5.0 WAIVERS

We are requesting a waiver from the stormwater standards referenced in Appendix A of the City's Zoning and Land Use Code, Article XIII. Development Review Standards, Section 4 Approval Criteria, Subsection (f) (1). In the pre-development condition, 1.5 acres of impervious area drain to the City infrastructure. In the post-development condition, the impervious area is reduced to 0.99 acres and therefore peak runoff volumes and rates are decreased. In this design, we are separating any combined sewer flows and bringing all stormwater drainage to the separated stormwater system in Lisbon Street and East Avenue. The standard referenced above provides criteria for requesting a waiver. This site and development condition meet criteria for *item b. Public Stormwater System*. We are requesting that the City grant the waiver for providing calculations that we meet the standard to reduce post-development discharge rates compared to pre-development rates due to discharging directly to the City's drainage system. Additionally, while we are providing a moderate level of detention in the rain gardens, the proposed reduction in impervious area alone will reduce the Site's peak discharge rates.

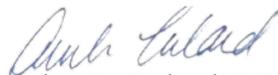
6.0 CONCLUSION

An Erosion and Sedimentation Control Plan has been developed using the Maine Department of Environmental Protection's Erosion and Sediment Control Field Guide for Contractors for the project site placing emphasis on the installation of sedimentation barriers and revegetation to minimize erosion potential from development activities during and after construction. The Erosion Control Plan is incorporated into the design plans and includes the locations of the erosion control provisions (i.e., silt fence, silt sacks, erosion control blanket) along with a narrative and construction details for reference by the contractor during construction. Provisions for periodic inspection and maintenance of erosion control measures are included in the Inspection, Maintenance, and Housekeeping Plan in Exhibit B of this application.

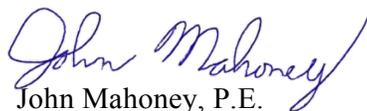
Rain gardens are proposed to provide treatment and and a moderate level of detention prior to discharging into the City's stormwater system. The impervious area is reduced in the post-development condition and therefore peak runoff volumes and rates are decreased.

Prepared by

RANSOM CONSULTING, LLC



Amber R. Ferland, P.E.
Associate Project Manager

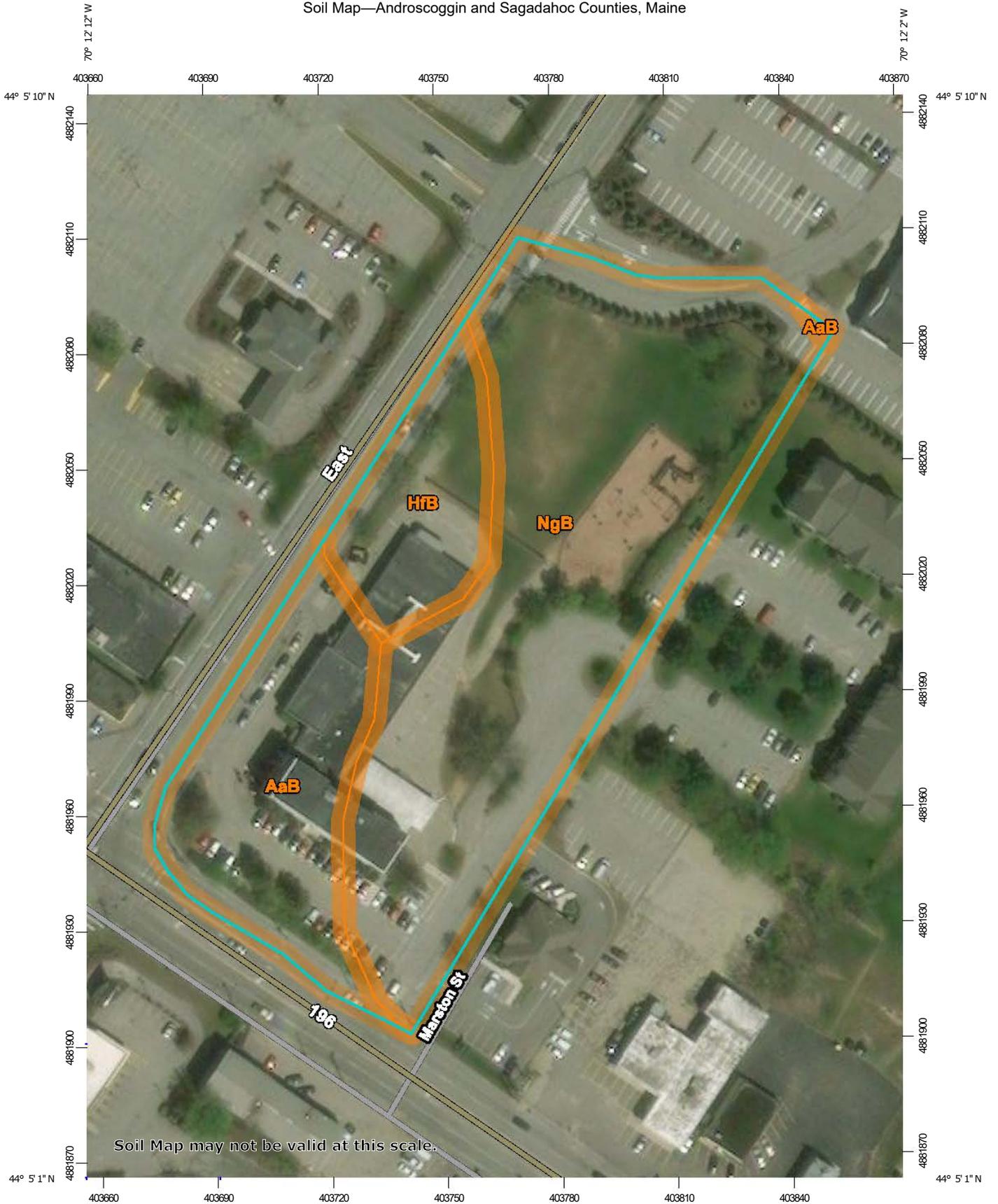


John Mahoney, P.E.
Project Manager/Design Engineer

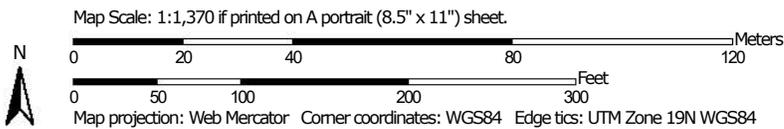
Exhibit A

Soil Map & FEMA Map

Soil Map—Androscoggin and Sagadahoc Counties, Maine



Soil Map may not be valid at this scale.



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Androscoggin and Sagadahoc Counties, Maine

Survey Area Data: Version 21, Jun 1, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 31, 2009—Oct 13, 2016

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

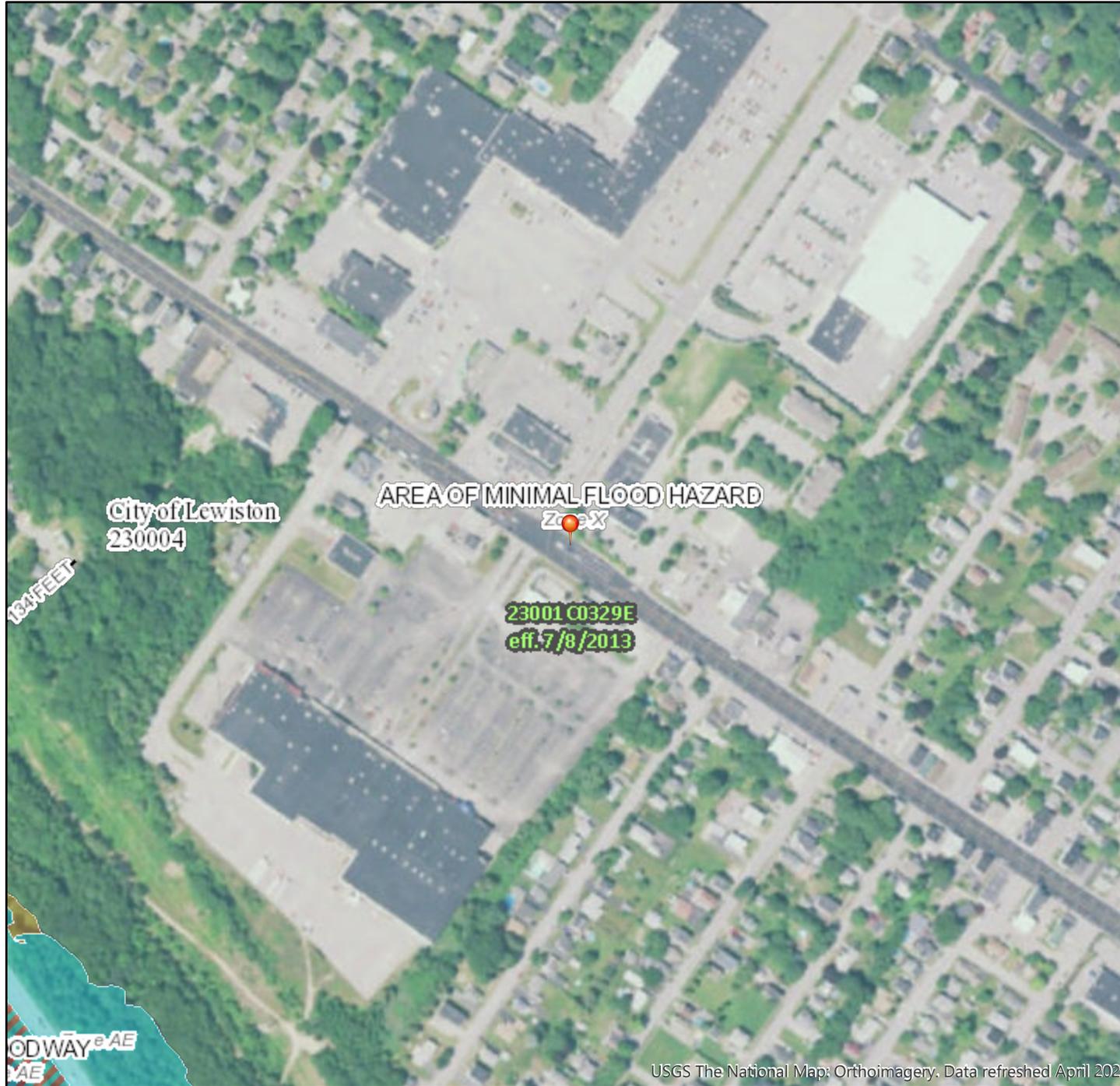
Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
AaB	Adams loamy sand, 0 to 8 percent slopes	1.0	22.6%
HfB	Hartland very fine sandy loam, 2 to 8 percent slopes	0.5	12.3%
NgB	Ninigret fine sandy loam, 0 to 8 percent slopes	2.8	65.1%
Totals for Area of Interest		4.3	100.0%

National Flood Hazard Layer FIRMMette



70°12'30"W 44°5'16"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes, Zone X
		Area with Flood Risk due to Levee Zone D

OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature

MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 6/30/2020 at 10:13 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



USGS The National Map: Orthoimagery. Data refreshed April 2020

70°11'52"W 44°4'50"N

Exhibit B

Inspection, Maintenance, and Housekeeping Plan

Avesta Housing – Martel School Post-Construction Stormwater Inspection and Maintenance Plan

Applicability:

This Post-Construction Stormwater Management Plan (PCSMP) applies to the site development, utilities and stormwater management facilities. Inspection and Maintenance applies to the stormwater management facilities installed during the construction of the site associated utilities. Stormwater management facilities required for development shall be designed, inspected, and maintained in accordance with the City of Lewiston Construction Stormwater Management Ordinance and is the responsibility of the property owner.

Inspection and Maintenance Contract:

Long-term inspection and maintenance are the responsibility of Martel School and must be performed by a qualified stormwater maintenance inspector. Inspection and maintenance of stormwater management facilities shall be regularly provided under an inspection and maintenance agreement with the City of Lewiston that must be certified annually to the Enforcement Authority under the requirements of Article III., Section 15 (f) City of South Lewiston's Zoning and Land Use Code. A legal agreement shall be established with responsibility for inspection and maintenance and should list specific maintenance responsibilities (including timetables) as well as provide for funding for the long-term inspection and maintenance. Debris and sediment buildup shall be removed from Rain gardens, catch basins, and vegetated areas.

Rain Gardens

- A first inspection to determine if maintenance is necessary should be performed at least annually after storm events of greater than (1) one-inch total depth (subject to regional climate).
- Check for standing water and that the bypass inlet is clear of debris.
- Dig out silt (if any) and mulch and remove trash & foreign items.
- After removal of mulch and debris, measure distance from the top of the filter media soil to the flow line elevation of the adjacent overflow conveyance. If this distance is greater

than that specified on the plans (typ. 6" - 12"), add media (not top soil or other) to recharge to the distance specified.

- Replace mulch when/where necessary annually.
- Examine the plant's health and replace if dead or dying. Prune as necessary to encourage growth in the correct directions.

Catch Basins

- Trash, leaves, other debris and/or accumulated sediment buildup shall be removed as needed. The removed sediments should be disposed in an appropriate manner.

Vegetated Areas:

For open channels (ditches, channels, or swales), the channel shall be stabilized with a 90% cover of healthy vegetation, and with a well-graded riprap lining or turf reinforcement mat. There must be no evidence of slumping of the channel lining, undercutting of the channel banks, or down-cutting of the channel.

Inspect ditches, swales, and other open stormwater channels in the spring, late fall, and after heavy rain events to remove any obstructions to flow. The channel must receive adequate routine maintenance to maintain capacity and prevent any erosion of the channel's bottom or side slopes.

Maintenance criteria for the vegetated drainage channels are as follows:

- Trash, leaves, other debris and/or accumulated sediment buildup shall be removed from the vegetated drainage channels as needed. The removed sediments should be disposed in an appropriate manner.
- Woody or undesirable vegetation should be controlled. Any woody vegetation growing through riprap linings must also be removed.
- Grass should not be trimmed extremely short, as this will reduce the filtering effect of the channel. The cut vegetation should be removed to prevent the decaying of organic litter from adding pollutants to the discharge from the channel. Mowing of the grassed channel can occur semi-annually to a height of no less than 6 inches. If mowing is desired only hand-held or push-mowers shall be used (no tractors).
- Repair any slumping side slopes as soon as practicable. Any bare areas shall be replanted. Where erosion rills are evident provide armor with turf reinforcement mat or riprap.
- Routine fertilization and/or pesticide use is strongly discouraged. If complete reseeding is necessary, half the original recommended rate of fertilizer should be applied with a full rate of seed.
- If the ditch has a riprap lining, replace riprap on areas where any underlying filter fabric or underdrain gravel is visible or where stones have dislodged.

Exhibit C

Annual Stormwater Certification

CITY OF LEWISTON

Annual Stormwater Management Facilities Certification

(to be sent to Planning and Code Enforcement and Public Works as required by Appendix A Zoning and Land Use Code, Article XIII. Development Review and Standards, Section 15. Post-construction stormwater management standards)

I, _____ (print or type name), certify the following:

1. I am making this Annual Stormwater Management Facilities Certification for the following property:

_____ (print or type name of subdivision, condominium or other development) located at _____ (print or type address), (the "Property");

2. The owner, operator, tenant, lessee or homeowners' association of the Property is: _____ (name(s) of owner, operator, tenant, lessee, homeowners' association or other party having control over the Property);

3. I am a Qualified Third-Party Inspector (as defined by the City of Lewiston Post-Construction Stormwater Management Ordinance, and) hired by the owner, operator, tenant, lessee or homeowners' association of the Property (circle one);

5. On _____, 20__, I inspected the Stormwater Management Facilities, including but not limited to parking areas, catch basins, drainage swales, detention basins and ponds, pipes and related structures required by the approved Post-Construction Stormwater Management Plan for the Property;

6. At the time of my inspection of the Stormwater Management Facilities on the Property, I identified the following need(s) for routine maintenance or deficiencies in the Stormwater Management Facilities:

7. On _____, 20__, the owner, operator, tenant, lessee or homeowners' association of the Property took or had taken the following routine maintenance or the following corrective action(s) to address the deficiencies in the Stormwater Management Facilities stated in 6. above:

8. As of the date of this certification, the Stormwater Management Facilities are functioning as intended by the approved Post-Construction Stormwater Management Plan for the Property.

Date: _____, 20__.

By: _____
Signature

Print Name

STATE OF MAINE

_____, ss. _____, 20__

Personally appeared the above-named _____, the _____ of _____, and acknowledged the foregoing Annual Certification to be said person's free act and deed in said capacity.

Before me,

Notary Public/Attorney at Law

Print Name:

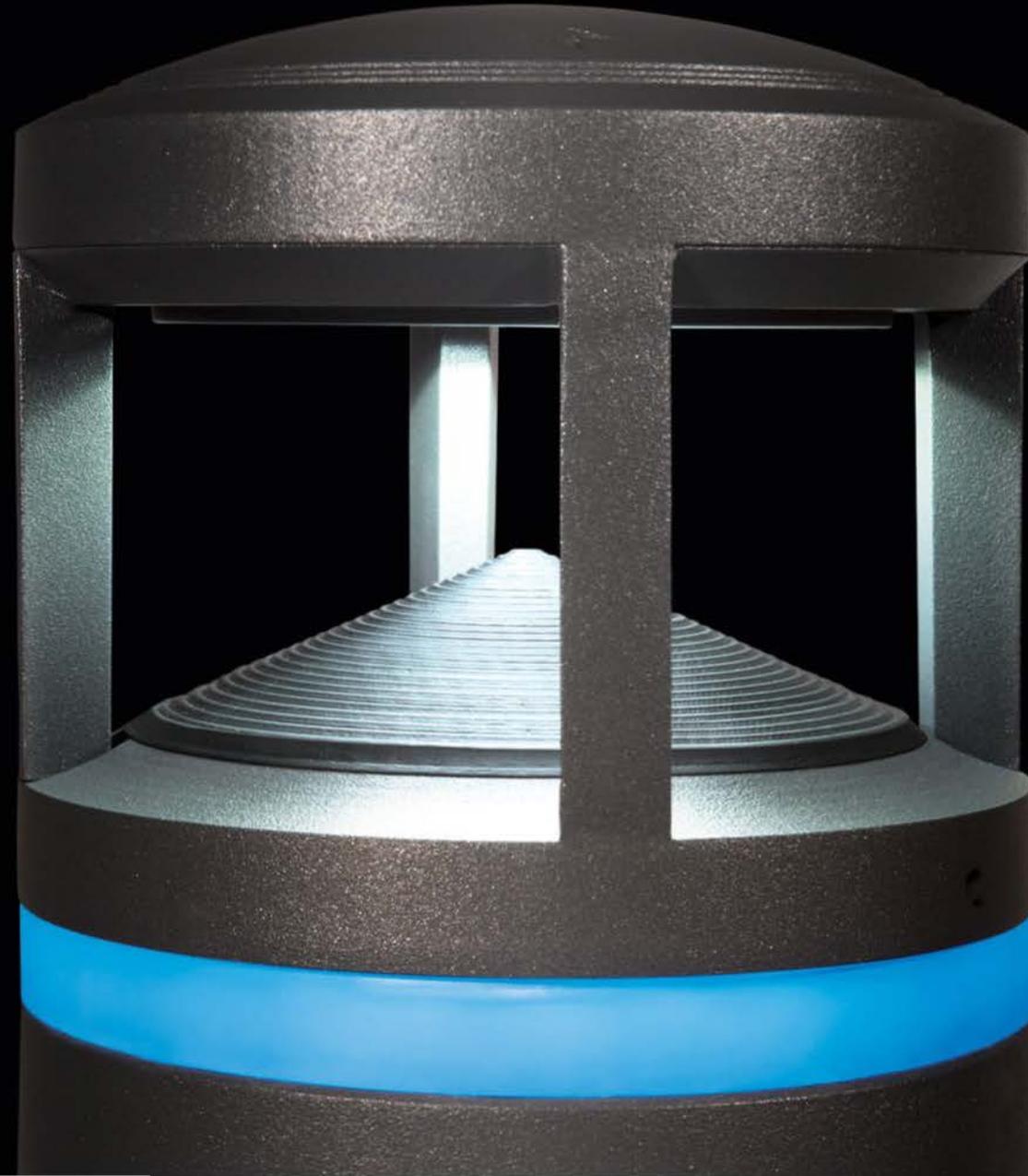
Mail this certification to the City of Lewiston at the following address:

Director of Planning & Code Enforcement
City Building
27 Pine Street
Lewiston, ME 04240

Director of Public Works
103 Adams Avenue
Lewiston, ME 04240

Attachment G
Lighting Cut Sheets

Pavilion



KIMLIGHTING

 **HUBBELL**
Lighting



2 PAVILION

Pavilion

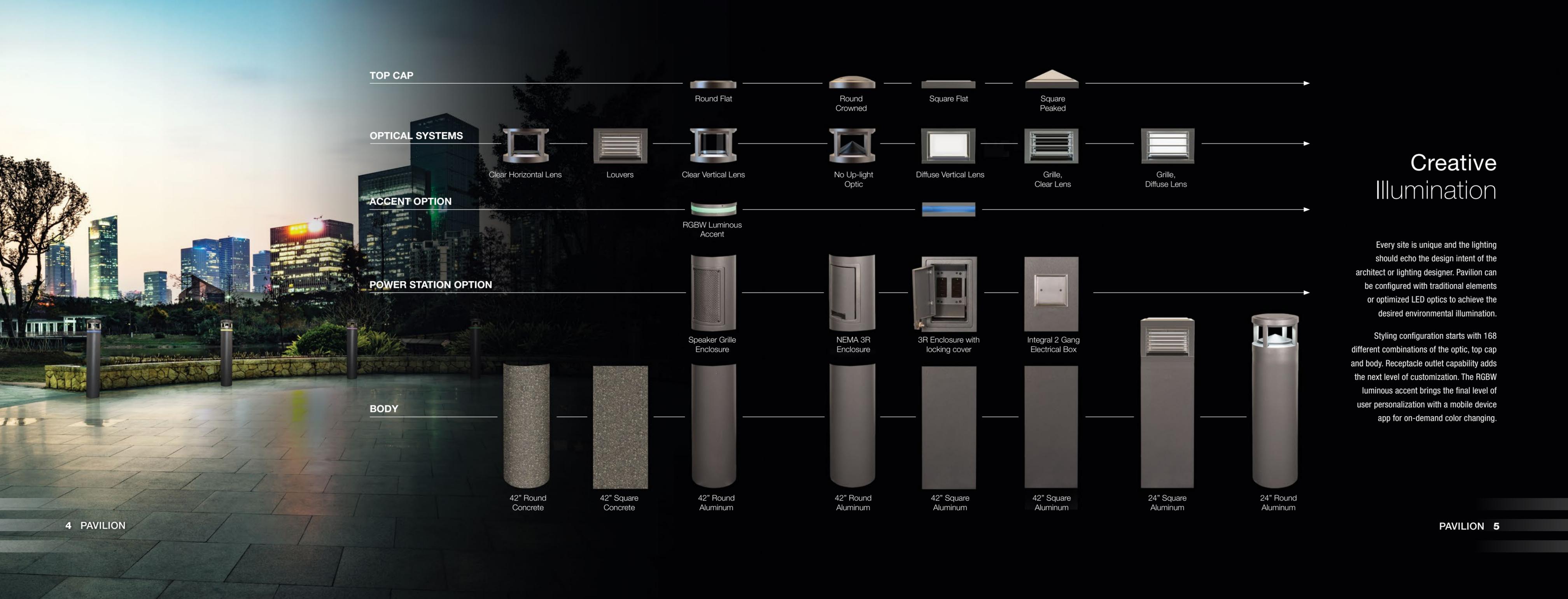
ARCHITECTURAL
ILLUMINATION
INTEGRATION

Beyond Illumination

KIM lighting redefines the bollard by integrating the functionality of a NEMA rated Power Station. The Pavilion bollard can be tailored for any illumination requirement whether it be dark sky compliant, IES distributions or traditional low brightness optics. The body of the Pavilion bollard goes one step further than the hosting of receptacles and is fully compatible with any 1 or 2 gang device. A Bluetooth enabled RGBW luminous accent adds wayfinding capability. Rotational adjustment enables the square form factor to be installer friendly on winding landscape pathways.

A complete suite of sensors, controls, battery backup and audio system capability raises the bar on intelligent illumination.

PAVILION 3



TOP CAP



Round Flat



Round Crowned



Square Flat



Square Peaked

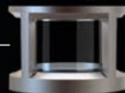
OPTICAL SYSTEMS



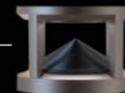
Clear Horizontal Lens



Louvers



Clear Vertical Lens



No Up-light Optic



Diffuse Vertical Lens



Grille, Clear Lens

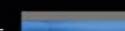


Grille, Diffuse Lens

ACCENT OPTION



RGBW Luminous Accent



POWER STATION OPTION



Speaker Grille Enclosure



NEMA 3R Enclosure



3R Enclosure with locking cover



Integral 2 Gang Electrical Box

BODY



42" Round Concrete



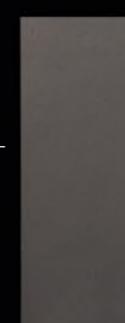
42" Square Concrete



42" Round Aluminum



42" Round Aluminum



42" Square Aluminum



42" Square Aluminum



24" Square Aluminum

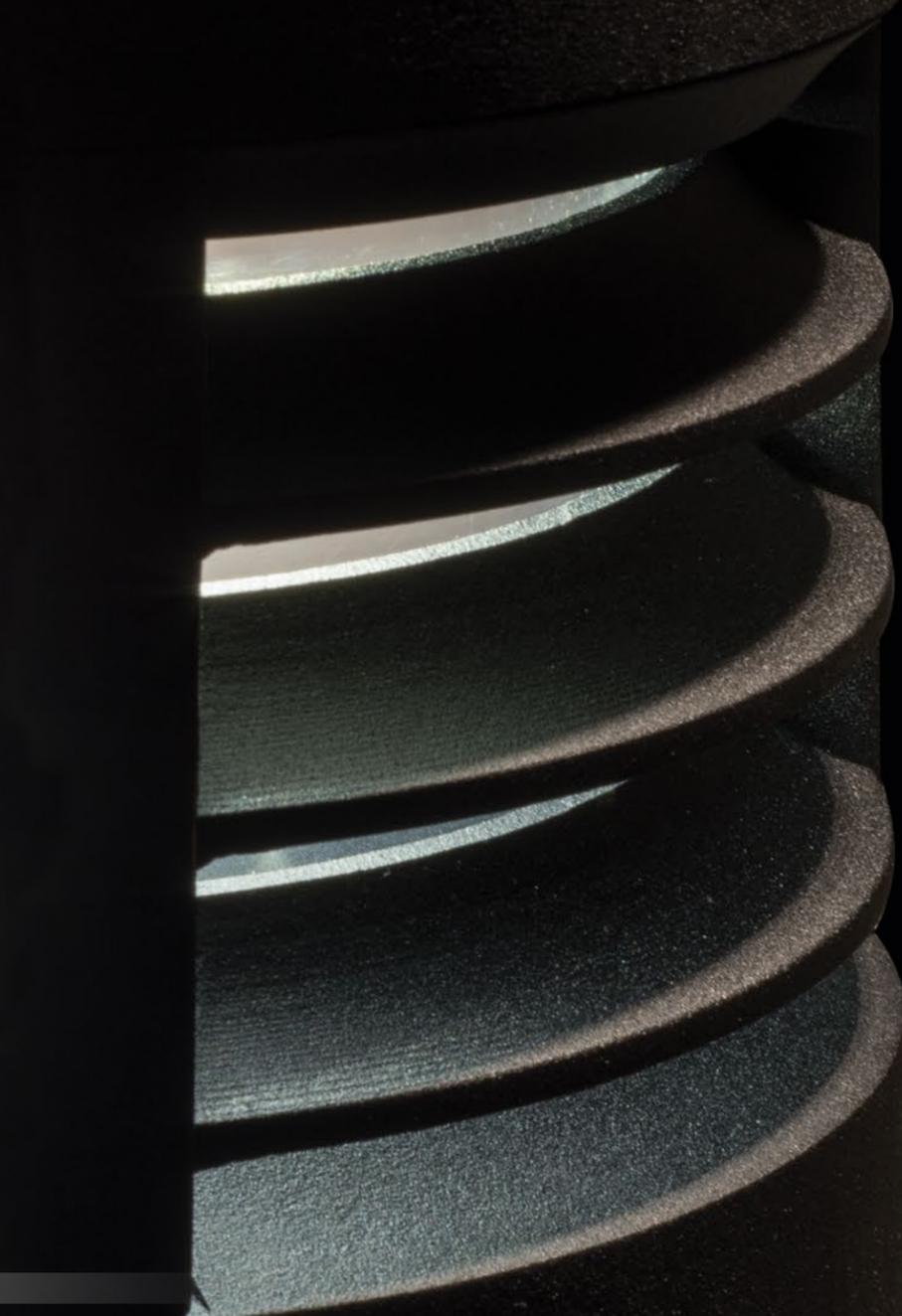


24" Round Aluminum

Creative Illumination

Every site is unique and the lighting should echo the design intent of the architect or lighting designer. Pavilion can be configured with traditional elements or optimized LED optics to achieve the desired environmental illumination.

Styling configuration starts with 168 different combinations of the optic, top cap and body. Receptacle outlet capability adds the next level of customization. The RGBW luminous accent brings the final level of user personalization with a mobile device app for on-demand color changing.



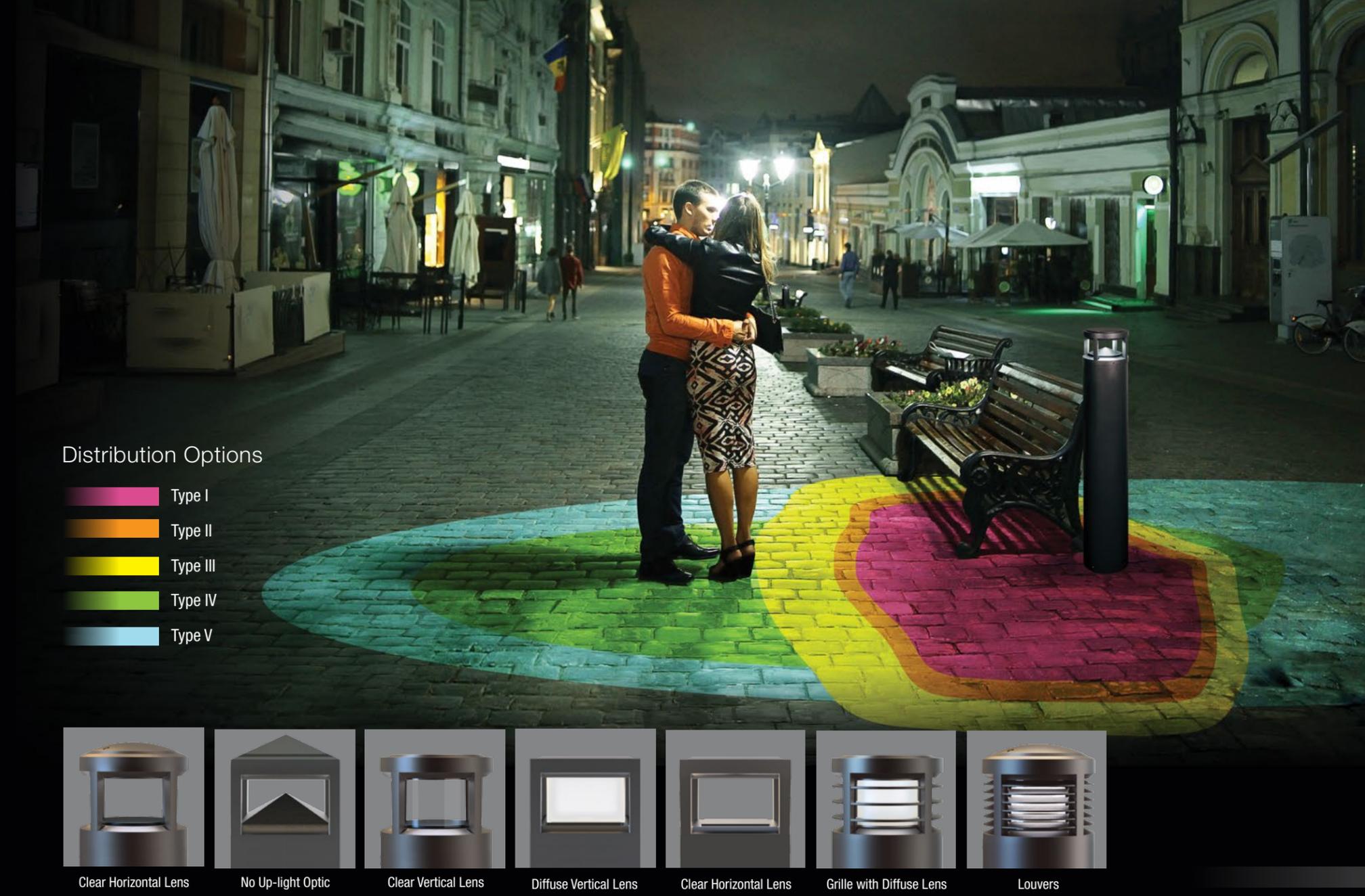
Discrete Illumination

Whether it be the timeless louver, diffused glow or open body, Pavilion can be configured for a wide range of applications.

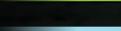
Pavilion delivers IES distribution types with no glare at normal viewing angles.

The No Up-light, Clear Horizontal Lens and Clear Vertical Lens configurations are optimized for LED technology and deliver class-leading efficacy.

For architecture demanding more conventional styling, Pavilion can be configured with louvers, grilles or choice of a clear or a diffused vertical lenses for increased vertical illumination.



Distribution Options

-  Type I
-  Type II
-  Type III
-  Type IV
-  Type V



Clear Horizontal Lens

No Up-light Optic

Clear Vertical Lens

Diffuse Vertical Lens

Clear Horizontal Lens

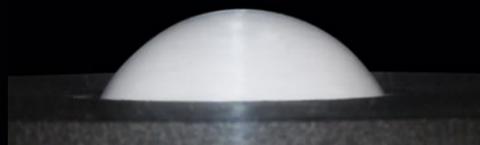
Grille with Diffuse Lens

Louvers

Integrated Illumination

Motion:

Pavilion's discrete sensor option intelligently detects occupancy for enhanced security, energy savings, and code compliance. Sensor operation reduces power by dimming light levels to 50%. When motion is detected the light level returns to full brightness.



SiteSync™:

SiteSync is a simple and affordable wireless control solution that offers the ability to reduce power consumption and maintenance costs while extending the life of the luminaire.



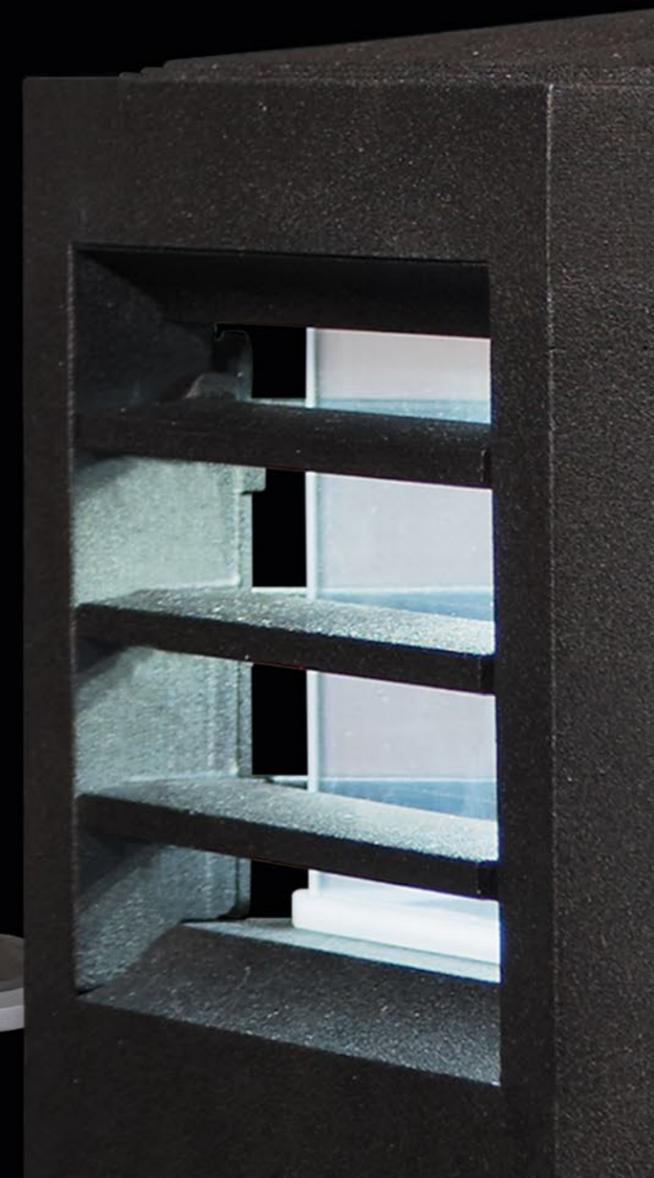
Bluetooth®:

Pavilion is the industry's first bollard to incorporate RGBW color changing with Bluetooth connectivity. The RGBW luminous accent option is controlled wirelessly via Hubbell Lighting's Bluetooth® mobile app to dim or change color with Apple and Android devices.



Durable Illumination

All housing components are constructed with die-cast, low copper alloy (<0.6%) aluminum for superior durability. One piece silicone gasketing achieves an IP66 rated optical compartment and assures optical integrity. The finest stainless steel hardware is used to secure all components within the housing, providing durability in extreme weather conditions.



Theory of Relativity

Scaled to the environment

The Kim Lighting Theory of Relativity promotes harmony between outdoor lighting and architecture through a seamless blending of the two. Comprehensive product families allow specifiers to carry a continuous aesthetic through the project regardless of the application. As distance to structures decreases, luminaire height and scale decrease accordingly, maintaining visual comfort and contextual balance. This maximizes efficiency while preserving and enhancing the architectural experience.



10 PAVILION

PAVILION 11

Arm Mount 30 ft

Arm Mount 24 ft

Post top 12 ft

Wall Mount 9ft

Bollard 4ft

In-Grade

Intuitive Illumination

The Pavilion's RGBW color changing luminous accent option enables simple and intuitive wayfinding capability to enhance the environment.



Architectural Illumination

The industrial designers at KIM Lighting have paid painstaking attention to detail in the resolution and refinement of every proportion, parting line and the overall feel of Pavilion. Whether it be a minimalist contemporary or a more general commercial environment, the optics, top cap and body can be configured to harmoniously integrate into any architectural theme. Unique to Pavilion is a rotational adjustment to both the round and square form factors to bring a welcome degree of forgiveness on poured bolt tolerances during installation.



Day Time Night Time

Pavilion brings a timeless beauty and elegance to any environment. At KIM Lighting, we believe that architecture is experienced differently throughout the day and night, so we designed Pavilion to be the perfect balance of form and function.

Empowered Illumination

KIM Lighting blurs the lines of bollard and power station functionality. The configurable body of Pavilion is capable of hosting a multitude of receptacles, switches and devices. An integral outlet box can host any single or double gang device making it ideal for keypad, proximity card readers or actuator buttons at building entrances.

The tamper resistant NEMA 3R rated enclosure is ideal for applications needing GFCI or powered USB connectivity. In addition to electrical devices, Pavilion can also host a 3" speaker for PA system capability.

An emergency battery backup is available for all configurations to complete the package for a total lighting solution.



Pavilion Family



Ordering Information

MODEL	TOP	OPTICS	DISTRIBUTION	LIGHT ENGINE	BODY	FINISH	CONTROLS	VOLTAGE	OPTIONS
PA7R Pavilion Round	FT Flat Top	NU No Up-light	1 Type I	12L-010-5K7 14W (1000 lm 5000K), 70 CRI	24A 24" OAH, Aluminum	BL Black	SWP SiteSync pre-commission	UNV 120-277V	EM Battery backup (-20°C)
PA7S Pavilion Square	PT Peaked Top (PA7S only)	CH Clear Horizontal Lens	2 Type II	12L-010-4K7 14W (1000 lm 4000K), 70 CRI	42A 42" Aluminum Solid Body	DB Dark Bronze		120 120V	LR Luminous Accent
	CT Crowned Top (PA7R only)	CL Clear Vertical Lens	3 Type III	12L-010-3K7 14W (1000 lm 3000K), 70 CRI	42BR-C 42" OAH., Brown Concrete	GT Graphite	MW Motion sensing (50% dim, 100% output upon detection)	277 208-277V	SF Single Fuse
		DL Diffuse Vertical Lens	3HS Type III + House side shield	12L-010-AMB 14W, Amber 590nm Monochromatic	42NG-C 42" OAH., Natural Gray Concrete	LG Light Gray		347 347V	DF Double Fuse
		LV Louvers	4 Type IV	12L-020-5K7 22W (2000 lm 5000K), 70 CRI	42A/ROP 42" OAH., Aluminum + Dual Receptacle Outlet Panel and Cover	PS Platinum Silver		480 480V	
		GC Grille with clear lens	5 Type V	12L-020-4K7 22W (2000 lm 4000K), 70 CRI	42A/ROP-L 42" OAH., Aluminum + Dual Receptacle Outlet Panel and Locking Cover	TT Titanium			
		GD Grille with diffuse lens		12L-020-3K7 22W (2000 lm 3000K), 70 CRI	42A/2GEB 42" OAH Aluminum + Integral Recessed 2-Gang Electrical Box	WH White			
				12L-020-AMB 22W, Amber 590nm Monochromatic	42A/SG3 42" OAH Aluminum + Speaker Grille Enclosure for 3" Ø speaker	RAL RAL Color			
						CC Custom Color			



ALERA LIGHTING

ARCHITECTURAL AREA LIGHTING

BEACON PRODUCTS

COLUMBIA LIGHTING

COMPASS

DUAL-LITE

HUBBELL CONTROL SOLUTIONS

HUBBELL INDUSTRIAL LIGHTING

HUBBELL OUTDOOR LIGHTING

KIM LIGHTING

KURT VERSEN

LITECONTROL

PRESCOLITE

WHITEWAY

KIMLIGHTING

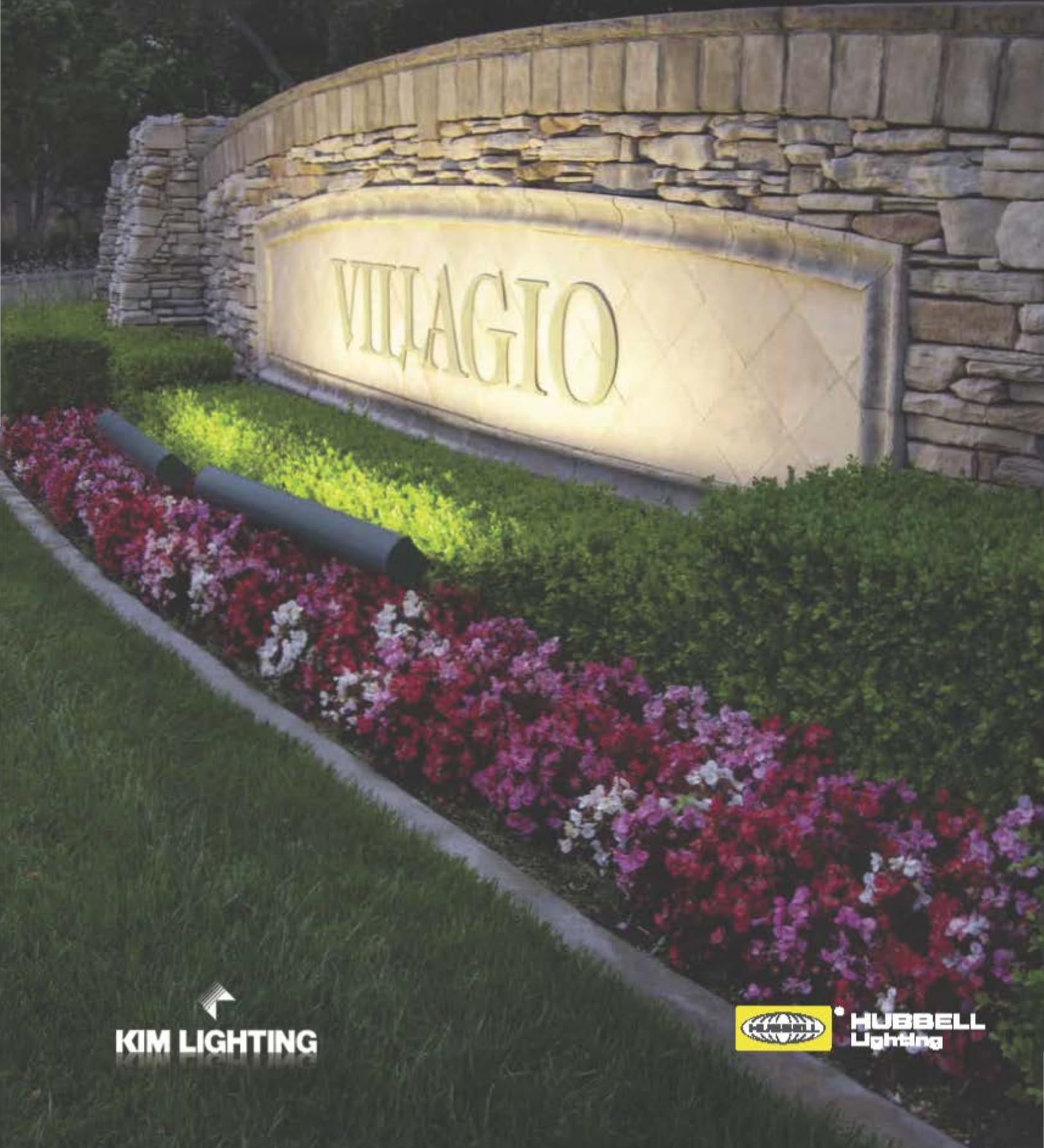
17760 Rowland Street
City of Industry, CA 91748
kimlighting.com

Kim-1001 9/14/17 Edition 1

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4300 Sign/Wall Lighter

With LED PicoPrism™ Technology



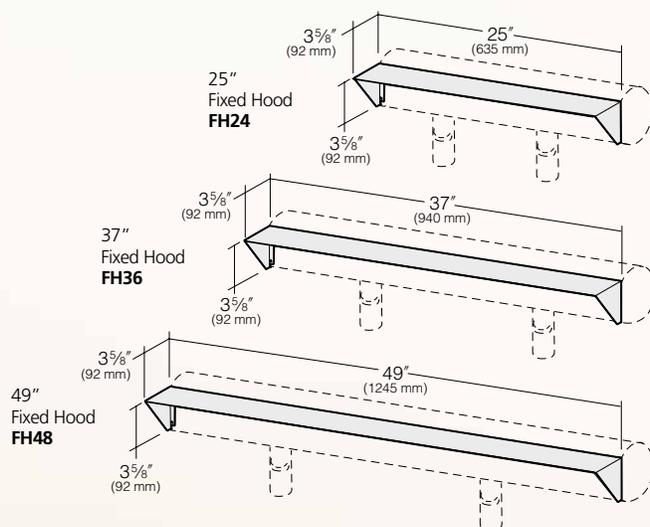
4300 Sign/Wall Lighter LED



Kim Lighting's 4300 Sign/wall Lighter with PicoPrism™ optics, produces clean smooth illumination for sign lighting or wall wash applications while avoiding hot spots and dark areas. Its compact size makes it easy to conceal behind plants and shrubbery, while offering the latest in LED technology and energy efficiency.

Features and Benefits:

- Utilizes Kim Lighting's LED PicoPrism technology
- Three sizes: 25", 37" and 49"
- Three standard color temperatures: 3000K, 4200K and 5100K
- 0-10V dimming standard
- 700mA, up to 4303 lumens
- Field-upgrade kits available for existing installations
- Meets California Title 24 and ASHRAE regulations for energy efficiency
- DLC certified
- Optional fixed hood to reduce light trespass



KIM LIGHTING



HUBBELL
Lighting

16555 East Gale Avenue, City of Industry, CA 91745 • Phone: 626.968.5666 • FAX: 626.369.2695 • www.kimlighting.com

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ArcheType® X Site



with
type X distribution
Infinite adjustability...



KIM LIGHTING



HUBBELL
Lighting

Reinventing the Legend

Since 1989, the eclectic shape of The Archetype® has been complementing curvilinear, rectilinear, classical, and neoclassical elements found in contemporary architecture. The Archetype has continued to be relevant in the move from traditional HID light sources to the most current LED technology.

Kim Lighting's new ArcheType X Site/Area luminaire takes cues from this best selling classic, combining it with our revolutionary new LEAR™ optical system for unprecedented performance, control and sophisticated styling.



Lumineering

Kim Lighting introduces the ArcheType X Site/Area luminaire to complete the Type X family, an exciting leap forward in outdoor lighting. The ArcheType X's innovative LEAR™ optical system offers visual comfort, uniformity, and customer defined distributions to take on tasks previously accomplished by ground-mounted sign lighting or landscape level products.

The ArcheType X's innovative LEAR™ optical system offers visual comfort, uniformity, and customer defined distributions to take on tasks previously accomplished by ground-mounted sign products.



What if all of the light from a luminaire could be used?

Raw lumens mean nothing if they are aimed in areas that are not useful. Regardless of how efficient a given luminaire may be, if less than 100% of the distributed light from that luminaire can be used, the result will be inefficient.

What if light could be shifted from areas where it was not wanted into areas where it was? The ability would create the most efficient lighting systems ever available.

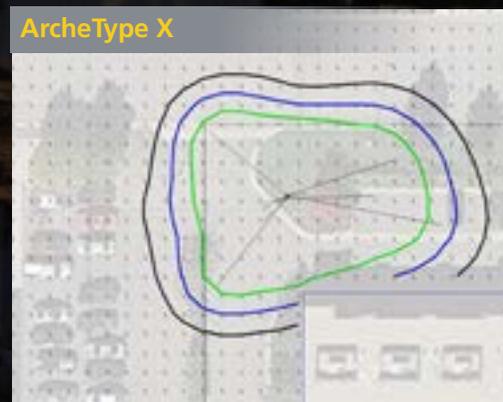
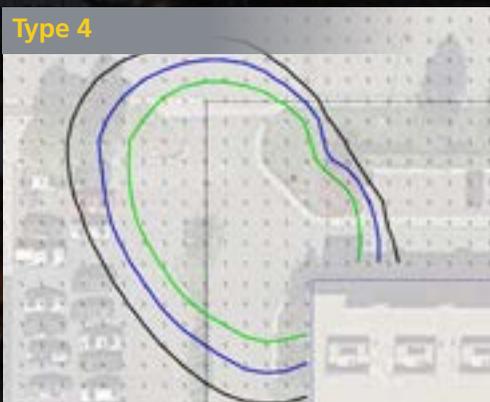
Type X Performance; how does the magic happen?

Type X allows luminaires to be optimized to tailor-fit a project's exact specifications. Optimizing the distribution allows 100% of the available light to be placed where needed. This means fewer fixtures are required to meet light levels, resulting in better energy efficiency, application uniformity and cost savings.



The AGi32 Design Isolines feature allows a user to virtually aim luminaires within a layout. The Create Luminaire Group feature provides the capability to explode a group of individual modules within the fixture for easy aiming and optimal light calculation. Once optimized, they are recombined with AGi32's group creating capability to create a user-defined Type X distribution. This user-defined Type X distribution is saved in standard IES File format with a unique name that becomes part of the catalog number used to order the product. The IES file is then sent to Kim Lighting for the manufacture of a made-to-order luminaire. If actual conditions change after installation, the design can be easily modified using the existing group file in the project. Simply re-aim the modules and send us the modified IES file. Kim Lighting will create a new template and send it back to you for field modification.

Typical Type 4 distribution vs. ArcheType X user defined distribution



The Type 4 distributions are inefficient, spilling out beyond the property lines and creating light trespass. The Type X custom distribution maintains minimum light levels and uniform illumination without the light trespass of standard Type 4 distributions.

Header

Traditional distributions from competitors project a great amount of light trespass. Notice how far beyond the site plan the "red" 1fc falls with competitors 1 & 2.

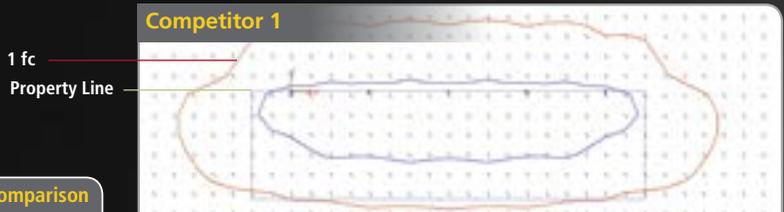
Kim Lighting's ArcheType X Site/Area luminaire controls light trespass more effectively by aiming each individual module and pulling the light behind the property line.

For the ARX example, two 700mA fixtures are at the corners and two 600mA fixtures are in the middle. The property still maintains 1fc requirement and uniformity.

Additionally, the total wattage requirement of the project has been reduced because only four poles and luminaires are used.

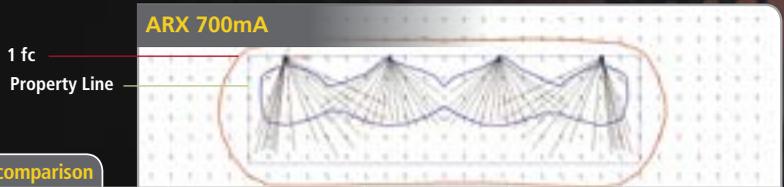
Project Requirement:

- 1FC Minimum
- 10:1 Uniformity
- Minimum Light Trespass



Competitor Luminaire Schedule - 5000K comparison

Qty	Brand	Description	System Watts (W)	Min FC	Max FC	Uniformity
5	Competitor 1	100LEDs, 700mA, 5K, Type 3	875	.9	9	10:1



ARX16 without lens Site Schedule - 5000K comparison

Qty	Brand	Description	System Watts (W)	Min FC	Max FC	Uniformity
4	Kim Lighting 1	96LEDs, 700mA, 5K, Type X	892	1	6.8	7:1

Fewest Fixtures Wins...

With ArcheType™ X, not only do you get cost savings from improved efficiency and uniformity. There are significant added installation and maintenance savings of \$3000-\$4000 for each pole eliminated.

Features and Benefits:

- 3 sizes: ARX09, ARX16 and ARX25
- LEAR™ (Light Engine Adjustable Ready) modules
- IP66 rated module
- Modules have 0-70° Tilt and 355° independent rotation
- Unlimited number of use defined distributions in the same fixture
- Standard CCTs – 3,000K / 4,000K / 5,000K
- Drive current can be ordered in 50mA increments
 - ARX09 – 350mA to 1050mA
 - ARX16 – 350mA to 900mA
 - ARX25 – 350mA to 800mA
- Lensed or non-lensed options in packages from 5,100 to 31,000 lumens
- Wall, Flood and Area/Site housing options





New construction or retrofit? ArcheType X is adaptable.

On new projects, ArcheType X saves designers time and money. Type X distributions are easy to design and they ship direct from the factory. They are the most energy efficient uniform distributions available because they are tailored to the site. And they don't cost more.

On Retrofit projects, ArcheType X luminaires can be adjusted even after retrofit installation, resulting in improved coverage to corners and oddly shaped areas, better uniformity, reduced wattage and less fixtures and poles on site. With ArcheType X field-adjustable LEAR™ modules, specifiers get better performance, cost savings and peace of mind from the possibility of lighting retrofit challenges ending up as costly legal issues to be fought in the courts.



Type “X” Distribution – Light Where You Want It

To get started in the creation of user-defined site specific IES distributions that meet your project’s unique lighting requirements with precision performance and control, please visit http://www.kimlighting.com/products/archetype_x_sitearea.

To learn how to create a Type X Distribution, please visit <https://www.youtube.com/watch?v=6P8PEFif96o>



ArcheType X™ Site / Area

ORDERING INFORMATION

1 Configuration	1SA, 2SB, 2SL, 3ST, 3SY ¹ , 4SC, 1W, HSF			
2 Fixture:	 ARX09	 ARX16	 ARX25	
3 Distribution	1 Type 1 2 Type 2	3 Type 3 4 Type 4	5 Type 5 L Left	R Right X ² Custom IES File Name
4 Electrical Module	COLOR	3K 3000K 4K 4000K 5K 5000K		
	DRIVE CURRENT	With Lens ARX09: 35, 40, 45, 50, 55, 60, 65, 70, ARX16: 35, 40, 45, 50, 55, 60, 65, 70, ARX25: 35, 40, 45, 50, 55, 60 Without Lens ARX09: 35, 40, 45, 50, 55, 60, 65, 70, 75, 80, 85, 90, 95, 100, 105 ARX16: 35, 40, 45, 50, 55, 60, 65, 70, 75, 80, 85, 90 ARX25: 35, 40, 45, 50, 55, 60, 65, 70, 75, 80 35 = 350mA, in 50mA increments. All Drive Currents Available Without Lens.		
	VOLTAGE	UV 120-277 V 347 347 V 480 480 V		
5 Finish	BL Black DB Dark Bronze	LG Light Gray PS Platinum Silver	TT Titanium WH White	CC ³ Custom Color
6 Support Arm	US Upswept, ST Straight			
7 Photocell Options	Receptacles: A25-7 Button Photocells: A30 120V, A31 208V, A32 240V, A33 277V, A34 480V, A35 347V			
8 Fuse Options	SF 120, 277, 347 Line Volts DF 208, 240, 480 Line Volts			
9 Lens Option	FGL Flat Glass Lens			
10 NFO Option	NFO Neighbor Friendly Optic			
11 Controls	TYPE			
Wireless	WIR-RML-IO 120 - 347V 1000 Foot Range WiScape RF mesh control system with off/on/dim, motion, photo, GPS location, alert, monitoring and metering capabilities.			
Motion Occupancy Sensor	SCL Fixture Mounted Occupancy Sensor up to 16' SCH Fixture Mounted Occupancy Sensor 16' to 30'			
12 Mounting Options	VSF Vertical Slipfitter Mount, round for 2" pipe (2 ³ / ₈ " OD) tenon. SVSF Square Vertical Slipfitter Mount, square for 2" pipe (2 ³ / ₈ " OD) tenon.			
Side Arm Mount	3-4RD 3.3" to 4.2" OD round pole 4-6RD 4.5" to 6" OD round pole SQ Square Pole			

1 3SY is configuration is available for round poles only.

2 Custom distributions must include IES file name.

3 Custom colors subject to additional charges, minimum quantities, and extended lead times. Consult representative.

Example: 1SA / ARX16 / 3 / 4K70480 / PS / US / SCL

1 2 3 4 5 6 11

Custom Example: 1SA / ARX16 / X (IES File Name) / 4K70480 / PS / US / SCL

1 2 3 4 5 6 11



ALERA LIGHTING
ARCHITECTURAL AREA LIGHTING
BEACON PRODUCTS
COLUMBIA LIGHTING
COMPASS PRODUCTS
DEVINE LIGHTING
DUAL-LITE
HEALTHCARE SOLUTIONS
HUBBELL CONTROL SOLUTIONS
HUBBELL INDUSTRIAL LIGHTING
HUBBELL OUTDOOR LIGHTING
KIM LIGHTING
KURT VERSEN
LITECONTROL
PRECISION-PARAGON [P2]
PRESCOLITE
PROGRESS LIGHTING
SPAULDING LIGHTING
WHITEWAY

ArcheType® X Site

Features and Benefits:

- 3 sizes: ARX09, ARX16 and ARX25
- Lensed or non-lensed options in packages from 5,140 to 39,200+ lumens
- Standard IES Type 1-5, L, R or user-defined Type X Distributions
- 0-70° tilt and 355° of independent module rotation independent of the luminaire
- IP66 rated LEAR™ modules contain 6 LEDs
- Design ease with AGi32 software
- Type X Distributions quickly and easily translated to Kim Lighting via traditional IES file format
- Customer defined Type X Distributions configured and verified at the factory
- Unique luminaire catalog number and package labeling for exact field identification
- NEW Titanium color finish and standard Light Gray, Black, Dark Bronze, Platinum Silver, White and Custom finishes

17760 Rowland Street • City of Industry, CA 91748
Phone: 626.968.5666 • www.kimlighting.com

Patent pending. Because of continuing product improvement programs, Kim Lighting reserves the right to change specifications without notice. Entire contents © Copyright 2016 Kim Lighting Inc. All rights reserved. Reproduction in whole or in part without permission is strictly prohibited. Printed in USA.



KIM LIGHTING



LED Site Wallforms®

Star View.
DarkSky
compliant



Supplement:
18 or 36 LED Wall Mounted Luminaires



SW1/36L5KUV/DB



SW3/36L5KUV/SG



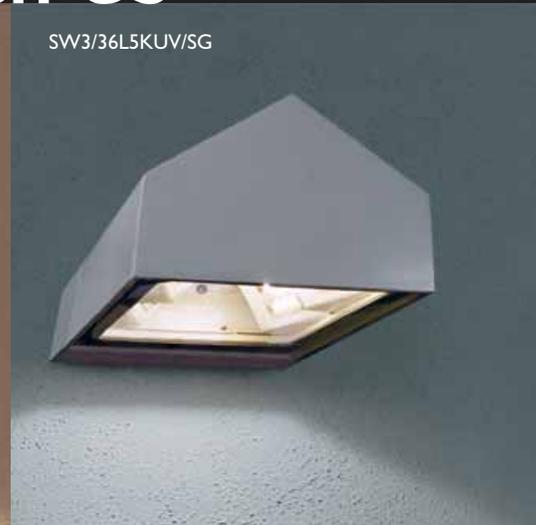
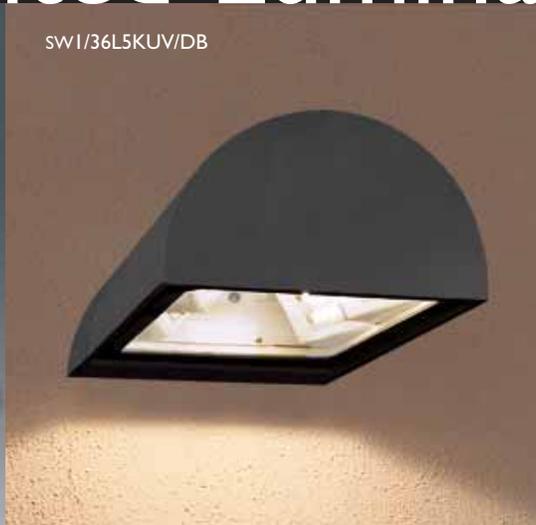
18 or 36 LED

Wall Mounted Luminaires

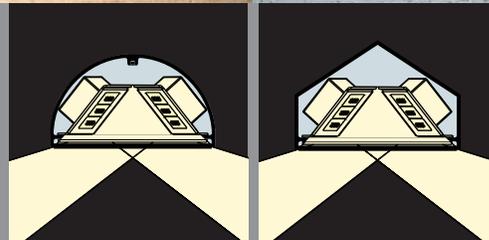
LED module

SW1/36L5KUV/DB

SW3/36L5KUV/SG



- New super bright white LED technology with comfortable 3500K color temperature.
- LED Site Wallforms are constructed of heavy-duty cast aluminum with a flat tempered glass lens and concealed hardware for vandal resistance.
- StarView® DarkSky Compliant with flat glass lens meets IES/IDA full cutoff designation.



Uniquely canted LED modules improve light distribution and throw.

Ordering Information

1 Fixture	2 Electrical Module	3 Finish
SW1 SW3	18L3KUV ¹ 18L5KUV ¹ 36L3KUV ¹ 36L5KUV ¹	BL Black DB Dark Bronze LG Light Gray SG Stealth Gray® PS Platinum Silver WH White

EXAMPLE:

Fixture	Electrical Module	Finish
SW1	/ 36L5KUV	/ BL
1	2	3

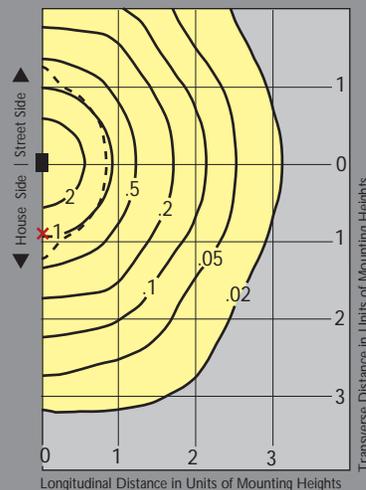
Site Wallforms are also available with the following lamp sources:

- 50W Metal Halide
- 50W High Pressure Sodium
- 60W Incandescent
- 13-42W Compact Fluorescent

Refer to full catalog or website for additional details.

Typical Half for 18 LED

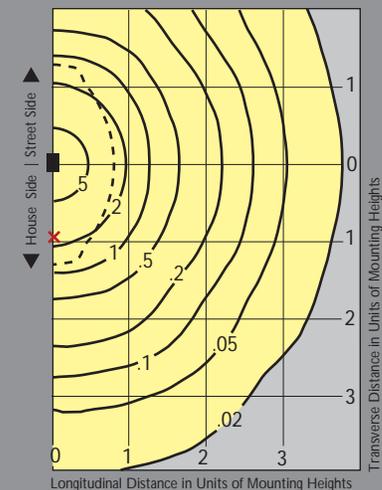
Isofootcandle Lines of Horizontal Illumination
8' Mounting Height



1/2 Maximum Candela trace --- Maximum Candela point x

Typical Half for 60 Watt LED

Isofootcandle Lines of Horizontal Illumination
8' Mounting Height



1/2 Maximum Candela trace --- Maximum Candela point x

¹ For LED, 18L = 18 LED Emitters; 36L = 36 LED Emitters; 3K = 3500K color temperature; 5K = 5100K color temperature; UV = Universal Voltage from 120 to 277V with a ± 10% tolerance.

Attachment H

Property Deeds & Easements



OWEN HASKELL, INC.

PROFESSIONAL LAND SURVEYORS

390 U.S. ROUTE ONE, UNIT 10 FALMOUTH, MAINE 04105

EASEMENT to City

A certain lot or parcel of land situated on the easterly side of East Avenue in the City of Lewiston, County of Androscoggin and State of Maine as shown on "Subdivision Plan Martel School Apartments 860 Lisbon Street, Lewiston, ME" by Ransom Consulting, LLC dated 7/29/20, bounded and described as follows;

Beginning on the easterly side of East Avenue at a nail to be set, being S 20° 05'11" E a distance of 71.75 from a highway monument on the westerly side of East Avenue at station 17+00 L27' as shown on "State of Maine Department of Transportation Bureau of Highways Right of Way Map, State Highway '17' Lewiston, Androscoggin County, Federal Aid Project No. DP-017-1(19) December 1974 D.O.T. File No. 1-104 sheet 5 of 13" recorded in plan book 28 page 74-86;

Thence, S 55° 48'31" E along a jog in said East Avenue 2.00 feet to the southwesterly corner of land now or formerly of Lewiston Properties OP LLC as described in deed book 5653, page 77;

Thence, S 55° 48'31" E along the southerly line of land of said Lewiston Properties OP LLC 223.37 feet to the westerly sideline of the unimproved portion of Marston Street;

Thence, S 34°11'29" W along the westerly sideline of said Marston Street 310.78 feet;

Thence the following courses and distance through the land of this Grantor:

N 55°48'31" W a distance of 30.39 feet;

N 13°37'25" E a distance of 57.36 feet;

N 55°38'14" W a distance of 174.74 feet to the easterly sideline of said East Avenue;

Thence, N 34°10'14" E along the sideline of East Avenue 256.55 feet to the Point of Beginning, containing 60,053 s.f. or 1.38 acres, more or less.

Bearing are based on Maine State Plane Coordinates, West Zone, NAD83.

Turn around EASEMENT to City

A certain lot or parcel of land situated on the westerly side of Marston Street in the City of Lewiston, County of Androscoggin and State of Maine as shown on "Subdivision Plan Martel School Apartments 860 Lisbon Street, Lewiston, ME" by Ransom Consulting, LLC dated 7/29/20, bounded and described as follows;

Commencing at the intersection of the westerly sideline of the unimproved portion of Marston Street and the southerly line of land now or formerly of Lewiston Properties OP LLC as described in deed book 5653, page 77;

Thence, S 34°11'29" W along the westerly sideline of said Marston Street 275.78 feet to the Point of Beginning;

Thence, from said Point of Beginning S 34°11'29" W continuing along the westerly sideline of said Marston Street 35.00 feet;

Thence the following courses and distance through the land of this Grantor:

N 55°48'31" W a distance of 30.39 feet;

N 34°11'29" E a distance of 35.00 feet;

S 55°48'31" E a distance of 30.39 feet to the Point of Beginning, containing 1,064 s.f. or 0.02 acres, more or less.

Bearing are based on Maine State Plane Coordinates, West Zone, NAD83.

Know all Men by these Presents,

That I, Clara Rivard of Lewiston in the County of Androscoggin and State of Maine

in consideration of one dollar and other valuable considerations paid by

The City of Lewiston, a municipal corporation, located in said County and State

the receipt whereof I do hereby acknowledge, do hereby give, grant, bargain, sell, and convey unto the said City of Lewiston, its successors heirs and assigns forever,

\$3.00
Doc. Rev.
Stamps
Cancelled

A certain lot or parcel of land lying and being in said City of Lewiston, bounded and described as follows, to wit:-Commencing at the intersection of the North Easterly line of the Old Lisbon Road so called, with the South Easterly line of East Avenue; thence running South Easterly by the North Easterly line of the Old Lisbon Road one hundred twelve and fifty hundredths (112.50) feet; thence North Easterly at a right angle one hundred (100) feet; thence North Westerly at a right angle one hundred twelve and fifty hundredths (112.50) feet to East Avenue; thence South Westerly by the South Easterly line of said East Avenue, one hundred (100) feet to the point of beginning. Subject to the restriction that no buildings erected thereon shall be placed nearer the line of East Avenue than ten (10) feet. As a part of the consideration above mentioned the City of Lewiston agrees to relieve the Grantor of the payment of taxes and assumes same.

On Have and in Hold the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said City of Lewiston, its successors heirs and assigns to them and their, use and behoof forever.

And I do covenant with the said Grantee, its successors heirs and assigns, that

I am lawfully seized in fee of the premises; that they are free of all incumbrances; that I have good right to sell and convey the same to the said Grantee to hold as aforesaid; and that I and my heirs shall and will warrant and defend the same to the said Grantee, its successors heirs and assigns forever, against the lawful claims and demands of all persons.

In Witness Whereof, I, the said Clara Rivard and Heleodore Rivard, husband of the said Clara Rivard joining in this deed as Grantor, and relinquishing and conveying his rights by descent and all other rights in the above described premises,

have hereunto set our hands and seals this eighteenth day of September in the year of our Lord one thousand nine hundred and twenty three.

Signed, Sealed and Delivered in Presence of

Wm. G. Tackaberry
Wm. G. Tackaberry

Clara Rivard (seal)
Heleodore H. Rivard (seal)

State of Maine, } ss. September 18 1923
Androscoggin, }

Personally appeared the above named Clara Rivard and acknowledged the above instrument to be her free act and deed. Before me, Wm. G. Tackaberry Justice of the Peace.

Received Sept. 28 1923 at 3:35 o'clock, P.M. M. and recorded from the original.

Know all Men by these Presents,

042 NO. 1970

(No Sketch)

That the Franklin Company, a Corporation duly established by law, in the State of Maine, in consideration of one dollar paid by The City of Lewiston a Municipal Corporation in the County of Androscoggin and State of Maine

\$14.85 Doc. Rev. Stamps Cancelled.

the receipt whereof is hereby acknowledged, do hereby grant, convey, remise, release, and forever quit-claim unto the said City of Lewiston, its successors and assigns.

A certain lot or parcel of land situated in said Lewiston, bounded and described as follows to wit:

Commencing in the southeasterly line of East Avenue at the northerly corner of a parcel of land conveyed by this Grantor to this Grantee, by Deed #1904, dated October 15, 1951; thence in a northeasterly direction by the said southeasterly line of East Avenue Two Hundred (200) feet to the westerly corner of a lot of land conveyed by this Grantor to Raymond F. and Imelda Marcotte, by Deed #1807, dated December 9, 1945; thence in a southeasterly direction by the southwesterly line of said Marcotte land and a continuation southeasterly thereof Two Hundred Twenty-five (225) feet to the northwesterly line of Marston Street; thence in a southwesterly direction by the said northwesterly line of Marston Street two hundred (200) feet to the easterly corner of land of this Grantee; thence in a northwesterly direction by land of this Grantee two hundred twenty-five (225) feet to the point of beginning.

Said parcel is hereby conveyed subject to the following restrictions, viz: No buildings shall be built upon said land except a School House and such building shall not be placed within twenty (20) feet from East Avenue or within fifty (50) feet of the northeasterly boundary line of the land hereby conveyed.

This Grantor hereby releases the restrictions imposed in Deed #1765, dated November 20, 1924, and in Deed #1904, dated October 15, 1951, insofar as the Grantee and its successors and assigns are thereby prohibited from erecting any buildings on the portions thereof within one hundred (100) feet of the northeasterly lines thereof, and limits the restrictions therein prohibiting erection of buildings within sixty (60) feet of the southeasterly line of East Avenue to a restriction prohibiting the erection of buildings within twenty (20) feet of said southeasterly line of East Avenue,

with all the privileges and appurtenances thereto belonging.

We have and in hold the above released premises to the said City of Lewiston, its successors and assigns, to the ir use and behoof forever. And the said Corporation do covenant with the said City of Lewiston, its successors and assigns, that the premises are free from all incumbrances, made or suffered by said Corporation; and that the said Corporation shall warrant and defend the same to the said City of Lewiston, its successors and assigns forever, against the lawful claims and demands of all persons, claiming by, through, or under said Corporation, but against none other.

In Witness Whereof, the said Franklin Company has caused its corporate seal to be affixed to these presents, and the same to be signed by Charles L. Abbott, its Treasurer

thereunto duly authorized, this 24th day of June in the year of our Lord one thousand nine hundred and fifty-seven.

Signed, Sealed and Delivered in presence of Charles W. Jordan Franklin Company (Corp. Seal) By Charles L. Abbott, Treasurer

COMMONWEALTH OF MASSACHUSETTS.

Suffolk ss. Boston On the twenty-fourth day of June in the year of our Lord one thousand nine hundred and fifty-seven personally appeared before me the above-named Charles L. Abbott, Treasurer of the Franklin

COMPANY, and acknowledged the foregoing instrument to be the free act and deed of said Corporation.

Charles W. Jordan, Commissioner of Maine (Seal)

Received September 6, 1957 at 9 o'clock, 25 M. A. M. and recorded from the original.

Attest: Register.

Countersigned Franklin Register, Vice President

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Section 5: Enhancements. The Developer will complete the improvements described below and on Exhibit C to the School Property before the Tenant opens for business (with all work to be performed pursuant to this Section to be scheduled in consultation with the City's Superintendent of Schools preferably when the School is not in session):

5.1: East Avenue.

5.1: East Avenue.

5.1.1: Fence. A new chain link fence, six (6) feet in height and vinyl coated, will replace the existing fence along East Avenue.

5.1.2: Gate. A gate in the fence will be installed at the northerly end of the School Property along East Avenue to allow emergency egress from the School Property onto East Avenue.

5.2: Marston Street. Except in those areas where the vegetation would be unreasonably disturbed and the existing fence is in reasonably good condition, a new chain link fence, four (4) feet in height and vinyl coated, will replace the existing fence along Marston Street.

5.3: Field.

5.3.1: Survey. The field area will be surveyed at the Developer's cost to allow for development of construction drawings for the improvements.

5.3.2: Borings. Several probes and borings in the field area will be conducted at the Developer's cost to obtain subsurface data.

5.3.3: Elevation. The elevation of the multipurpose field will be lowered one to two feet and then leveled.

5.3.4: Seating Area. A slope of 3:1 or 4:1 will be constructed along the existing playground to provide a seating area adjacent to the multipurpose field.

5.3.5: Retaining Wall and Fill. A retaining wall will be constructed at the southwesterly end of the field and the field will be filled to the level of the top of the retaining wall to maximize the remaining area and compensate for lost field area.

5.3.6: Fence. A new vinyl coated chain link fence, six feet in height will be installed at the top of the retaining wall.

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5.3.7: **East Access.** A barrier free access way (with a grade ratio of approximately 1:20) will be constructed on the east side of the multipurpose field connecting to the existing paved area adjacent to the school.

5.3.8: **West Access.** A non-barrier free access way (with a grade ratio of approximately 1:12) allowing emergency vehicle access to the field will be constructed on the west side of the multipurpose field.

5.3.9: **Reseeding.** The field will be reseeded with grass.

Section 6: Education Foundation Contribution. The Developer will make a contribution of Ten Thousand Dollars (\$10,000.00) to the Lewiston Education Foundation.

Section 7: Martel School Fund Contribution.

7.1: Amount of Contribution. The Developer will make a contribution to the Martel School Fund in the amount of Ninety Thousand Dollars (\$90,000.00) plus one-half (1/2) of the amount, if any, by which Seventy Thousand Dollars (\$70,000.00) exceeds the actual cost to the Developer of the Enhancements described in Section 5 above.

7.2 Determination and Payment of Additional Amount. Promptly upon completion of the Enhancements described in Section 5 above, the Developer will provide to the City a full accounting of the cost to the Developer of the Enhancements and deliver to the City for the Martel School Fund the additional amount, if any, due hereunder.

7.3 Certificate of Completion. Upon completion of the Enhancements and payment of the additional amount, if any, as required pursuant to this section in accordance with this Agreement, the City will provide to the Developer upon request a certificate suitable for recording in the Registry of Deeds indicating that the Enhancements have been completed and that the City has received full payment of the additional amount, if any, required pursuant to this section, all in accordance with this Agreement.

7.4 The Martel School Fund. The Martel School Fund as established hereunder will be for the benefit of the School and shall not be included as funds available to the School in the City's annual budgetary processes. The Martel School Fund will be administered by a committee comprised of the School's principal, two teachers at the School, two parents of students attending the School and two students attending the School. All decisions of the committee relating to the Martel School Fund are subject to the approval of the City's Superintendent of Schools. The City's Superintendent of Schools will determine from time to time a method of selecting the members of the Committee.

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Section 8: Release of Restrictions. The Developer will cause the Franklin Property Trustees, as successor in interest to the Franklin Company, to release to the City by Quitclaim Deed without covenant all restrictions set forth in the following deeds from the Franklin Company, which deeds describe parcels which together comprise the School Property:

8.1: Deed No. 1631 to Clara Rivard dated September 7, 1923 and recorded in Book 595, Page 165;

8.2: Deed No. 1665 to the City of Lewiston dated November 20, 1924 and recorded in Book 342, Page 92;

8.3: Deed No. 1904 to the City of Lewiston dated October 15, 1951 and recorded in Book 342, Page 271;

8.4: Deed No. 1970 to the City of Lewiston dated June 24, 1957 and recorded in Book 342, Page 315.

The value of the release of said restrictions shall be exclusively for the benefit of the School or for a purpose designated by the City's School Committee.

Section 9: Adopt-a-School Partnership.

9.1: Tenant. Tenant for purposes of this Agreement shall mean:

9.1.1: The tenant of the Development Parcel, but if there is more than one tenant of the Development Parcel, Tenant shall mean the principal tenant occupying the building or portion of the building on the Development Parcel with the greater or greatest proportion of retail floor space.

9.1.2: If there is no tenant under a written lease, then Tenant shall mean the person or entity in physical possession of the Development Parcel.

9.2: School and Tenant Relationship. For so long as the School Property is operated as a public school, the Tenant (as defined above in Section 9.1) will be expected to participate in the Adopt-a-School Program with the School, but on a voluntary basis. The following are examples of the type of participation expected from the Tenant in the Adopt-a-School Program:

- Mentoring
- Job Shadowing
- Display Area for Art Work
- Pen Pal with Employees
- Tutoring
- Speakers (special skills, aspirations, etc.)

- Surplus Items (office furniture, supplies, etc.)
- Volunteers for Special School Activities (school picnic, field day, etc.)
- Volunteers for Field Trips
- Reading Buddies
- Recognition Program for Achieving Students
- Volunteers for Playing Games with Students on the Playground

Section 10: Enforcement. The City will be entitled to all remedies at law or in equity for breach by Developer of this Agreement including, without limitation, the remedy of specific performance, except that, because the Tenant's participation is to be voluntary, there will be no remedy for failure of the Tenant to participate in the Adopt-a-School Program as set forth in Section 9 above. The Developer will pay all of the City's expenses incurred in collecting amounts due under this Agreement and in enforcing this Agreement, including, without limitation, reasonable attorneys fees and costs of suit.

Section 11: Agreement Binds the Land. This Agreement shall run with the Development Parcel and the School Property and shall be binding on the Developer and the City and upon their respective successors and assigns to their respective interests in the Development Parcel and the School Property for the benefit of the Development Parcel and the School Property.

Section 12: Closing.

12.1: Place and Time. The Closing shall take place at the office of Isaacson & Raymond, 75 Park Street, Lewiston, Maine, or at such other location to which the parties mutually agree, at a reasonable time of Developer's choosing upon reasonable notice to the City but in no event later than January 31, 2003.

12.2: Delivery by Developer. At the Closing, the Developer will deliver to the City the following:

12.2.1: Separate checks payable as designated by the City, one in the amount of Ten Thousand Dollars (\$10,000.00) for the Lewiston Education Foundation and one in the amount of Ninety Thousand Dollars (\$90,000.00) for the Martel School Fund. All checks will be bank cashier, certified or attorney trust account checks representing immediately available funds.

12.2.2: The deed from the Franklin Property Trustees duly executed, acknowledged and suitable for recording releasing the restrictions on the School Property as described herein.

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12.3: Delivery by the City. The City will deliver to the Developer the Easement in the form of the Easement Deed annexed hereto as Exhibit A, duly executed, acknowledged and suitable for recording, together with the City Clerk's certificate of the vote duly authorizing the execution and delivery of the Easement Deed.

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12.4: Developer's Remedies. The Developer shall be entitled to all remedies at law or in equity in the event the City fails to comply with the provisions of this Agreement through no fault of the Developer including, without limitation, the remedy of specific performance.

12.5: Failure to Close. In the event the Developer fails to close within the time prescribed by this Section through no fault of the City, then this Agreement shall terminate and neither party shall have any further obligation to the other hereunder.

Section 13: Recording. This Agreement or a memorandum thereof may be recorded in the Androscoggin County Registry of Deeds .

Section 14: Headings. Section headings are for convenience only. They are not intended to expand or restrict the scope or the substance of the provisions of this Agreement.

Section 15: Gender. Wherever used in this Agreement, the singular shall include the plural, the plural shall include the singular, and pronouns shall be read as masculine, feminine or neuter as the context requires.

Section 16: Governing Law. This Agreement shall be governed by the laws of the State of Maine.

Section 17: Assignment. The Developer's obligations under this Agreement shall be assigned without further writing to its successor in interest in the fee interest in the Development Parcel upon conveyance of said fee interest, and the Developer's obligations under this Agreement shall be assumed without the need for a separate assumption agreement by such successor in interest in the fee interest in the Development Parcel. The Developer shall be relieved of any ongoing obligation under this Agreement arising after said conveyance, which obligation shall pass to the Developer's grantee. Developer (or its successor in interest to the fee interest in the Development Parcel) may by contract or lease provision require a Tenant or other party to fulfill one or more obligations of the Developer under this Agreement. However, such contract shall not excuse the Developer (or its successor in interest to the fee interest in the Development Parcel) from its obligations under this Agreement. The City may not assign its rights hereunder without the written consent of the Developer (or its successor in interest to the fee in the Development Parcel).

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Section 18: Amendment. This Agreement may not be amended, modified or revoked except by a writing signed by the party against whom enforcement of the amendment, modification or revocation is sought.

C O P Y

Section 19: Entire Agreement. This is the entire agreement among the parties. There is no other agreement, oral or written, relating to this Agreement.

O F F I C I A L O F F I C I A L

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the day and year written above.

CITY OF LEWISTON

Marla Vandell

Witness

By: *James A. Bennett*
James A. Bennett
Its City Administrator

STATE OF MAINE
ANDROSCOGGIN COUNTY

JUNE 25, 2002

Personally appeared the above-named James A. Bennett and acknowledged the foregoing to be his free act and deed in said capacity and the free act and deed of the City of Lewiston.

Before me,

Robert S. Hank

Notary Public/Attorney at Law

Print Name: Robert S. Hank

My Commission Expires: _____

NOT
AN
OFFICIAL
COPY

Alaysa Murphy
Witness

NOT
AN
OFFICIAL
COPY

COMMONWEALTH OF MASSACHUSETTS

Norfolk COUNTY

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W/S LEWISTON PROPERTIES LLC

By: Richard A. Marks
Richard A. Marks
Its Vice President

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AN
OFFICIAL
COPY

June 24, 2002

Personally appeared the above-named Richard A. Marks and acknowledged the foregoing to be his free act and deed in said capacity and the free act and deed of W/S Lewiston Properties LLC.

Before me,

Gail A. Sullivan
Notary Public/Attorney at Law

Print Name: GAIL A. SULLIVAN

My Commission Expires: AUGUST 30, 2002

GAIL A. SULLIVAN, Notary Public
My Commission Expires August 30, 2002



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chord of aforesaid curve bearing S 88° 48' 00" E, a distance of fifty-seven and fifty hundredths (57.50') feet;

THENCE, N 76° 43' 21" E, a distance of twenty and eighty-five hundredths (20.85') feet to point in the southwesterly line of land now or formerly of Franklin Property Trust as described in a deed from Franklin Company dated September 10, 1976, recorded in Book 1227, Page 21 of said Registry of Deeds;

THENCE, N 56° 00' 00" W, along the southwesterly line of said land now or formerly of Franklin Property Trust, a distance of forty-seven and ninety-one hundredths (47.91') feet to the southerly most corner of said land now or formerly of Daniel J. Marquis and Sandra B. Marquis;

THENCE, N 56° 00' 00" W, along the southwesterly line of said land now or formerly of Marquis, a distance of one hundred eleven and nineteen hundredths (111.19') feet to the **POINT OF BEGINNING**.

The easement parcel herein described containing 7395 square feet, more or less, is a portion of that land conveyed to the City of Lewiston by deed from Franklin Company, dated June 24, 1957, recorded in Book 342, Page 315 of the Androscoggin County Registry of Deeds.

Reference is made to a plan entitled "Boundary Survey Plan of Land of Franklin Property Trust for W/S Development, Lewiston, Androscoggin County, Maine", dated September 25, 2001, prepared by CES, Inc.

The direction of lines herein are calculated to a traverse oriented to the Grid North Meridian as shown on Maine Department of Transportation plans of East Avenue.

This easement shall be for all purposes of a right of way to benefit the real estate of the Grantee described in two deeds to the Grantee, one from the Trustees of the Franklin Property Trust dated _____, 2002, and recorded in the Androscoggin County Registry of Deeds in Book _____, Page _____, and the other from Daniel J. Marquis and Sandra B. Marquis dated March 22, 2002, and recorded in the Androscoggin County Registry of Deeds in Book 4946, Page 60, and any other land acquired by Grantee, an affiliate of Grantee or their respective successors in interest within the area in Lewiston, Maine, bounded on the northeast by Pleasant Street, on the southeast by O'Connell Street

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and an extension southwesterly thereof to Lisbon Street, on the southwest by Lisbon Street and land of
O F F I C I A L O F F I C I A L
the City of Lewiston, and on the northwest by East Avenue, and shall include, without limitation, the
C O P Y C O P Y

following:

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(1) the right of ingress and egress by foot and by vehicle of any sort whatever;
C O P Y C O P Y

(2) the right to construct, maintain, repair, grade, excavate, fill, pave and improve the full
width of the right of way but subject to the requirements for barriers, buffering, fencing and
landscaping set forth in the Agreement for Easement between the Grantor and Grantee dated

_____, 2002, and recorded in Book _____, Page _____ (the "Agreement");

(3) the right to install, construct, maintain repair and replace within the right of way, both
above and below ground, utility services to include, without limitation, facilities necessary or
convenient for the transmission of electricity, gas, telephone communications, cable television,
computer communications, sewerage, water and such similar services which are currently available or
in the future may become available.

The easement is not limited to any current use of the property served by the easement but shall
serve any lawful purpose to which said property may be put in the future.

By acceptance of, and in partial consideration of the giving of this Easement, Grantee agrees to
hold Grantor harmless from, and to indemnify Grantor against any and all claims, demands, causes of
action of any kind whatsoever, arising from Grantee's use of the rights herein granted, whether
asserted by Grantee, its successors in title, its tenants, its employees, agents, independent contractors or
invitees, such obligation to hold harmless and indemnify to include the obligation to reimburse Grantor
for any costs and attorneys fees reasonably expended in the defense of any such claims. To the extent
necessary to give effect to this obligation to indemnify Grantor and hold Grantor harmless, but only to

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such extent, Grantee expressly waives any immunity or exemption from liability for the personal injury or death of Grantee's employees that may exist under, or any right to receive contribution from Grantor created by, the workers' compensation laws of the State of Maine.

In addition to the foregoing easement, the Grantor grants to the Grantee a temporary easement from time to time as may be necessary to fulfill the Grantee's obligations to construct, install, plant and maintain the barriers, fences, vegetation and other improvements as set forth in the Agreement and to complete the improvements defined as Enhancements in the Agreement, provided that the Grantee shall make adequate provision for safety during the exercise of these temporary rights.

IN WITNESS WHEREOF, the Grantor has executed this instrument on this 25th day of JUNE, 2002.

CITY OF LEWISTON

Maria Vondell
Witness

By: James A. Bennett
City Administrator

STATE OF MAINE
ANDROSCOGGIN COUNTY

JUNE 25, 2002

Then personally appeared the above-named James A. Bennett and acknowledged the foregoing instrument to be his/her free act and deed in said capacity and the free act and deed of the City of Lewiston.

Before me,

Robert S. Hawk
Name: Robert S. Hawk
Notary Public/Attorney at Law
My Commission Expires:

ANDROSCOGGIN COUNTY
Jeannine D. Bergeron
REGISTER OF DEEDS

EASEMENT DEED

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KNOW ALL PERSONS BY THESE PRESENTS that the CITY OF LEWISTON, a body politic and corporate, on the County of Androscoggin and State of Maine, and W/S LEWISTON PROPERTIES LLC, a Massachusetts limited liability company with an office at 1330 Boylston Street, Chestnut Hill Massachusetts, 02467, (hereinafter collectively called "Grantor"), in consideration of One Dollar and other good and valuable consideration, the receipt of which is hereby acknowledged, grant to the STATE OF MAINE, acting by and through the MAINE DEPARTMENT OF TRANSPORTATION, its successors and assigns, and having a place of business at Augusta, County of Kennebec, and State of Maine, whose mailing address is 16 State House Station, Augusta, ME 04333, a perpetual right and easement for the following described purposes across a portion of land of the Grantor in Lewiston, Maine, as follows:

SIGNAL SYSTEM EASEMENT

The perpetual right to enter upon land outside of and adjoining the southeasterly boundary lines of State Highway 15, (also known as East Avenue), for all purposes necessary to install and maintain a signal system within the following described parcel of land also shown on Attachment "A":

A certain lot or parcel of land situated on the southeasterly side of East Avenue, in the City of Lewiston, County of Androscoggin, State of Maine, being more particularly described as follows:

BEGINNING at a point in the southeasterly sideline of East Avenue at the northerly most corner of land of the City of Lewiston as described in a deed from the Franklin Company, dated June 24, 1957, recorded in Book 342, Page 315 of the Androscoggin County Registry of Deeds;

THENCE, S 56° 00' 00" E, along the sideline of East Avenue, a distance of two (2.00') feet to the westerly most corner of land of W/S Lewiston Properties LLC as described in a deed from Daniel J. Marquis and Sandra B. Marquis, recorded in Book 4946, Page 60 of said Registry of Deeds;

THENCE, S 56° 00' 00" E, along the southwesterly line of said land of W/S Lewiston Properties LLC, a distance of fifty-three (53.00') feet to a point;

THENCE, S 34° 00' 00" W, a distance of ten (10.00') feet to a point;

THENCE, N 56° 00' 00" W, a distance of forty-five (45.00') feet to a point;

THENCE, S 34° 00' 00" W, a distance of fifty-five and fifty-three hundredths (55.53') feet to a point;

THENCE, N 56° 00' 00" W, a distance of ten (10.00') feet to a point in the southeasterly sideline of East Avenue;

THENCE, N 34° 00' 00" E, along the southeasterly sideline of East Avenue, a distance of sixty-five and fifty-three hundredths (65.53') feet to the POINT OF BEGINNING.

The easement parcel herein described containing 1.105 square feet, more or less, is a portion of that land conveyed to the City of Lewiston by deed from Franklin Company, dated June 24, 1957, recorded in Book 342, Page 315 of the Androscoggin County Registry of Deeds.

W/S Lewiston Properties LLC joins as grantee of an easement from the City of Lewiston of record soon to be recorded in said Registry of Deeds, which easement encumbers the above described parcel, to subordinate the same to this signal system easement.

Reference is made to a plan entitled "Boundary Survey Plan of Land of Franklin Property Trust for W/S Development, Lewiston, Androscoggin County, Maine", dated September 25, 2001, prepared by CES, Inc.

The direction of lines herein is calculated to a traverse oriented to the Grid North Meridian as shown on Maine Department of Transportation plans of East Avenue.

Grantee agrees to promptly replace and restore any pavement and other improvements disturbed by the Grantee in the exercise of the rights granted herein.

IN WITNESS WHEREOF, the said City of Lewiston and W/S Lewiston Properties LLC have caused this instrument to be signed and sealed in their respective names by their respective officers, as of the 25th day of JUNE, 2002.

Marla Vendell
Witness

City of Lewiston
By: James A. Bennett
James A. Bennett
City Administrator

STATE OF MAINE
ANDROSCOGGIN COUNTY

JUNE 25, 2002

Personally appeared the above named James A. Bennett of said City of Lewiston, as aforesaid, and acknowledged the foregoing to be his free act and deed in his said capacity and the free act and deed of said City of Lewiston.

Before me, Robert S. Work
Notary Public
Print Name: Robert S. Work
Commission Expires _____

WITNESS
Alexis Murphy
OFFICIAL COPY

W/S Lewiston Properties LLC
By: Richard A. Marks
Richard A. Marks
Its Vice President

COMMONWEALTH OF MASSACHUSETTS
NORFOLK COUNTY

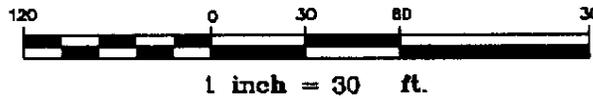
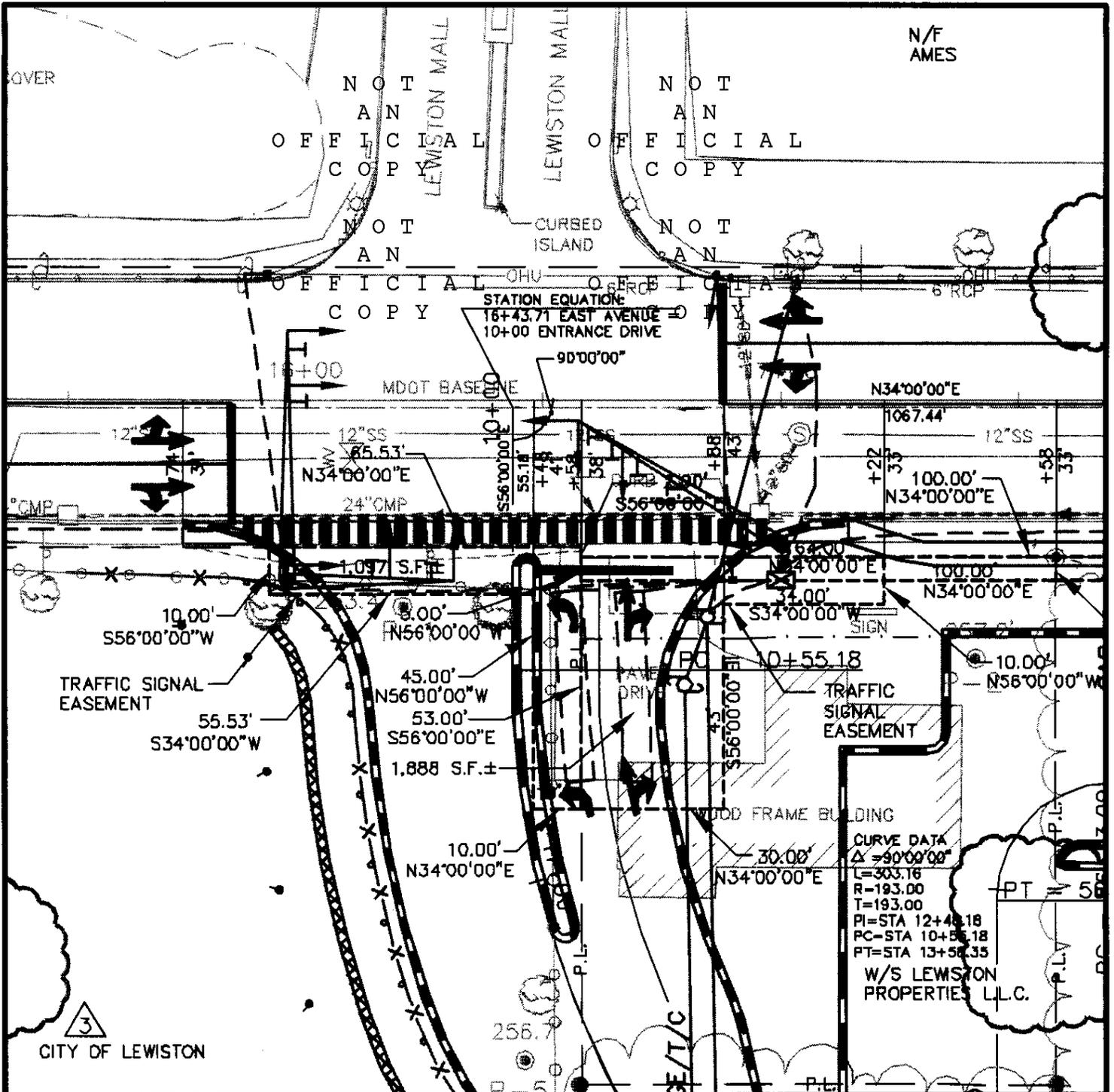
OFFICIAL COPY
June 24, 2002

Personally appeared the above named Richard A. Marks of said W/S Lewiston Properties LLC, as aforesaid, and acknowledged the foregoing to be his free act and deed in his said capacity and the free act and deed of said W/S Lewiston Properties LLC.

Before me,
Gail A. Sullivan
Notary Public
Print Name: _____
Commission Expires _____

GAIL A. SULLIVAN, Notary Public
My Commission Expires August 30, 2002





ANDROSCOGGIN COUNTY
Jeanine D. Bergeron
 REGISTER OF DEEDS

R/W REFERENCES:

"STATE OF MAINE DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAYS, RIGHT OF WAY MAP, LEWISTON, ANDROSCOGGIN COUNTY, FEDERAL AID PROJECT NO. DP-0148(3)", DATED DECEMBER 1974, D.O.T. FILE NO. 1-104, SHEETS 5&6 OF 13.

Design: RCN	Date: 6/18/06
Draft: GIL	Job No.: 387
Checked: TLE	Scale: 1"=30'
File Name: 387-1_signalplan	

GP Gerrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services

PO Box 1237
 18 Sider Road
 Gray, ME 04039

Phone: 207-887-4810
 Fax: 207-887-4912
 Email: mtb@gpengineers.com

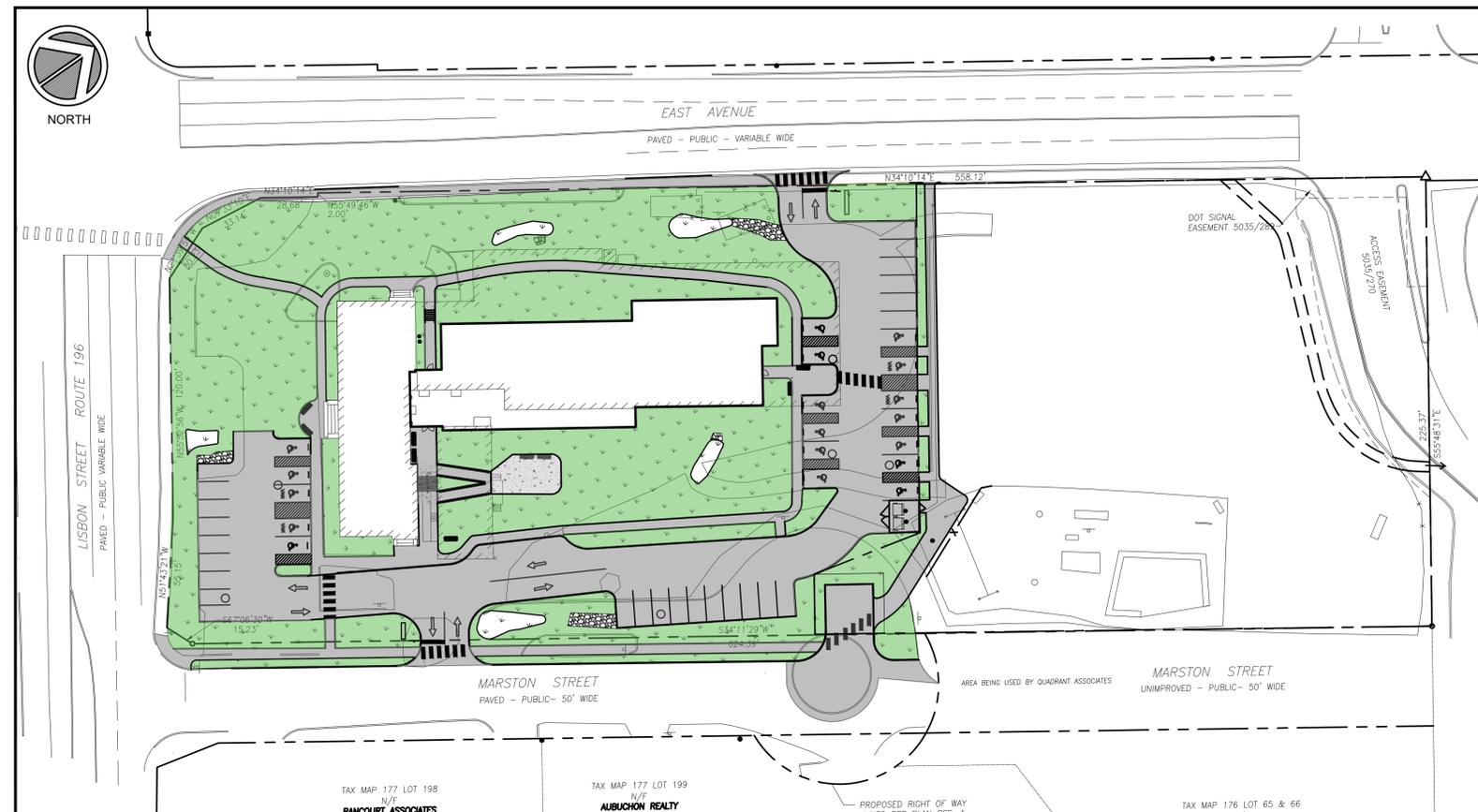
Drawing Name:	Right-of-Way Map
Owner:	STATE OF MAINE DOT
Address:	10 SIDE HOUSE SCHOOL AVENUE, LEWISTON, MAINE 04203
Property:	East Avenue, Lewiston, Maine

Figure No.	A
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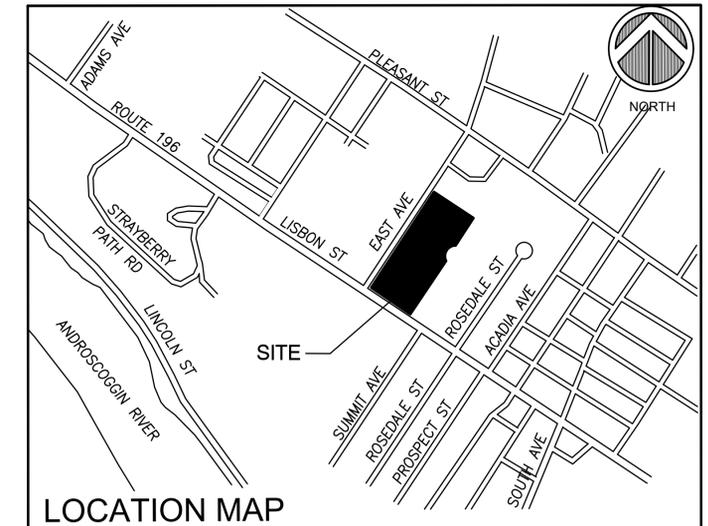
MARTEL SCHOOL APARTMENTS

860 LISBON STREET
LEWISTON, MAINE

DATE ISSUED: AUGUST 6, 2020



SCALE: N.T.S.



LOCATION MAP

SCALE: N.T.S.

SHEET INDEX:

SHT	DESCRIPTION
COVER	COVER SHEET
E1.1	EXISTING CONDITIONS PLAN
C1.1	NOTES & LEGEND
C1.2	DEMOLITION & EROSION CONTROL PLAN
C1.3	SUBDIVISION PLAN
C1.4	SITE PLAN
C1.5	GRADING & DRAINAGE PLAN
C1.6	UTILITY PLAN
C1.7	EROSION CONTROL & CONSTRUCTION DETAILS
C1.8	DETAILS
C1.9	DETAILS
C2.0	DETAILS
L1.0	LANDSCAPE PLAN
L2.0	LIGHTING PLAN

APPLICANT/DEVELOPER:

AVESTA HOUSING
307 CUMBERLAND AVENUE
PORTLAND, MAINE 04101

CIVIL ENGINEER:

JOHN MAHONEY, P.E.
RANSOM CONSULTING, LLC
400 COMMERCIAL STREET, SUITE 404
PORTLAND, ME 04101
TEL. (207) 772-2891
www.ransomenv.com

SURVEYOR:

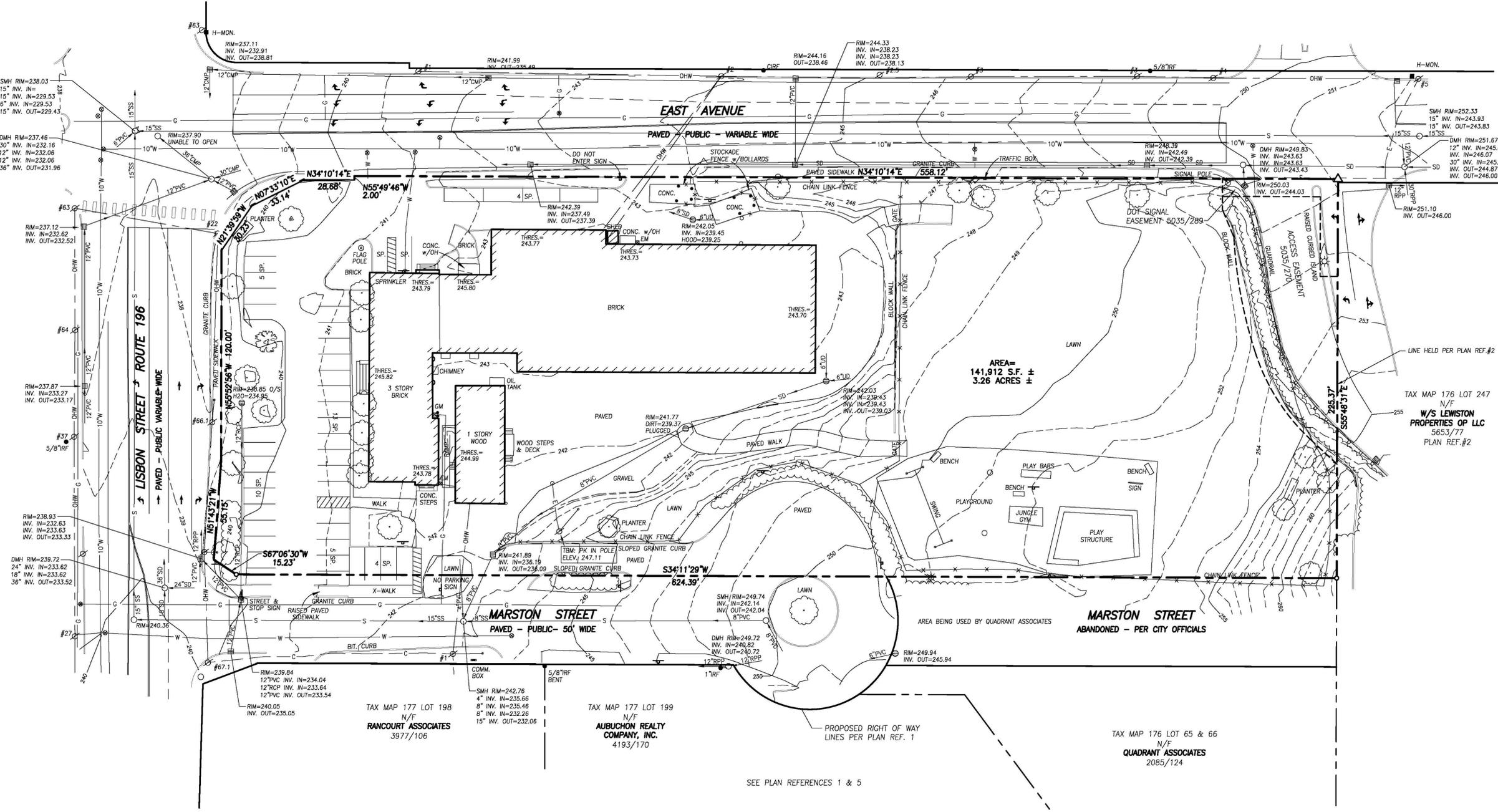
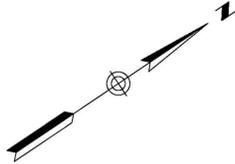
RANDY R. LOUBIER, P.L.S
OWEN HASKELL, INC.
390 U.S. ROUTE ONE, UNIT 10
FALMOUTH, ME 04105

ARCHITECT:

GABRIELLE RUSSELL
PLATZ ASSOCIATES
TWO GREAT FALLS PLAZA
AUBURN, ME 04210

LANDSCAPE ARCHITECT:

MITCHELL RASOR
MRLD LANDSCAPE
ARCHITECTURE + URBANISM
87 MAIN STREET
YARMOUTH, ME 04096



AREA = 141,912 S.F. ±
3.26 ACRES ±

TAX MAP 176 LOT 247
N/F
W/S LEWISTON PROPERTIES OF LLC
5653/77
PLAN REF.#2

TAX MAP 177 LOT 198
N/F
RANCOURT ASSOCIATES
3977/106

TAX MAP 177 LOT 199
N/F
AUBUCHON REALTY COMPANY, INC.
4193/170

TAX MAP 176 LOT 65 & 66
N/F
QUADRANT ASSOCIATES
2085/124

SEE PLAN REFERENCES 1 & 5



LOCATION MAP N.T.S.

LEGEND

●	IRON PIPE OR ROD FOUND	⊗	GAS VALVE
■	MONUMENT FOUND	—X—X—	FENCE
○	CAPPED IRON ROD TO BE SET	—	CURB
⊕	UTILITY POLE	—OHW—	OVERHEAD WIRES
○	MANHOLE	—E—	UNDERGROUND POWER
⊗	EM/GM ELECTRIC/GAS METER	—C—	COMMUNICATION
⊕	SIGN	—W—	WATER LINE
⊕	CATCH BASIN	—G—	GAS LINE
⊕	HYDRANT	—SD—	STORM DRAIN
⊕	WATER VALVE OR SHUTOFF	—S—	SANITARY SEWER
⊕	LIGHT POLE	—250—	1' CONTOUR
⊕	DECIDUOUS TREE	—P/E/IRF—	IRON PIPE OR ROD FOUND
⊕	CONFEROUS TREE	—N/F—	NOW OR FORMERLY
		000/000	DEED BOOK / PAGE
		△	NAIL TO BE SET

- PLAN REFERENCES**
- "SITE PLAN, MARSTON STREET APARTMENTS, LEWISTON, MAINE OWNER/DEVELOPER: H.E. CALLAHAN CONSTRUCTION CO., ROUTE 4, AUBURN, MAINE SURVEYOR: OWEN HASKELL, INC. DATE: DECEMBER 12, 1988" RECORDED IN ANDROSCOGGIN COUNTY REGISTRY OF DEEDS IN BOOK 31, PAGE 198.
 - "LOT DIVISION PLAN OF LAND OF W/S LEWISTON PROPERTIES LLC, LEWISTON, ANDROSCOGGIN COUNTY, MAINE AUGUST 26, 2003 CES ENGINEERS-SURVEYORS" RECORDED IN BOOK 43, PAGE 55.
 - "STATE OF MAINE DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAYS RIGHT OF WAY MAP, STATE HIGHWAY '17' LEWISTON, ANDROSCOGGIN COUNTY, FEDERAL AID PROJECT NO. DP-017-1(19) DECEMBER 1974 D.O.T. FILE NO. 1-104" RECORDED IN PLAN BOOK 28 PAGE 74-86.
 - "STATE OF MAINE DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, STATE HIGHWAY '17' LEWISTON ANDROSCOGGIN COUNTY FEDERAL AID PROJECT NO. F-017P(75) DECEMBER 1993 D.O.T. FILE NO. 1-211" RECORDED IN PLAN BOOK 40 PAGE 16-25.
 - "PLAN OF LAND STANDARD BOUNDARY SURVEY ON MARSTON STREET LEWISTON, MAINE FOR HOUSING RESOURCES CORP." BY OWEN HASKELL, INC. DATED JUNE 6, 1985 REVISED THROUGH 7/11/85.

- GENERAL NOTES**
- OWNER OF RECORD: CITY OF LEWISTON, MARSTON SCHOOL 27 PINE STREET, LEWISTON, MAINE TAX MAP 176 LOT 64 A.C.R.D. BOOK 337 PAGE 302 & BOOK 342 PAGE 315
 - BEARINGS ARE BASED ON MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE NAD83.
 - ELEVATIONS ARE BASED ON NAVD 88 DATUM BASED ON STATIC GPS OBSERVATIONS.
 - MARSTON STREET IS A 50 FOOT WIDE PUBLIC WAY ACCEPTED BY THE CITY OF LEWISTON ON AUGUST 22, 2024 RECORDED IN THE CITY ACCEPTANCE BOOKS ON PAGE 491, AS DESCRIBED AS RUNNING FROM THE NORTHEASTERLY SIDE OF LISBON ROAD TO THE SOUTHWESTERLY LINE OF PLEASANT STREET, BEING PARALLEL AND 225 FEET FROM THE SOUTHEASTERLY LINE OF EAST AVENUE. THE PORTION OF MARSTON STREET ON LAND NOW OR FORMERLY OF W/S LEWISTON PROPERTIES OF LLC WAS DISCONTINUED IN 2001 AND RECORDED IN THE REGISTRY OF DEEDS IN BOOK 4818 PAGE 49.

CERTIFICATE

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

Randy R. Louber
RANDY R. LOUBER, PLS #2407

6/30/2020
DATE



REV.2 | 06/30/20 | ADDED AREA OF SURVEYED PARCEL
REV.1 | 06/24/20 | ADDED MARSTON ST. ABANDONED NOTE PER CITY OFFICIALS

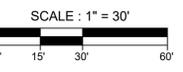
Boundary & Topographic Survey
At
860 Lisbon Street, Lewiston, Maine
Made for
Avesta Housing
307 Cumberland Avenue, Portland, Maine

OWEN HASKELL, INC.
PROFESSIONAL LAND SURVEYORS

390 US ROUTE 1, UNIT 10, FALMOUTH, ME 04105 TEL. 207-774-0424
DRAWN BY: RS / JLW DATE: JUNE 18, 2020 JOB NO. 2020-107-L4A
CHECKED BY: RRL SCALE: 1" = 30' DRWG. NO. 1

UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEY HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION DUE TO OSHA CONFINED SPACE REQUIREMENTS, ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.



TEMPORARY EROSION CONTROL MEASURES

THE FOLLOWING MEASURES ARE PLANNED AS TEMPORARY EROSION & SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION. THESE TEMPORARY EROSION CONTROL MEASURES SHOULD BE REMOVED WITHIN 30 DAYS AFTER PERMANENT STABILIZATION HAS BEEN ESTABLISHED.

- CRUSHED STONE--STABILIZED CONSTRUCTION ENTRANCES SHALL BE PLACED AT SITE ENTRANCES.
- WOOD WASTE COMPOST BERMS (EROSION CONTROL BERM) SHALL BE INSTALLED DOWNSTREAM OF ANY DISTURBED AREAS TO TRAP RUNOFF BORNE SEDIMENTS UNTIL THE TRIBUTARY AREAS ARE VEGETATED. THE EROSION CONTROL BERMS SHALL BE INSTALLED PER THE DETAILS PROVIDED AND INSPECTED REGULARLY, INCLUDING BEFORE AND AFTER A STORM EVENT OF 0.5 INCHES OR GREATER. REPAIRS SHALL BE MADE IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THE FENCE OR BERM LINE. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OF THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THE BERM, THE BARRIER SHALL BE REPLACED WITH A STONE CHECK DAM.
- STRAW, HAY MULCH AND HYDROSEEDING IS INTENDED TO PROVIDE COVER FOR BARE OR SEEDED AREAS UNTIL VEGETATION IS ESTABLISHED AND SHOULD BE APPLIED WITHIN 7 DAYS AT A RATE A 115 POUNDS PER 1000 SQUARE FEET. MULCH PLACED BETWEEN APRIL 15TH AND OCTOBER 15TH (ON SLOPES OF LESS THAN 15 PERCENT) SHALL BE ANCHORED BY APPLYING WATER. MULCH PLACED ON SLOPES OF EQUAL TO OR STEEPER THAN 15 PERCENT SHALL BE COVERED BY FABRIC NETTING AND ANCHORED WITH STAPLES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION. SLOPES STEEPER THAN 3:1 SHALL RECEIVE EROSION CONTROL BLANKETS OR RIP RAP.
- TEMPORARY STOCKPILES OF STUMPS, GRUBBINGS, OR COMMON EXCAVATION WILL BE PROTECTED AS FOLLOWS: STOCKPILES SHALL BE STABILIZED WITHIN SEVEN DAYS BY EITHER TEMPORARILY SEEDING THE STOCKPILE BY A HYDROSEED METHOD CONTAINING AN EMULSIFIED MULCH TACKIFIER OR BY COVERING THE STOCKPILE WITH MULCH, SUCH AS SHREDDED HAY, STRAW, OR EROSION CONTROL MIX. STOCKPILES SHALL BE SURROUNDED BY SEDIMENTATION BARRIER AT THE TIME OF FORMATION.
- ALL DISTURBED AREAS THAT ARE WITHIN 75 FEET OF AN UNDISTURBED WETLAND SHALL RECEIVE MULCH OR EROSION CONTROL MESH FABRIC WITHIN 48 HOURS OF INITIAL DISTURBANCE OF SOIL. ALL AREAS WITHIN 75 FEET OF AN UNDISTURBED WETLAND SHALL BE MULCHED PRIOR TO ANY PREDICTED RAIN EVENT REGARDLESS OF THE 48 HOUR WINDOW. IN OTHER AREAS, THE TIME PERIOD MAY BE EXTENDED TO 7 DAYS.
- STATE AND LOCAL ROADS SHALL BE SWEEPED TO CONTROL MUD AND DUST AS NECESSARY. ADDITIONAL STONE SHALL BE ADDED TO THE STABILIZED CONSTRUCTION ENTRANCE TO MINIMIZE THE TRACKING OF MATERIAL OFF THE SITE AND ONTO THE SURROUNDING ROADWAYS.
- STORMDRAIN CATCH BASIN INLET PROTECTION SHALL BE PROVIDED THROUGH THE USE OF STONE SEDIMENT BARRIERS OR APPROVED SEDIMENT BAGS (SUCH AS SILT SACK). INSTALLATION DETAILS ARE PROVIDED IN THE PLAN SET. THE BARRIERS SHALL BE INSPECTED AFTER EACH RAINFALL AND REPAIRS MADE AS NECESSARY. SEDIMENT SHALL BE REMOVED AND THE BARRIER RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO HALF THE DESIGN DEPTH OF THE BARRIER. THE BARRIER SHALL BE REMOVED WHEN THE TRIBUTARY DRAINAGE AREA HAS BEEN STABILIZED.
- WATER AND/OR CALCIUM CHLORIDE SHALL BE FURNISHED AND APPLIED IN ACCORDANCE WITH MDOT SPECIFICATIONS--SECTION 637--DUST CONTROL.
- LOAM AND SEED IS INTENDED TO SERVE AS THE PRIMARY PERMANENT VEGETATIVE MEASURE FOR ALL BARE AREAS NOT PROVIDED WITH OTHER EROSION CONTROL MEASURES, SUCH AS RIPRAP.
- WATER FROM CONSTRUCTION TRENCH DEWATERING OR TEMPORARY STREAM DIVERSION SHALL PASS FIRST THROUGH A FILTER BAG OR SECONDARY CONTAINMENT STRUCTURE (E.G. HAY BALE LINED POOL) PRIOR TO DISCHARGE. THE DISCHARGE SITE SHALL BE SELECTED TO AVOID FLOODING, ICING, AND SEDIMENT DISCHARGES TO A PROTECTED RESOURCE. IN NO CASE SHALL THE FILTER BAG OR CONTAINMENT STRUCTURE BE LOCATED WITHIN 75 FEET OF A PROTECTED NATURAL RESOURCE.

GRADING NOTES

- ALL SIDEWALK CONSTRUCTION SHALL CONFORM TO THE APPROPRIATE ADA/PROWAG STANDARDS INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - WALKWAYS SHALL HAVE A **MAXIMUM CROSS SLOPE** (PERPENDICULAR TO THE DIRECTION OF TRAVEL) OF **2%** AND A **MAXIMUM LONGITUDINAL SLOPE** (ALONG THE DIRECTION OF TRAVEL) OF 5%, UNLESS LONGITUDINAL SLOPE OF ROADWAY IS STEEPER.
 - CURB RAMPS MAY HAVE A RUNNING SLOPE OF UP TO 8% (1" PER FOOT), BUT ARE NOT REQUIRED TO EXCEED 15' IN LENGTH. WHERE 8% RUNNING SLOPE IS NOT POSSIBLE, CURB STONES ARE TO BE SET TO PROVIDE CONSTANT SLOPE OVER 15', ALONG TOP-OF-CURB, FROM FULL CURB REVEAL TO FLUSH CURB. THIS IS THE CASE AT SEVERAL RAMP LOCATIONS IN THE PROJECT AREA.
 - THE MAXIMUM CROSS SLOPE OF CURB RAMPS IS 2% (UNLESS INDICATED OTHERWISE TO MATCH INTO SLOPE OF CROSS STREET).
 - LANDING AREAS SHALL HAVE A MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS.
 - IF THE CONTRACTOR DETERMINES THAT THE ABOVE STANDARDS ARE NOT COMPATIBLE WITH SITE CONDITIONS THEY SHALL CONTACT THE ENGINEER/RESIDENT UPON DISCOVERY AND REQUEST GUIDANCE. INSTALLATION OF A RAMP OR SIDEWALK SEGMENT THAT DIFFERS FROM THE PLAN WITHOUT GUIDANCE FROM AND APPROVAL OF ENGINEER/RESIDENT, AND WHICH DOES NOT MEET ADA STANDARDS WILL NOT BE ACCEPTED.
- CONTRACTOR TO FIELD VERIFY LIMITS OF WORK AND GRADING OF DRIVEWAYS WITH ENGINEER/RESIDENT PRIOR TO BEGINNING WORK.
- IN THE EVENT OF A CONFLICT BETWEEN SPOT GRADES AND ADA STANDARDS, THE ADA STANDARDS SHALL GOVERN.
- FIELD FITTING MAY BE REQUIRED.

GENERAL NOTES

- LOCATION OF UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE (GIS) AND NOT FIELD VERIFIED.
- THE EXISTING CONDITIONS DATA FOR THIS PROJECT IS BASED ON LIDAR AND FIELD DATA, RATHER THAN A STANDARD EXISTING CONDITIONS SURVEY. FOR THIS REASON, FIELD FITTING AND AND ADJUSTMENTS TO THE PROPOSED GRADING MAY BE REQUIRED TO MATCH INTO EXISTING INFRASTRUCTURE AND TO MEET THE REQUIRED ADA STANDARDS.
- ALL NEW SIDEWALK AND ADA CURB RAMPS SHALL BE CONCRETE PER CITY STANDARDS.
- CONTRACTOR SHALL COORDINATE ALL WORK WITHIN THE RIGHT-OF-WAY WITH THE CITY.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE/R.O.W.	---
---	ABUTTER LINE/R.O.W.	---
---	DEED LINE/ROW	---
---	TIE LINE	---
---	SETBACK	---
---	EASEMENT	---
---	BUFFER	---
---	FLOODPLAIN	---
---	FLOODWAY	---
---	CENTERLINE	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	DRILLHOLE	---
---	BUFFER PIN	---
C1/L1	DEED CALL	C1 / L1
C1/L1	CURVELINE NO.	C1 / L1
---	SOILS BOUNDARY	---
---	ZONE LINE	---
---	ZONE LINE ON PL	---
---	BENCHMARK	---
---	SURVEY CONTROL	---
TP-1	TEST PIT	---
MW-2	MONITORING WELL	---
B-3	BORING	---
---	REACH	---
---	TCPATH	---
---	WATERSHED	---
---	BUILDING	---
---	WETLANDS	---
---	UPLAND	---
---	EDGE WETLAND	---
---	SIGN	---
---	STREAM	---
---	ROCK OUTCROP	---
---	EDGE PAVEMENT	---
---	EDGE CONCRETE	---
---	PAVEMENT PAINT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
---	EDGE WATER	---
---	TREELINE	---
---	CONTOURS	---
---	SPOT GRADE	---
---	CHAIN LINK FENCE	---
---	WIRE FENCE	---
---	STOCKADE FENCE	---
---	RETAINING WALL	---
---	DECIDUOUS TREE	---
---	CONIFEROUS TREE	---
---	MULCH LINE	---
---	GUARDRAIL	---
---	BOLLARD	---
---	RAILROAD	---
G	GAS	G
G	GAS GATE VALVE	G
EM/GM	GAS METER	EM/GM
W	WATER	W
W	WATER GATE VALVE	W
W	WATER SHUT OFF	W
W	HYDRANT	W
W	POTABLE WELL	W
S	SEWER	S
FM	FORCE MAIN	FM
SMH	SEWER MH	SMH
SD	STORM DRAIN	SD
UD	UNDERDRAIN	UD
CB	CATCH BASIN	CB
CB	CATCH BASIN W BEEHIVE	CB
CB	CATCH BASIN W CURB INLET	CB
DMH	DRAINAGE MH	DMH
CU	CULVERT	CU
OHU	OVERHEAD UTILITY	OHU
UGU	UNDERGROUND UTILITY	UGU
T	TRANSFORMER	T
EM/GM	ELECTRICAL METER	EM/GM
TM	TELEPHONE MANHOLE	TM
LP	LIGHT POLEWALL	LP
UP	UTILITY POLE	UP
GUY	GUY	GUY
EB	EG. BLANKET	EB
FB	FILTER BARRIER	FB
FB	RIPRAP	FB
CD	CHECK DAM	CD
IP	INLET PROTECTION	IP

Site:

MARTEL SCHOOL APARTMENTS
860 LISBON STREET
LEWISTON, ME

Prepared for:
AVESTA HOUSING
307 CUMBERLAND AVE
PORTLAND, ME 04101



JOHN I. MAHONEY, PE #12340
400 COMMERCIAL STREET, SUITE 404
PORTLAND, ME 04101
207-772-2891

SURVEYOR:
RANDY R. LOUBIER
OWEN HASKELL, INC.
390 U.S. ROUTE ONE, UNIT 10
FALMOUTH, ME 04105

ARCHITECT:
GABRIELLE RUSSELL
PLATZ ASSOCIATES
TWO GREAT FALLS PLAZA
AUBURN, ME 04210

LANDSCAPE ARCHITECT:
MITCHELL RASOR
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87 MAIN STREET
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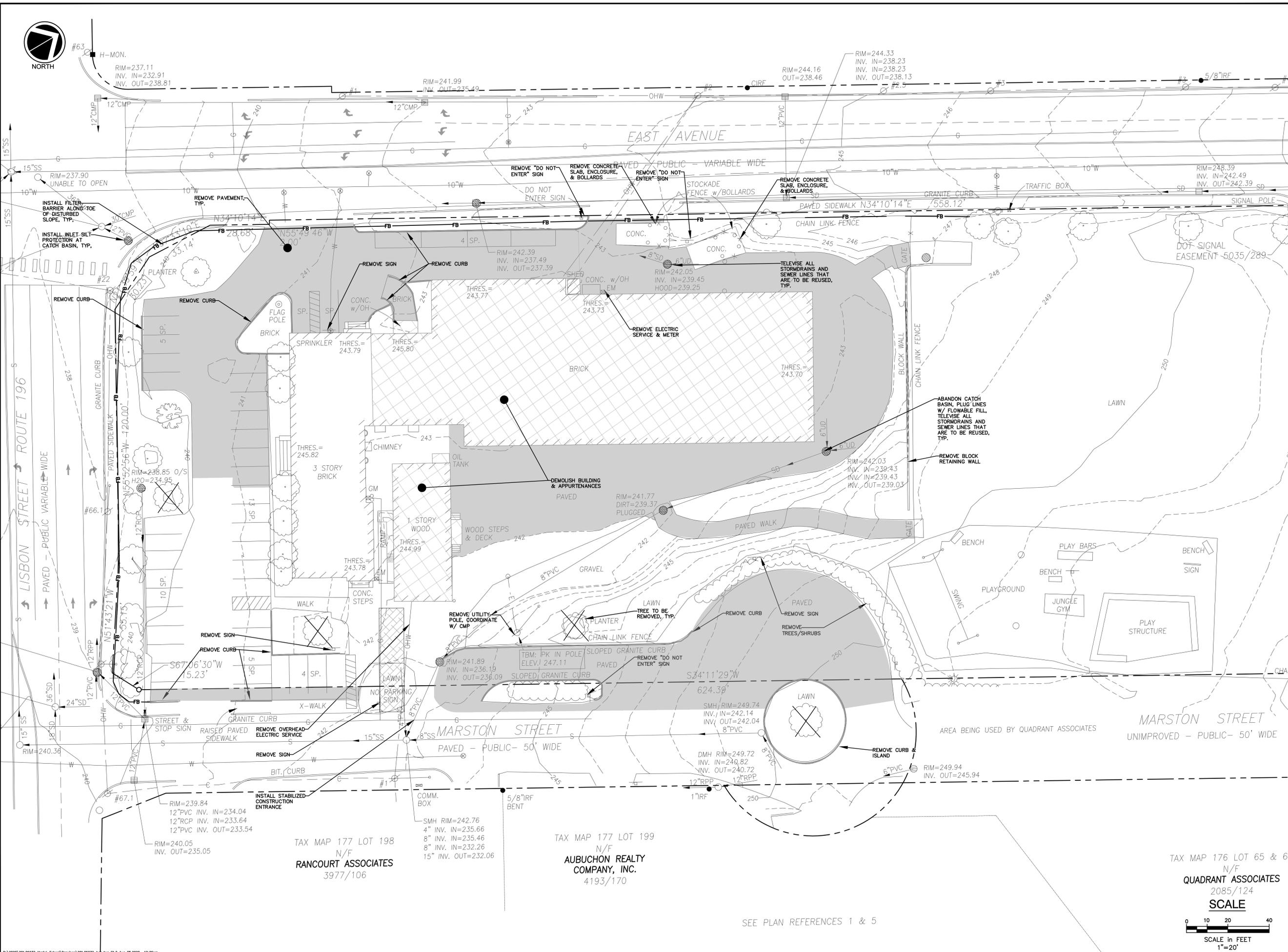
400 Commercial Street, Suite 404
Portland, ME 04101
Tel. (207) 772-2891
Fax (207) 772-3248
www.ransomenv.com

NOTES & LEGEND

C	CITY RESUBMISSION	08/06/20
B	CITY SUBMISSION	07/08/20
A	CLIENT REVIEW	07/02/20

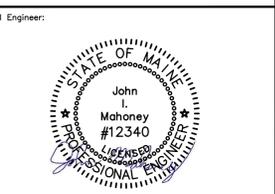
No.	Revision/Issue	Date
Design by:	ARF	Checked by: JIM
Drawn by:	BGC	Approved by: JIM
Project:	201.06032	Date: MAY 2020

Sheet No: **C1.1**
Sheet 3 of 14



MARTEL SCHOOL APARTMENTS
860 LISBON STREET
LEWISTON, ME

Prepared for:
AVESTA HOUSING
307 CUMBERLAND AVE
PORTLAND, ME 04101



JOHN I. MAHONEY, PE #12340
400 COMMERCIAL STREET, SUITE 404
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207-772-2891

SURVEYOR:
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ARCHITECT:
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LANDSCAPE ARCHITECT:
MITCHELL RASOR
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87 MAIN STREET
YARMOUTH, ME 04096



400 Commercial Street, Suite 404
Portland, ME 04101
Tel. (207) 772-2891
Fax (207) 772-3218
www.ransomenv.com

DEMOLITION & EROSION CONTROL PLAN

C	CITY RESUBMISSION	08/06/20
B	CITY SUBMISSION	07/08/20
A	CLIENT REVIEW	07/02/20
No.	Revision/Issue	Date

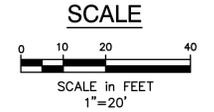
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Drawn by:	BGC	Approved by:	JIM
Project:	201.06032	Date:	MAY 2020

Sheet No: **C1.2**
Sheet 4 of 14

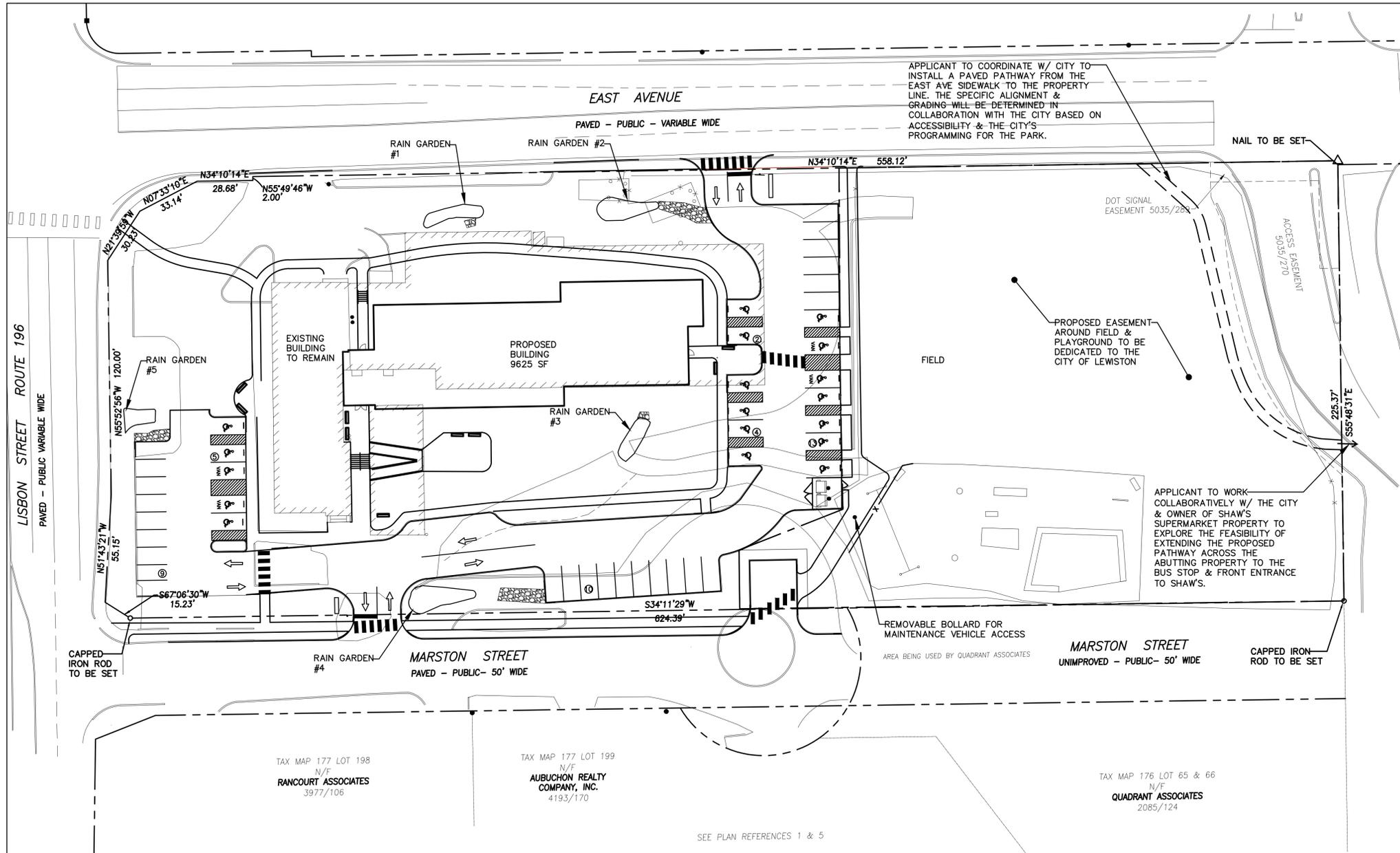
TAX MAP 177 LOT 198
N/F
RANCOURT ASSOCIATES
3977/106

TAX MAP 177 LOT 199
N/F
AUBUCHON REALTY COMPANY, INC.
4193/170

TAX MAP 176 LOT 65 & 6
N/F
QUADRANT ASSOCIATES
2085/124



SEE PLAN REFERENCES 1 & 5



GENERAL NOTES:

- TOTAL SITE AREA: 3.26 ACRES
- ZONING DISTRICT: OFFICE-RESIDENTIAL DISTRICT
- RECORD OWNER: CITY OF LEWISTON, MARTEL SCHOOL 27 PINE STREET, LEWISTON, MAINE
- APPLICANT: AVESTA HOUSING 307 CUMBERLAND AVENUE PORTLAND, ME 04101
- TAX MAP: MAP 195, LOT 544; MAP 195, LOT 545
- BOOK AND PAGE: ACRD BOOK 6764, PAGE 348; BOOK 9291, PAGE 329
- PROJECT ADDRESS: 860 LISBON ST
- SPACE AND BULK:

	ALLOWED	PROPOSED
DENSITY:	3000 SF PER UNIT	3,227 SF PER UNIT
FRONT SETBACK:	10 FT	10 FT
FRONT YARD:	20 FT	20 FT
SIDE SETBACK:	15 FT	15 FT
REAR SETBACK:	15 FT	15 FT
REAR/SIDE YARD:	10 FT	10 FT
LOT COVERAGE:	30%	10%
BUILDING COVERAGE:	60%	30%
BUILDING HEIGHT:	35 FT.	35 FT
- BEARINGS ARE BASED ON MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE NAD83.
- ELEVATIONS ARE BASED ON NAVD 88 DATUM BASED ON STATIC GPS OBSERVATIONS.
- MARSTON STREET IS A 50 FOOT WIDE PUBLIC WAY ACCEPTED BY THE CITY OF LEWISTON ON AUGUST 22, 1924 RECORDED IN THE CITY ACCEPTANCE BOOKS ON PAGE 491, AS DESCRIBED AS RUNNING FROM THE NORTHEASTERLY SIDE OF LISBON ROAD TO THE SOUTHWESTERLY LINE OF PLEASANT STREET, BEING PARALLEL AND 225 FEET FROM THE SOUTHEASTERLY LINE OF EAST AVENUE. THE PORTION OF MARSTON STREET ON LAND NOW OR FORMERLY OF W/S LEWISTON PROPERTIES OF LLC WAS DISCONTINUED IN 2001 AND RECORDED IN THE REGISTRY OF DEEDS IN BOOK 4818 PAGE 49.

PARKING CALCULATIONS:

REQUIRED SPACES:
 ELDERLY HOUSING 0.5 SPACES PER DWELLING UNIT + 0.1 SPACES PER VISITOR
 0.6/DWELLING UNIT X 44 DWELLING UNITS = 26 SPACES
 COMMUNITY CENTER 1 SPACES PER 200 SF
 1080 SF / 200 SF = 5 SPACES
 1-75 REGULAR SPACES = 3 ADA ACCESSIBLE SPACES

PROVIDED SPACES:
 ON-SITE:
 25 SPACES
 18 ADA ACCESSIBLE SPACES
 43 SPACES

PLAN REFERENCES

- "SITE PLAN, MARSTON STREET APARTMENTS, LEWISTON, MAINE OWNER/DEVELOPER: H.E. CALLAHAN CONSTRUCTION CO., ROUTE 4, AUBURN, MAINE SURVEYOR: OWEN HASKELL, INC. DATE: DECEMBER 12, 1985" RECORDED IN ANDROSCOGGIN COUNTY REGISTRY OF DEEDS IN BOOK 31, PAGE 198.
- "LOT DIVISION PLAN OF LAND OF W/S LEWISTON PROPERTIES LLC, LEWISTON, ANDROSCOGGIN COUNTY, MAINE AUGUST 26, 2003 CES ENGINEERS-SURVEYORS" RECORDED IN BOOK 43, PAGE 55.
- "STATE OF MAINE DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAYS RIGHT OF WAY MAP, STATE HIGHWAY 17 LEWISTON, ANDROSCOGGIN COUNTY, FEDERAL AID PROJECT NO. DP-017-1(19), DECEMBER 1974 D.O.T. FILE NO. 1-104" RECORDED IN PLAN BOOK 28 PAGE 74-86.
- "STATE OF MAINE DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, STATE HIGHWAY 17 LEWISTON ANDROSCOGGIN COUNTY FEDERAL AID PROJECT NO. F-017P(75) DECEMBER 1993 D.O.T. FILE NO. 1-211" RECORDED IN PLAN BOOK 40 PAGE 16-25.
- "PLAN OF LAND STANDARD BOUNDARY SURVEY ON MARSTON STREET LEWISTON, MAINE FOR HOUSING RESOURCES CORP." BY OWEN HASKELL, INC. DATED JUNE 6, 1985 REVISED THROUGH 7/11/85.
- BOUNDARY & TOPOGRAPHIC SURVEY AT 860 LISBON STREET, LEWISTON, MAINE MADE FOR AVESTA HOUSING, 307 CUMBERLAND AVENUE, PORTLAND, MAINE, DATED JUNE 30, 2020, BY OWEN HASKELL, INC.

NOTES:

- MULTI-USE TRAIL CONNECTION BETWEEN THE HAMMERHEAD AND THE PARK TO PROVIDE PEDESTRIAN ACCESS AS WELL AS ACCESS FOR CITY MAINTENANCE VEHICLES. APPLICANT TO COORDINATE WITH CITY TO FIELD FIT & LOCATE TURNAROUND.



OWEN HASKELL, INC.
 PROFESSIONAL LAND SURVEYORS
 390 U.S. ROUTE ONE, UNIT 10, FALMOUTH, MAINE 04105
 FOR BOUNDARY AND TOPOGRAPHIC DATA

CONDITIONS OF APPROVAL:

- WILL NOT RESULT IN UNDUE WATER OR AIR POLLUTION. IN MAKING THIS DETERMINATION, IT SHALL AT LEAST CONSIDER: THE ELEVATION OF LAND ABOVE SEA LEVEL AND ITS RELATION TO THE FLOODPLAINS; THE NATURE OF SOILS AND SUBSOILS AND THEIR ABILITY TO ADEQUATELY SUPPORT WASTE DISPOSAL; THE SLOPE OF THE LAND AND ITS EFFECT ON EFFLUENTS; THE AVAILABILITY OF STREAMS FOR DISPOSAL OF EFFLUENTS; AND THE APPLICABLE STATE AND LOCAL HEALTH AND WATER RESOURCES REGULATIONS.
- HAS SUFFICIENT WATER AVAILABLE FOR THE REASONABLY FORESEEABLE NEEDS OF THE SUBDIVISION.
- WILL NOT CAUSE AN UNREASONABLE BURDEN ON AN EXISTING WATER SUPPLY, IF ONE IS TO BE UTILIZED.
- WILL NOT CAUSE UNREASONABLE SOIL EROSION OR REDUCTION IN THE CAPACITY OF THE LAND TO HOLD WATER SO THAT A DANGEROUS OR UNHEALTHY CONDITION MAY RESULT.
- WILL NOT CAUSE UNREASONABLE HIGHWAY OR PUBLIC ROAD CONGESTION OR UNSAFE CONDITIONS WITH RESPECT TO USE OF THE HIGHWAYS OR PUBLIC ROADS, EXISTING OR PROPOSED.
- WILL PROVIDE FOR ADEQUATE SEWAGE WASTE DISPOSAL.
- WILL NOT CAUSE AN UNREASONABLE BURDEN ON THE ABILITY OF A MUNICIPALITY TO DISPOSE OF SOLID WASTE AND SEWAGE, IF MUNICIPAL SERVICES ARE TO BE UTILIZED.
- WILL NOT HAVE AN UNDUE ADVERSE EFFECT ON THE SCENIC OR NATURAL BEAUTY OF THE AREA, AESTHETICS, HISTORIC SITES OR RARE AND IRREPLACEABLE NATURAL AREAS OR ANY PUBLIC RIGHTS FOR PHYSICAL OR VISUAL ACCESS TO THE SHORELINE.
- IS IN CONFORMANCE WITH THIS CODE AND THE CITY'S COMPREHENSIVE PLAN.
- THE SUBDIVIDER HAS ADEQUATE FINANCIAL AND TECHNICAL CAPACITY TO MEET THE ABOVE STATED STANDARDS.
- WHENEVER SITUATED, IN WHOLE OR IN PART, WITHIN 250 FEET OF ANY POND, LAKE, RIVER OR TIDAL WATERS, WILL NOT ADVERSELY AFFECT THE QUALITY OF THAT BODY OF WATER OR UNREASONABLY AFFECT THE SHORELINE OF THAT BODY OF WATER.
- WILL NOT, ALONE OR IN CONJUNCTION WITH EXISTING ACTIVITIES, ADVERSELY AFFECT THE QUALITY OR QUANTITY OF GROUNDWATER.
- THE SUBDIVIDER WILL DETERMINE, BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD BOUNDARY AND FLOODING MAPS AND FLOOD INSURANCE RATE MAPS, WHETHER THE SUBDIVISION IS IN A FLOOD-PRONE AREA. IF THE SUBDIVISION, OR ANY PART OF IT, IS IN SUCH AN AREA THE SUBDIVIDER WILL DETERMINE THE 100-YEAR FLOOD ELEVATION AND FLOOD HAZARD BOUNDARIES WITHIN THE SUBDIVISION. THE PROPOSED SUBDIVISION PLAN SHALL INCLUDE A CONDITION OF PLAT APPROVAL REQUIRING THAT PRINCIPAL STRUCTURES ON LOTS IN THE SUBDIVISION SHALL BE CONSTRUCTED WITH THEIR LOWEST FLOOR, INCLUDING THE BASEMENT, AT LEAST ONE FOOT ABOVE THE 100-YEAR FLOOD ELEVATION.
- WILL NOT INTERFERE UNREASONABLY WITH THE SOLAR ACCESS OF EXISTING BUILDINGS OR ADJACENT PARCELS.

CITY OF LEWISTON PLANNING BOARD

CHAIRMAN _____

BOARD MEMBERS _____

DATE _____

"APPROVED: CITY OF LEWISTON PLANNING BOARD"

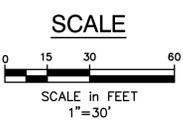
STATE OF MAINE, ANDROSCOGGIN, ss
 REGISTRY OF DEEDS

RECEIVED _____

AT _____ hr. _____ min. _____ m AND RECORDED

IN PLAN BOOK _____, PAGE _____

ATTEST: _____
 REGISTER



MARTEL SCHOOL APARTMENTS
 860 LISBON STREET
 LEWISTON, ME

Prepared for:
 AVESTA HOUSING
 307 CUMBERLAND AVE
 PORTLAND, ME 04101



Randy R. Loubier

SURVEYOR: RANDY R. LOUBIER
 OWEN HASKELL, INC.
 390 U.S. ROUTE ONE, UNIT 10
 FALMOUTH, ME 04105

ARCHITECT: GABRIELLE RUSSELL
 PLATZ ASSOCIATES
 TWO GREAT FALLS PLAZA
 AUBURN, ME 04210

LANDSCAPE ARCHITECT: MITCHELL RASOR
 MRLD, LLC
 87 MAIN STREET
 YARMOUTH, ME 04096

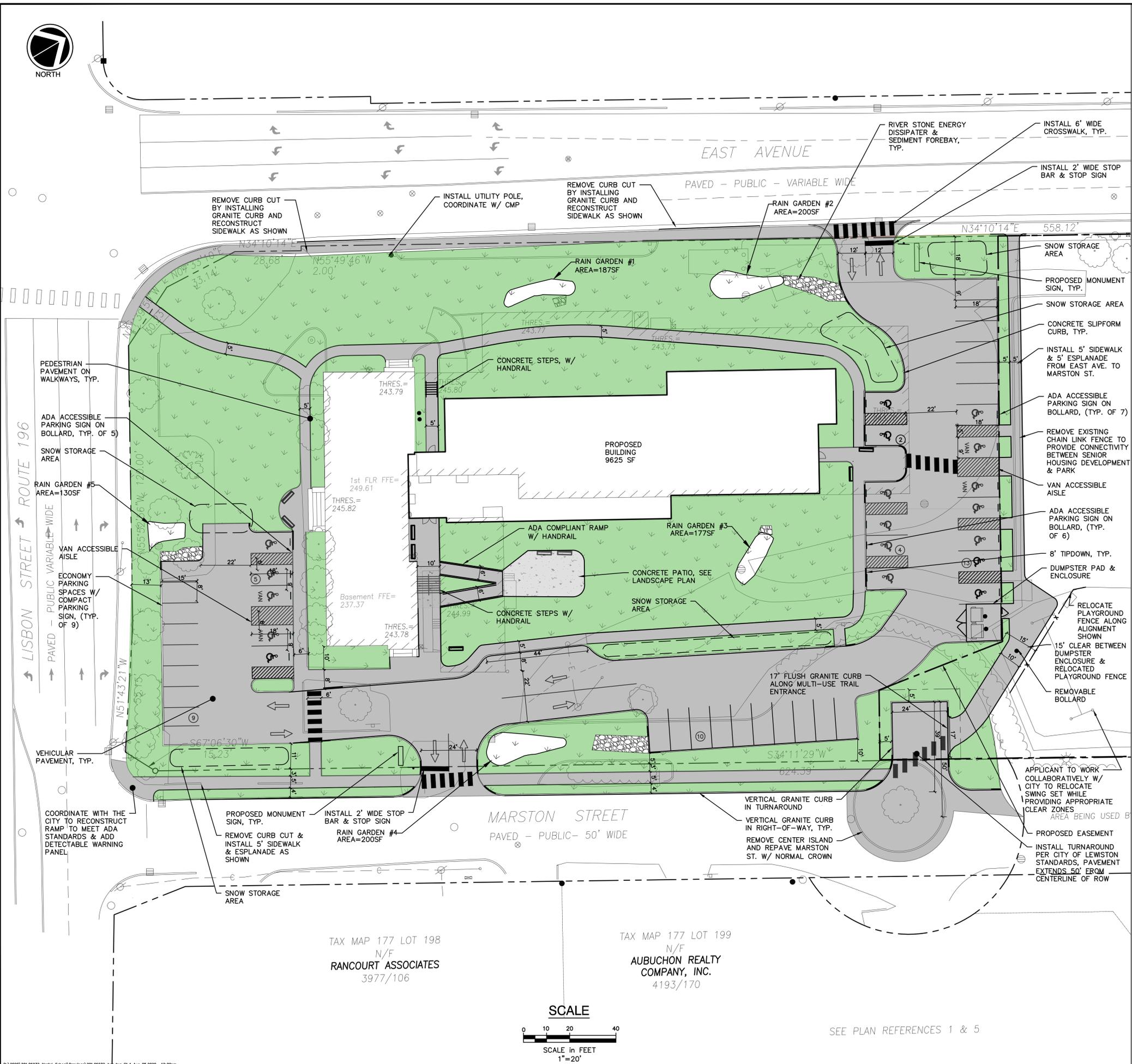
CIVIL ENGINEER: JOHN I. MAHONEY, PE #12340
 400 COMMERCIAL STREET, SUITE 404
 PORTLAND, ME 04101
 207-772-2891



400 Commercial Street, Suite 404
 Portland, ME 04101
 Tel. (207) 772-2891
 Fax (207) 772-3248
 www.ransomenv.com

SUBDIVISION PLAN

C	CITY RESUBMISSION	08/06/20
B	CITY SUBMISSION	07/08/20
A	CLIENT REVIEW	07/02/20
No.	Revision/Issue	Date
Design by:	ARF	Checked by: JIM
Drawn by:	BGC	Approved by: JIM
Project:	201.06032	Date: MAY 2020
Sheet No:	C1.3	
	Sheet 5 of 14	



GENERAL NOTES:

- TOTAL SITE AREA: 3.26 ACRES
- ZONING DISTRICT: OFFICE-RESIDENTIAL DISTRICT
- RECORD OWNER: CITY OF LEWISTON, MARTEL SCHOOL
27 PINE STREET, LEWISTON, MAINE
- APPLICANT: AVESTA HOUSING
307 CUMBERLAND AVENUE
PORTLAND, ME 04101
- TAX MAP: MAP 195, LOT 544; MAP 195, LOT 545
- BOOK AND PAGE: ACRD BOOK 6764, PAGE 348; BOOK 9291, PAGE 329
- PROJECT ADDRESS: 860 LISBON ST
- SPACE AND BULK: ALLOWED PROPOSED
 DENSITY: 3000 SF PER UNIT 3,227 SF PER UNIT
 FRONT SETBACK 10 FT 10 FT
 SIDE SETBACK 15 FT 15 FT
 REAR SETBACK 15 FT 15 FT
 REAR/SIDE YARD 10 FT 10 FT
 LOT COVERAGE 30% 10%
 BUILDING COVERAGE 60% 30%
 BUILDING HEIGHT 35 FT 35 FT
- BEARINGS ARE BASED ON MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE NAD83.
- ELEVATIONS ARE BASED ON NAVD 88 DATUM BASED ON STATIC GPS OBSERVATIONS.
- MARSTON STREET IS A 50 FOOT WIDE PUBLIC WAY ACCEPTED BY THE CITY OF LEWISTON ON AUGUST 22, 1924 RECORDED IN THE CITY ACCEPTANCE BOOKS ON PAGE 491, AS DESCRIBED AS RUNNING FROM THE NORTHEASTERLY SIDE OF LISBON ROAD TO THE SOUTHWESTERLY LINE OF PLEASANT STREET, BEING PARALLEL AND 225 FEET FROM THE SOUTHEASTERLY LINE OF EAST AVENUE. THE PORTION OF MARSTON STREET ON LAND NOW OR FORMERLY OF W/S LEWISTON PROPERTIES OF LLC WAS DISCONTINUED IN 2001 AND RECORDED IN THE REGISTRY OF DEEDS IN BOOK 4818 PAGE 49.
- PRIOR TO ANY CERTIFICATE OF OCCUPANCY BEING ISSUED, THE APPLICANT SHALL MEET THE PROVISIONS OF ARTICLE XIII, SECTION 15(E), POST-CONSTRUCTION STORMWATER MANAGEMENT SYSTEM PLAN APPROVAL AND (F), POST-CONSTRUCTION STORMWATER MANAGEMENT SYSTEM PLAN COMPLIANCE.
- PRIOR TO ANY CERTIFICATE OF OCCUPANCY BEING ISSUED, THE APPLICANT'S DESIGNING ENGINEER SHALL SUBMIT A FINAL INSPECTION REPORT TO THE CITY INDICATING THAT THE STORMWATER SYSTEM AND ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN.
- A BUILDING/USE PERMIT SHALL BE REQUIRED FOR ALL ACTIVITIES REGULATED BY THE ZONING AND LAND USE CODE INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
 (1) THE CONSTRUCTION, ALTERATION, RELOCATION, DEMOLITION, PLACEMENT, OR REMOVAL OF OR THE ADDITION TO ANY STRUCTURE OR BUILDING OR PART THEREOF;
 (2) THE CONSTRUCTION/ INSTALLATION OF A WALL OR FENCE 3.5 FEET OR GREATER IN HEIGHT IN ACCORDANCE WITH ARTICLE XII, SEC. 7;
 (3) THE ERECTION/ INSTALLATION OF A SIGN OR THE REPLACEMENT OF A SIGN FACE REGULATED IN ACCORDANCE WITH ARTICLE XII, SECTION 16 OF THIS CODE;
 (5) THE CONSTRUCTION OF A DRIVEWAY OR PARKING LOT;
 (6) THE CHANGE OF USE OR OCCUPANCY OF A BUILDING, STRUCTURE, OR LOT OF LAND
- NO PERMIT SHALL BE ISSUED FOR THE CONSTRUCTION, ADDITION, ALTERATION, REMOVAL, DEMOLITION OR CHANGE OF USE OF ANY BUILDING, STRUCTURE OR PART THEREOF, OR FOR THE USE OF ANY PREMISES UNLESS THE PLANS AND INTENDED USE INDICATE THAT THE BUILDING, STRUCTURE OR PREMISES IS TO CONFORM IN ALL RESPECTS TO ZONING AND LAND USE CODE OF THE CITY OF LEWISTON AND THE LAND USE LAWS OF THE STATE OF MAINE.
- THE GRANTING OF THIS APPROVAL IS DEPENDENT UPON AND LIMITED TO THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION AND SUPPORTING DOCUMENTS SUBMITTED AND AFFIRMED TO BY THE APPLICANT. ANY VARIATION FROM THESE PLANS, PROPOSALS, AND SUPPORTING DOCUMENTS IS SUBJECT TO REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION. FURTHER SUBDIVISION OF PROPOSED LOTS BY THE APPLICANT OR FUTURE OWNERS IS SPECIFICALLY PROHIBITED WITHOUT PRIOR APPROVAL OF THE BOARD.
- THE APPLICANT SHALL SECURE AND COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LICENSES, PERMITS, AUTHORIZATIONS, CONDITIONS, AGREEMENTS, AND ORDERS PRIOR TO OR DURING CONSTRUCTION AND OPERATION, AS APPROPRIATE.

PARKING CALCULATIONS:

REQUIRED SPACES:
 ELDERLY HOUSING 0.5 SPACES PER DWELLING UNIT + 0.1 SPACES PER VISITOR
 0.6/DWELLING UNIT X 44 DWELLING UNITS = 26 SPACES
 COMMUNITY CENTER 1 SPACES PER 200 SF
 1080 SF / 200 SF = 5 SPACES
 1-75 REGULAR SPACES = 3 ADA ACCESSIBLE SPACES

PROVIDED SPACES:
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 18 ADA ACCESSIBLE SPACES
 43 SPACES

NOTES:

- MULTI-USE TRAIL CONNECTION BETWEEN THE HAMMERHEAD AND THE PARK TO PROVIDE PEDESTRIAN ACCESS AS WELL AS ACCESS FOR CITY MAINTENANCE VEHICLES. APPLICANT TO COORDINATE WITH CITY TO FIELD FIT & LOCATE TURNAROUND.

CITY OF LEWISTON PLANNING BOARD

CHAIRMAN _____

BOARD MEMBERS _____

DATE _____

"APPROVED: CITY OF LEWISTON PLANNING BOARD"

MARTEL SCHOOL APARTMENTS
 860 LISBON STREET
 LEWISTON, ME

Prepared for:
 AVESTA HOUSING
 307 CUMBERLAND AVE
 PORTLAND, ME 04101

Civil Engineer:

 JOHN I. MAHONEY, PE #12340
 400 COMMERCIAL STREET, SUITE 404
 PORTLAND, ME 04101
 207-772-2891

SURVEYOR:
 RANDY R. LOUBIER
 OWEN HASKELL, INC.
 390 U.S. ROUTE ONE, UNIT 10
 FALMOUTH, ME 04105

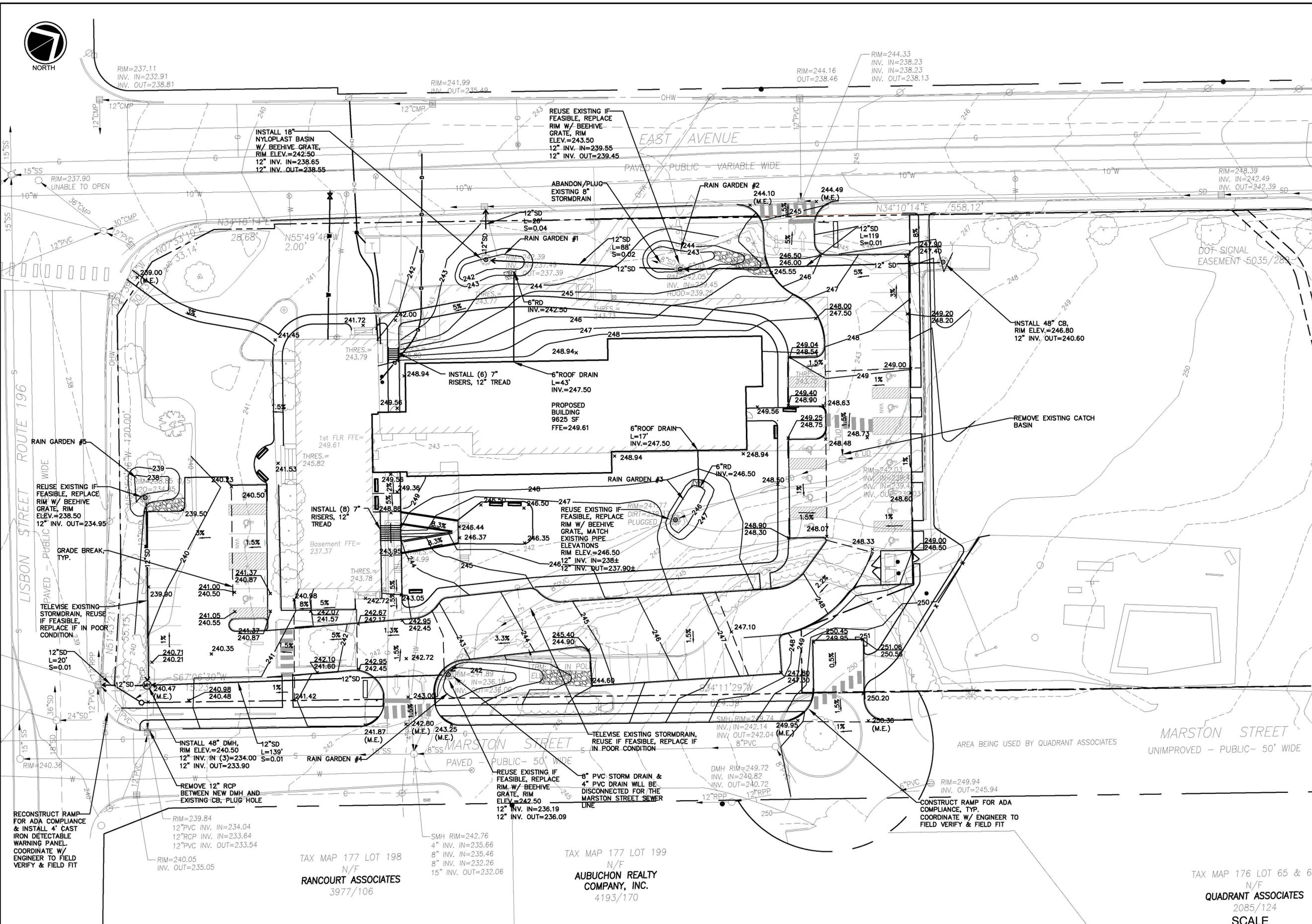
ARCHITECT:
 GABRIELLE RUSSELL
 PLATZ ASSOCIATES
 TWO GREAT FALLS PLAZA
 AUBURN, ME 04210

LANDSCAPE ARCHITECT:
 MITCHELL RASOR
 MRLD, LLC
 87 MAIN STREET
 YARMOUTH, ME 04096

RANSOM Consulting, LLC
 400 Commercial Street, Suite 404
 Portland, ME 04101
 Tel. (207) 772-2891
 Fax (207) 772-3248
 www.ransomciv.com

SITE PLAN

C	CITY RESUBMISSION	08/06/20
B	CITY SUBMISSION	07/08/20
A	CLIENT REVIEW	07/02/20
No.	Revision/Issue	Date
Design by:	ARF	Checked by: JIM
Drawn by:	BGC	Approved by: JIM
Project:	201.06032	Date: MAY 2020
Sheet No:	C1.4	
	Sheet 6 of 14	

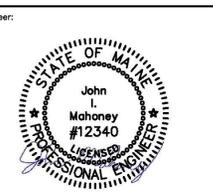


NOTES:

1. APPLICANT WILL COORDINATE WITH THE CITY ON THE DETAILS OF SEPARATING MARSTON STREET DRAINAGE.

MARTEL SCHOOL APARTMENTS
860 LISBON STREET
LEWISTON, ME

Prepared for:
AVESTA HOUSING
307 CUMBERLAND AVE
PORTLAND, ME 04101



Civil Engineer:
JOHN I. MAHONEY, PE #12340
400 COMMERCIAL STREET, SUITE 404
PORTLAND, ME 04101
207-772-2891

SURVEYOR:
RANDY R. LOUBIER
OWEN HASKELL, INC.
390 U.S. ROUTE ONE, UNIT 10
FALMOUTH, ME 04105

ARCHITECT:
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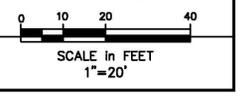
GRADING & DRAINAGE PLAN

No.	Revision/Issue	Date
C	CITY RESUBMISSION	08/06/20
B	CITY SUBMISSION	07/08/20
A	CLIENT REVIEW	07/02/20

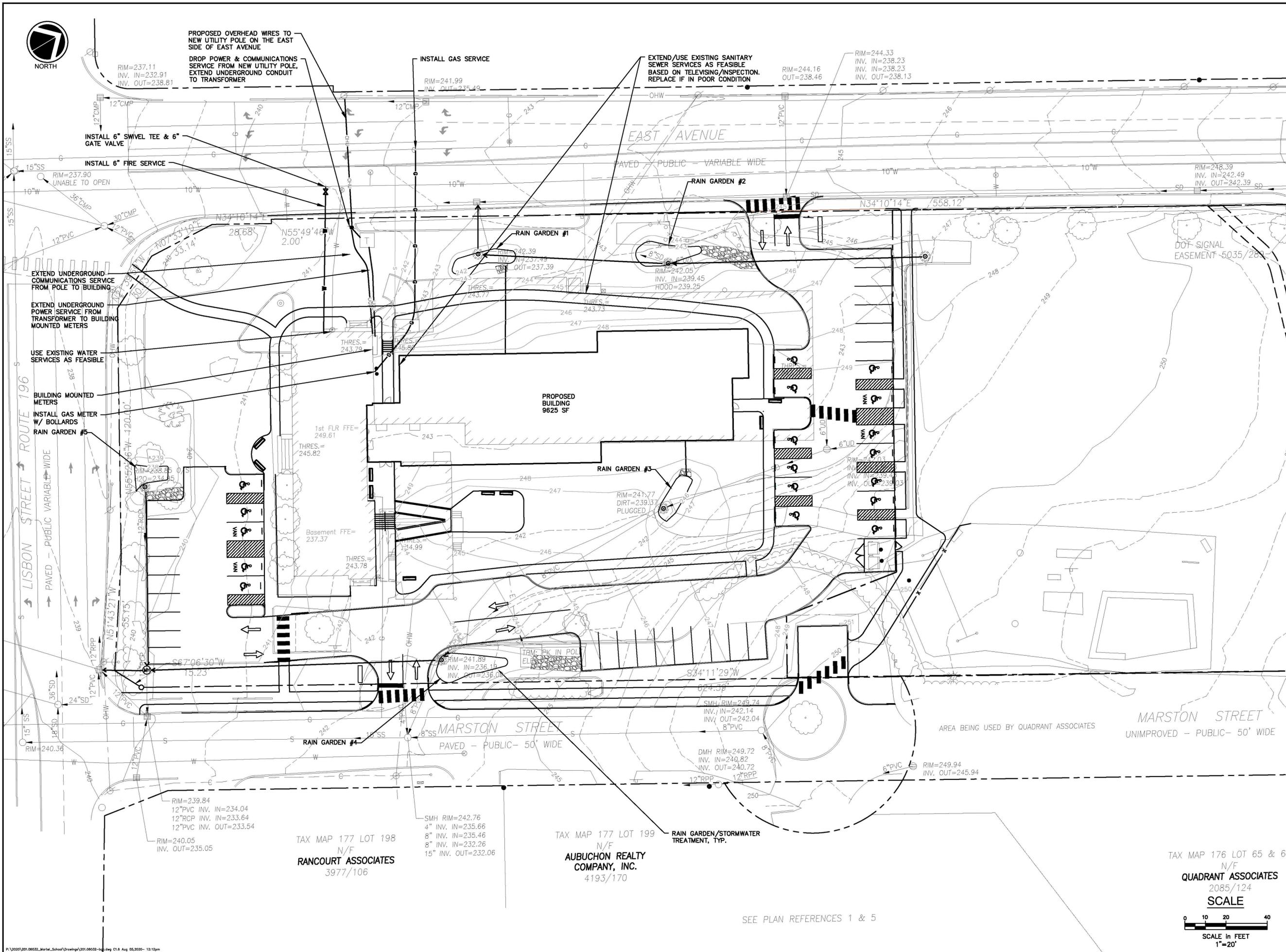
Design by:	ARF	Checked by:	JIM
Drawn by:	BGC	Approved by:	JIM
Project:	201.06032	Date:	MAY 2020

Sheet No: **C1.5**
Sheet 7 of 14

TAX MAP 176 LOT 65 & 66
N/F
QUADRANT ASSOCIATES
2085/124
SCALE

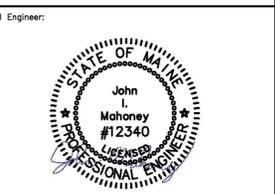


SEE PLAN REFERENCES 1 & 5



MARTEL SCHOOL APARTMENTS
860 LISBON STREET
LEWISTON, ME

Prepared for:
AVESTA HOUSING
307 CUMBERLAND AVE
PORTLAND, ME 04101



JOHN I. MAHONEY, PE #12340
400 COMMERCIAL STREET, SUITE 404
PORTLAND, ME 04101
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ARCHITECT:
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PLATZ ASSOCIATES
TWO GREAT FALLS PLAZA
AUBURN, ME 04210

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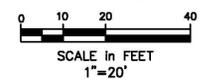
RANSOM Consulting, LLC
400 Commercial Street, Suite 404
Portland, ME 04101
Tel. (207) 772-2891
Fax (207) 772-3218
www.ransomenv.com

UTILITY PLAN

No.	Revision/Issue	Date
C	CITY RESUBMISSION	08/06/20
B	CITY SUBMISSION	07/08/20
A	CLIENT REVIEW	07/02/20

Design by:	ARF	Checked by:	JIM
Drawn by:	BGC	Approved by:	JIM
Project:	201.06032	Date:	MAY 2020

Sheet No: **C1.6**
Sheet 8 of 14



TAX MAP 176 LOT 65 & 66
N/F
QUADRANT ASSOCIATES
2085/124
SCALE

SEE PLAN REFERENCES 1 & 5

EROSION AND SEDIMENTATION CONTROL NOTES

INSPECTION REQUIREMENTS

CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENTATION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER RAIN/STORM EVENTS AND SHALL KEEP A LOG OF THESE INSPECTIONS. FOR LOG FROM ANY ISSUES IDENTIFIED SHALL BE ADDRESSED AS SOON AS POSSIBLE AND BEFORE ADDITIONAL PRECIPITATION.

EROSION CONTROL MEASURES AND SITE STABILIZATION

THE PRIMARY EMPHASIS OF THE EROSION & SEDIMENT CONTROL PLAN IS AS FOLLOWS:

- RAPID VEGETATION OF EXPOSED AREAS TO MINIMIZE THE PERIOD OF SOIL EXPOSURE.
- RAPID STABILIZATION OF DRAINAGE PATHS TO AVOID CHANNEL EROSION.
- THE USE OF ON-SITE MEASURES TO CAPTURE SEDIMENT (EROSION CONTROL BERM, STAKED HAY BALES ETC.)

THE FOLLOWING TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL DEVICES WILL BE IMPLEMENTED AS PART OF THE SITE DEVELOPMENT. THESE DEVICES SHALL BE INSTALLED AS INDICATED ON THE PLANS OR AS DESCRIBED WITHIN THIS REPORT. FOR FURTHER REFERENCE, SEE THE MAINE EROSION AND SEDIMENT CONTROL BMPs, (MOST RECENT REVISION).

TEMPORARY EROSION CONTROL MEASURES

THE FOLLOWING MEASURES ARE PLANNED AS TEMPORARY EROSION & SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION. THESE TEMPORARY EROSION CONTROL MEASURES SHOULD BE REMOVED WITHIN 30 DAYS AFTER PERMANENT STABILIZATION HAS BEEN ESTABLISHED.

1. CRUSHED STONE—STABILIZED CONSTRUCTION ENTRANCES SHALL BE PLACED AT SITE ENTRANCES.
2. WOOD WASTE COMPOST BERMS (EROSION CONTROL BERM) SHALL BE INSTALLED DOWNSTREAM OF ANY DISTURBED AREAS TO TRAP RUNOFF BORNE SEDIMENTS UNTIL THE TRIBUTARY AREAS ARE VEGETATED. THE EROSION CONTROL BERMS SHALL BE INSTALLED PER THE DETAILS PROVIDED AND INSPECTED REGULARLY, INCLUDING BEFORE AND AFTER A STORM EVENT OF 0.5 INCHES OR GREATER. REPAIRS SHALL BE MADE IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THE FENCE OR BERM LINE. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND FENCE OR BERM, THE BARRIER SHALL BE REPLACED WITH A STONE CHECK DAM.
3. STRAW, HAY MULCH AND HYDROSEEDING IS INTENDED TO PROVIDE COVER FOR BARE OR SEEDED AREAS UNTIL VEGETATION IS ESTABLISHED AND SHOULD BE APPLIED WITHIN 7 DAYS AT A RATE A 115 POUNDS PER 1000 SQUARE FEET. MULCH PLACED BETWEEN APRIL 15TH AND OCTOBER 15TH (ON SLOPES OF LESS THEN 15 PERCENT) SHALL BE ANCHORED BY APPLYING WATER. MULCH PLACED ON SLOPES OF EQUAL TO OR STEEPER THAN 15 PERCENT SHALL BE COVERED BY FABRIC NETTING AND ANCHORED WITH STAPLES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION. SLOPES STEEPER THAN 3:1 SHALL RECEIVE EROSION CONTROL BLANKETS OR RIP RAP.
4. USE STANDARD CONSERVATION SEED MIX OF 100% ANNUAL RYE GRASS OR FIELD BROMEGRASS. SEED APPLICATION RATE SHALL BE 40 LB/ACRE.
5. TEMPORARY STOCKPILES OF STUMPS, GRUBBINGS, OR COMMON EXCAVATION WILL BE PROTECTED AS FOLLOWS:

STOCKPILES SHALL BE STABILIZED WITHIN SEVEN DAYS BY EITHER TEMPORARILY SEEDING THE STOCKPILE BY A HYDROSEED METHOD CONTAINING AN EMULGIFIED MULCH TACKIFIER OR COVERING THE STOCKPILE WITH MULCH, SUCH AS SHREDDED HAY, STRAW, OR EROSION CONTROL MIX.

STOCKPILES SHALL BE SURROUNDED BY SEDIMENTATION BARRIER AT THE TIME OF FORMATION.

6. ALL DISTURBED AREAS THAT ARE WITHIN 75 FEET OF AN UNDISTURBED WETLAND SHALL RECEIVE MULCH OR EROSION CONTROL MESH FABRIC WITHIN 48 HOURS OF INITIAL DISTURBANCE OF SOIL. ALL AREAS WITHIN 75 FEET OF AN UNDISTURBED WETLAND SHALL BE MULCHED PRIOR TO ANY PREDICTED RAIN EVENT REGARDLESS OF THE 48 HOUR WINDOW. IN OTHER AREAS, THE TIME PERIOD MAY BE EXTENDED TO 7 DAYS.
7. STATE AND LOCAL ROADS SHALL BE SWEEPED TO CONTROL MUD AND DUST AS NECESSARY. ADDITIONAL STONE SHALL BE ADDED TO THE STABILIZED CONSTRUCTION ENTRANCE TO MINIMIZE THE TRACKING OF MATERIAL OFF THE SITE AND ONTO THE SURROUNDING ROADWAYS.
8. STORMDRAIN CATCH BASIN INLET PROTECTION SHALL BE PROVIDED THROUGH THE USE OF STONE SEDIMENT BARRIERS OR APPROVED SEDIMENT BAGS (SUCH AS SILT SACK). INSTALLATION DETAILS ARE PROVIDED IN THE PLAN SET. THE BARRIERS SHALL BE INSPECTED AFTER EACH RAINFALL AND REPAIRS MADE AS NECESSARY. SEDIMENT SHALL BE REMOVED AND THE BARRIER RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO HALF THE DESIGN DEPTH OF THE BARRIER. THE BARRIER SHALL BE REMOVED WHEN THE TRIBUTARY DRAINAGE AREA HAS BEEN STABILIZED.
9. WATER AND/OR CALCIUM CHLORIDE SHALL BE FURNISHED AND APPLIED IN ACCORDANCE WITH MDOT SPECIFICATIONS—SECTION 637—DUST CONTROL.
10. LOAM AND SEED IS INTENDED TO SERVE AS THE PRIMARY PERMANENT VEGETATIVE MEASURE FOR ALL BARE AREAS NOT PROVIDED WITH OTHER EROSION CONTROL MEASURES, SUCH AS RIPRAP.
11. WATER FROM CONSTRUCTION TRENCH DEWATERING OR TEMPORARY STREAM DIVERSION SHALL PASS FIRST THROUGH A FILTER BAG OR SECONDARY CONTAINMENT STRUCTURE (E.G. HAY BALE LINED POOL) PRIOR TO DISCHARGE. THE DISCHARGE SITE SHALL BE SELECTED TO AVOID FLOODING, ICING, AND SEDIMENT DISCHARGES TO A PROTECTED RESOURCE. IN NO CASE SHALL THE FILTER BAG OR CONTAINMENT STRUCTURE BE LOCATED WITHIN 75 FEET OF A PROTECTED NATURAL RESOURCE.

PERMANENT EROSION CONTROL MEASURES

THE FOLLOWING PERMANENT EROSION CONTROL MEASURES HAVE BEEN DESIGNED AS PART OF THE EROSION/SEDIMENTATION CONTROL PLAN:

1. ALL AREAS DISTURBED DURING CONSTRUCTION, BUT NOT SUBJECT TO OTHER RESTORATION (PAVING, RIPRAP, ETC.) WILL BE LOAMED, LIMED, FERTILIZED, MULCHED, AND SEEDED.
2. PLEASE REFER TO THE TURF AND GRASSES SPECIFICATION (SECTION 329200) FOR SEED MIX AND APPLICATION RATE

IMPLEMENTATION SCHEDULE

THE FOLLOWING CONSTRUCTION SEQUENCE SHALL BE REQUIRED TO INSURE THE EFFECTIVENESS OF THE EROSION AND SEDIMENTATION CONTROL MEASURES ARE

OPTIMIZED:

NOTE: FOR ALL GRADING ACTIVITIES, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION NOT TO OVEREXPOSE THE SITE BY LIMITING THE DISTURBED AREA. THE CONSTRUCTION OF BMPs SHOULD EITHER BE PERFORMED AFTER THE TRIBUTARY AREA IS STABILIZED OR TEMPORARY EROSION CONTROL MEASURES NEED TO BE IMPLEMENTED TO PROTECT THE BMPs FROM BEING CLOGGED WITH CONSTRUCTION SEDIMENT.

1. INSTALL CRUSHED STONE TO STABILIZED CONSTRUCTION ENTRANCES.
2. INSTALL PERIMETER EROSION CONTROL BERM.
3. CLEAR AND GRUB SITE WITHIN THE SPECIFIED CLEARING LIMITS.
4. COMMENCE EARTHWORK AND GRADING TO SUBGRADE.
5. COMMENCE CONSTRUCTION OF BUILDING FOUNDATION.
6. CONTINUE EARTHWORK AND GRADING TO SUBGRADE AS NECESSARY FOR CONSTRUCTION.
7. COMPLETE REMAINING EARTHWORK OPERATIONS.
8. COMPLETE INSTALLATION OF DRAINAGE INFRASTRUCTURE.
9. INSTALL SUBBASE AND BASE GRAVEL WITHIN PROPOSED PARKING EXPANSION.
10. LOAM, LIME, FERTILIZE, SEED AND MULCH DISTURBED AREAS.
11. ONCE THE SITE IS STABILIZED AND A 90% CATCH OF VEGETATION HAS BEEN OBTAINED, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.
12. TOUCH UP LOAM AND SEED.

NOTE: ALL BARE AREAS NOT SUBJECT TO FINAL PAVING, RIPRAP, OR GRAVEL; SHALL BE VEGETATED.

PRIOR TO CONSTRUCTION OF THE PROJECT, THE CONTRACTOR SHALL SUBMIT TO THE OWNER A SCHEDULE FOR THE COMPLETION OF THE WORK, WHICH WILL SATISFY THE ABOVE CONSTRUCTION SEQUENCE IN THE SPECIFIED ORDER, HOWEVER, SEVERAL SEPARATE ITEMS MAY BE CONSTRUCTED SIMULTANEOUSLY. WORK MUST ALSO BE SCHEDULED OR PHASED TO REDUCE THE EXTENT OF THE EXPOSED AREAS AS SPECIFIED BELOW. THE INTENT OF THIS SEQUENCE IS TO PROVIDE FOR EROSION CONTROL AND TO HAVE STRUCTURAL MEASURES SUCH AS EROSION CONTROL BERM AND CONSTRUCTION ENTRANCES IN PLACE BEFORE LARGE AREAS OF LAND ARE STRIPPED.

THE WORK SHALL BE CONDUCTED IN SECTIONS WHICH SHALL:

1. LIMIT THE AMOUNT OF EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDERTAKEN DURING THE PRECEDING 30 DAYS.
2. VEGETATE THE DISTURBED AREAS AS RAPIDLY AS POSSIBLE. ALL AREAS SHALL BE PERMANENTLY STABILIZED WITHIN SEVEN DAYS OF FINAL GRADING OR BEFORE A STORM EVENT, OR TEMPORARILY STABILIZED WITHIN 48 HOURS OF INITIAL DISTURBANCE OF SOIL FOR AREAS WITHIN 75 FEET OF AN UNDISTURBED WETLAND AND 7 DAYS FOR ALL OTHER AREAS.
3. INCORPORATE PLANNED INLETS AND DRAINAGE SYSTEM AS EARLY AS POSSIBLE INTO THE CONSTRUCTION PHASE.

WINTER STABILIZATION PLAN

THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15. IF THE CONSTRUCTION SITE IS NOT STABILIZED WITH PAVEMENT, A ROAD GRAVEL BASE, 75% MATURE VEGETATION COVER OR RIPRAP BY NOVEMBER 15TH, THEN THE SITE SHALL BE PROTECTED WITH OVER-WINTER STABILIZATION.

WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT ANY AREA LEFT EXPOSED CAN BE CONTROLLED BY THE CONTRACTOR. EXPOSED AREAS SHALL BE LIMITED TO THOSE AREAS IN WHICH WORK IS EXPECTED TO COMMENCE AND COMPLETE IN THE NEXT FIFTEEN (15) DAYS AND THAT CAN BE MULCHED WITHIN ONE DAY PRIOR TO ANY SNOW EVENT.

ALL AREAS SHALL BE CONSIDERED TO BE BARE UNTIL THE SUBBASE GRAVEL IS INSTALLED WITHIN PAVEMENT/BUILDING AREAS OR THE AREAS HAVE BEEN LOAMED, SEEDED AND MULCHED. HAY AND STRAW MULCH RATE SHALL BE A MINIMUM OF 150 POUNDS PER 1,000 SQUARE FEET (3 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED.

THE CONTRACTOR SHALL INSTALL ANY ADDED MEASURES, WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION FROM THE SITE DEPENDENT UPON THE ACTUAL SITE AND WEATHER CONDITIONS. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, IN ORDER TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION.

1. SOIL STOCKPILES

STOCKPILES OF SOIL OR SUBSOIL SHALL BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR AT 150 LBS/1,000 SF. (3 TONS PER ACRE) OR WITH A FOUR-INCH LAYER OF WOODWASTE EROSION CONTROL MIX. THIS SHALL BE DONE WITHIN 24 HOURS OF STOCKING AND RE-ESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL. ANY SOIL STOCKPILE SHALL NOT BE PLACED (EVEN COVERED WITH HAY OR STRAW) WITHIN 100 FEET FROM ANY NATURAL RESOURCES.

2. SEDIMENT BARRIERS

DURING FROZEN CONDITIONS, SEDIMENT BARRIERS SHALL CONSIST OF WOODWASTE FILTER BERMS AS FROZEN SOIL PREVENTS THE PROPER INSTALLATION OF HAY BALES AND SEDIMENT SILT FENCES.

3. MULCHING

AN AREA SHALL BE CONSIDERED BARE UNTIL AREAS OF FUTURE LOAM AND SEED HAVE BEEN LOAMED, SEEDED AND MULCHED. HAY AND STRAW MULCH SHALL BE APPLIED AT A RATE OF 150 LB. PER 1,000 SQUARE FEET OR 3 TONS/ACRE (TWICE THE NORMAL ACCEPTED RATE OF 75-LBS./1,000 SF. OR 1.5 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. MULCH SHALL NOT BE SPREAD ON TOP OF SNOW. THE SNOW SHALL BE REMOVED DOWN TO A ONE-INCH DEPTH OR LESS PRIOR TO APPLICATION. AFTER EACH DAY OF FINAL GRADING, THE AREA SHALL BE PROPERLY STABILIZED WITH ANCHORED HAY OR STRAW OR EROSION CONTROL MATTING. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB. PER 1,000 SQUARE FEET (3 TONS/ACRE) AND ADEQUATELY ANCHORED THAT GROUND SURFACE IS NOT VISIBLE THOUGH THE MULCH.

BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY PEG LINE, MULCH NETTING, TRACKING, OR WOOD CELLULOSE FIBER. WHEN GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH THEN COVER IS SUFFICIENT. AFTER NOVEMBER 1ST, MULCH AND ANCHORING OF ALL BARE SOIL SHALL OCCUR AT THE END OF EACH FINAL GRADING WORKDAY.

4. MULCHING ON SLOPES AND DITCHES

SLOPES SHALL NOT BE LEFT EXPOSED FOR ANY EXTENDED TIME OF WORK SUSPENSION UNLESS FULLY MULCHED AND ANCHORED WITH PEG AND

NETTING OR WITH EROSION CONTROL BLANKETS. MULCHING SHALL BE APPLIED AT A RATE OF 230 LBS/1,000 S.F. ON ALL SLOPES GREATER THAN 8%.

MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%. EROSION CONTROL BLANKETS SHALL BE USED IN LIEU OF MULCH IN ALL DRAINAGE WAYS WITH SLOPES GREATER THAN 8%. EROSION CONTROL MIX CAN BE USED TO SUBSTITUTE EROSION CONTROL BLANKETS ON ALL SLOPES EXCEPT DITCHES.

5. SEEDING

BETWEEN THE DATES OF OCTOBER 15TH AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES, FINISHED AREAS SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF THREE TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. DORMANT SEEDING MAY BE SELECTED TO BE PLACED PRIOR TO THE PLACEMENT OF MULCH AND FABRIC NETTING ANCHORED WITH STAPLES. IF DORMANT SEEDING IS USED FOR THE SITE, ALL DISTURBED AREAS SHALL RECEIVE 4" OF LOAM AND SEED AT AN APPLICATION RATE OF 5 LBS/1000 SF. ALL AREAS SEEDED DURING THE WINTER SHALL BE INSPECTED IN THE SPRING FOR ADEQUATE CATCH. ALL AREAS INSUFFICIENTLY VEGETATED (LESS THAN 90% CATCH) SHALL BE REVEGETATED BY REPLACING LOAM, SEED AND MULCH. IF DORMANT SEEDING IS NOT USED FOR THE SITE, ALL DISTURBED AREAS SHALL BE REVEGETATED IN THE SPRING.

6. DEWATERING

WATER FROM CONSTRUCTION TRENCH DEWATERING SHALL PASS FIRST THROUGH A FILTER BAG OR SECONDARY CONTAINMENT STRUCTURE (E.G. HAY BALE LINED POOL) PRIOR TO DISCHARGE. THE DISCHARGE SITE SHALL BE SELECTED TO AVOID FLOODING, ICING, AND SEDIMENT DISCHARGES TO A PROTECTED RESOURCE.

7. INSPECTION AND MONITORING

MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION SEASON. AFTER EACH RAINFALL, SNOW STORM OR PERIOD OF THAWING AND RUNOFF, THE SITE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUOUS FUNCTION. FOLLOWING THE TEMPORARY AND/OR FINAL SEEDING AND MULCHING, THE CONTRACTOR SHALL IN THE SPRING INSPECT AND REPAIR ANY DAMAGES AND/OR UNESTABLISHED SPOTS. ESTABLISHED VEGETATIVE COVER MEANS A MINIMUM OF 85% TO 90% OF AREAS VEGETATED WITH VIGOROUS GROWTH.

STANDARDS FOR TIMELY STABILIZATION OF CONSTRUCTION SITES DURING WINTER

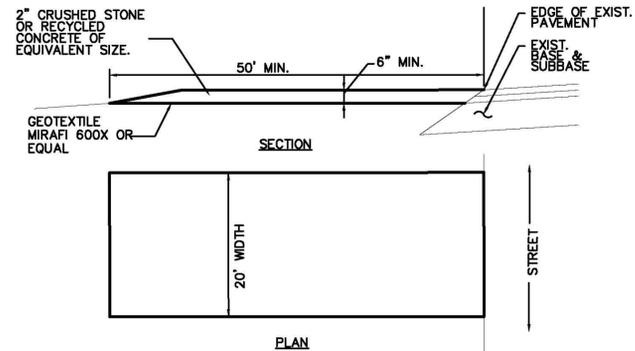
1. STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SOILS

BY SEPTEMBER 15TH THE APPLICANT SHALL SEED AND MULCH ALL DISTURBED SOILS ON AREAS HAVING A SLOPE LESS THAN 15%. IF THE APPLICANT FAILS TO STABILIZE THESE SOILS BY THIS DATE, THEN THE APPLICANT SHALL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SOIL FOR LATE FALL AND WINTER.

STABILIZE THE SOIL WITH TEMPORARY VEGETATION—BY OCTOBER 1ST THE APPLICANT SHALL SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF THREE POUNDS PER 1000 SQUARE FEET, LIGHTLY MULCH THE SEEDED SOIL WITH HAY OR STRAW AT 75 POUNDS PER 1000 SQUARE FEET, AND ANCHOR THE MULCH WITH PLASTIC NETTING. THE APPLICANT SHALL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE NOVEMBER 15TH, THEN THE APPLICANT SHALL MULCH THE AREA FOR OVER-WINTER PROTECTION AS DESCRIBED ABOVE.

STABILIZE THE SOIL WITH SOD—THE APPLICANT SHALL STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOD BY OCTOBER 1ST. PROPER INSTALLATION INCLUDES THE APPLICANT PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL.

STABILIZE THE SOIL WITH MULCH—BY NOVEMBER 15TH THE APPLICANT SHALL MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150 POUNDS PER 1000 SQUARE FEET ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. PRIOR TO APPLYING THE MULCH, THE APPLICANT SHALL REMOVE ANY SNOW ACCUMULATION ON THE DISTURBED AREA. IMMEDIATELY AFTER APPLYING THE MULCH, THE APPLICANT WILL ANCHOR THE MULCH WITH PLASTIC NETTING TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL.

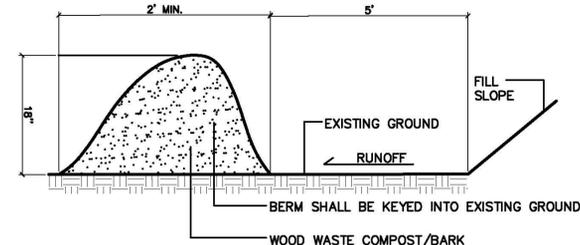


NOTES:

1. MAINTAIN ENTRANCE IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. IF WASHING IS REQUIRED PREVENT SEDIMENT FROM ENTERING WATERWAYS, DITCHES OR STORM DRAINS.
2. REMOVE STABILIZED CONSTRUCTION ENTRANCE TO FINISH ROAD CONSTRUCTION & PAVEMENT.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



EROSION CONTROL MULCH BERM

EROSION CONTROL MULCH CAN BE MANUFACTURED ON OR OFF THE PROJECT SITE. IT SHALL CONSIST PRIMARILY OF ORGANIC MATERIAL AND MAY INCLUDE: SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK, OR ACCEPTABLE MANUFACTURED PRODUCTS. WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS OR REPROCESSED WOOD PRODUCTS WILL NOT BE ACCEPTABLE AS THE ORGANIC COMPONENT OF THE MIX.

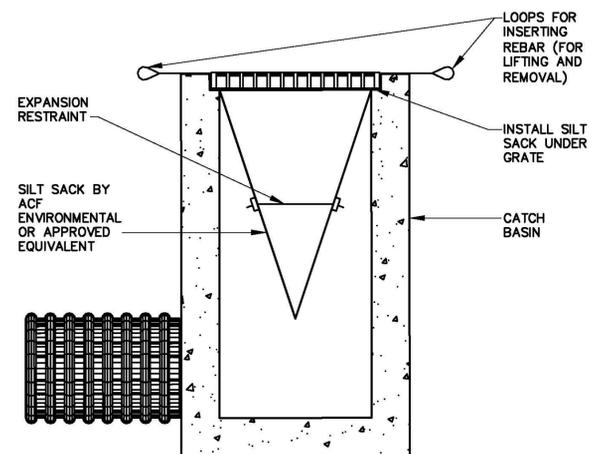
COMPOSITION

EROSION CONTROL MIX SHALL CONTAIN A WELL-GRADED MIXTURE OF PARTICLE SIZES AND MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER. EROSION CONTROL MIX MUST BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH. THE MIX COMPOSITION SHALL MEET THE FOLLOWING STANDARDS:

- THE ORGANIC MATTER CONTENT SHALL BE BETWEEN 80 AND 100% DRY WEIGHT BASIS.
- PARTICLE SIZE BY WEIGHT SHALL BE 100 % PASSING A 6" SCREEN AND A MINIMUM OF 70% MAXIMUM OF 85% PASSING A 0.75" SCREEN.
- THE ORGANIC PORTION NEEDS TO BE FIBROUS AND ELONGATED.
- LARGE PORTIONS OF SILTS, CLAYS OR FINE SANDS ARE NOT ACCEPTABLE IN THE MIX.
- SOLUBLE SALTS CONTENT SHALL BE < 4.0 MMHOS/CM.
- THE PH SHOULD FALL BETWEEN 5.0 AND 8.0.
- EROSION CONTROL MULCH BERM TO BE REMOVED AFTER SITE IS STABILIZED.

EROSION CONTROL MULCH BERM

NOT TO SCALE



NOTES:

1. INSTALL SILTSACK PER MANUFACTURER'S RECOMMENDATIONS.
2. SILTSACKS SHALL BE CHECKED FOR SEDIMENT LEVEL AND OVERALL CONDITION IMMEDIATELY AFTER EVERY RAIN EVENT AND AT LEAST EVERY DAY DURING PROLONGED RAINFALL.
3. SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE SILTSACK. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT WILL NOT ERODE.
4. SEDIMENT SHALL ONLY BE REMOVED BY REMOVING THE SILTSACKS FROM THE CATCH BASINS ACCORDING TO MANUFACTURER RECOMMENDATIONS.
5. CARE SHALL BE TAKEN TO AVOID SPILLING SEDIMENT WHILE REMOVING THE SILTSACK.
6. ANY DAMAGED SILTSACK SHALL BE REPLACED WITH A NEW SILTSACK.

INLET PROTECTION - SILT SACK

NOT TO SCALE

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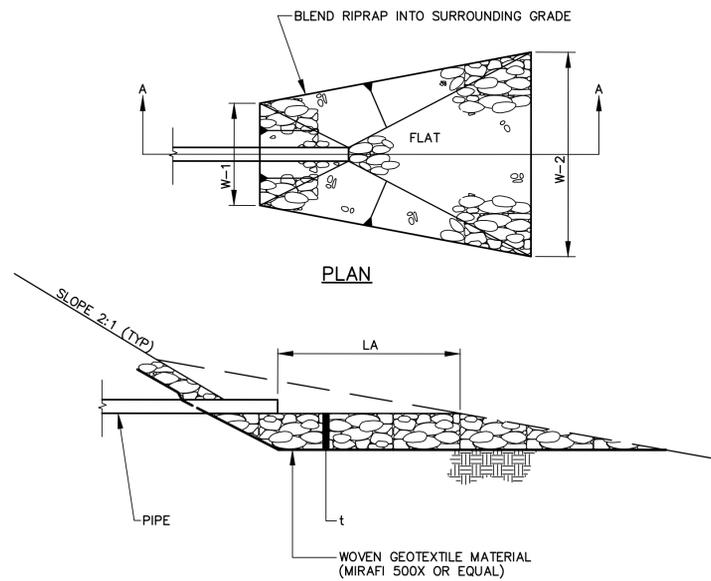
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EROSION CONTROL & CONSTRUCTION DETAILS

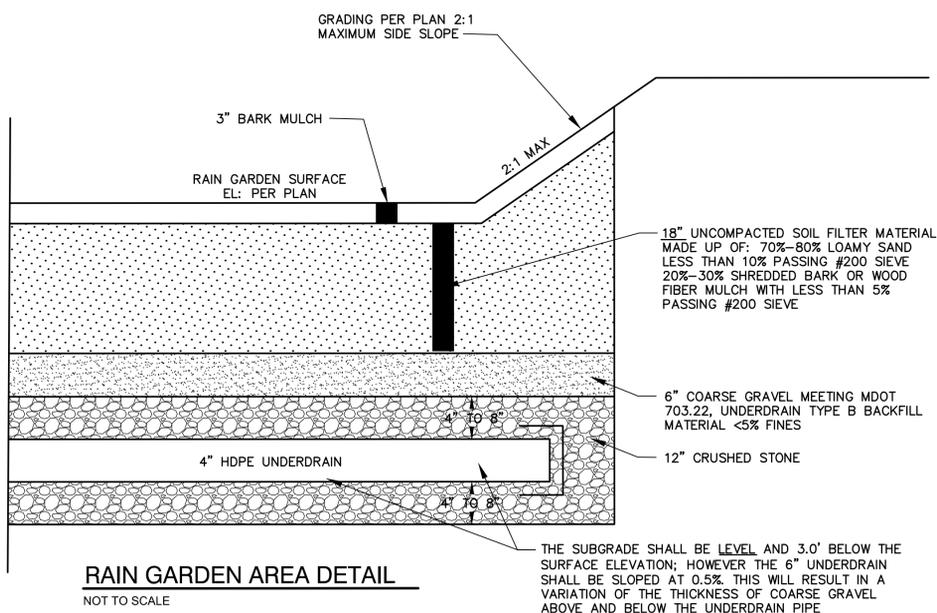
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B	CITY SUBMISSION	07/08/20
A	CLIENT REVIEW	07/02/20
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Drawn by:	BGC	Approved by: JIM
Project:	201.06032	Date: MAY 2020

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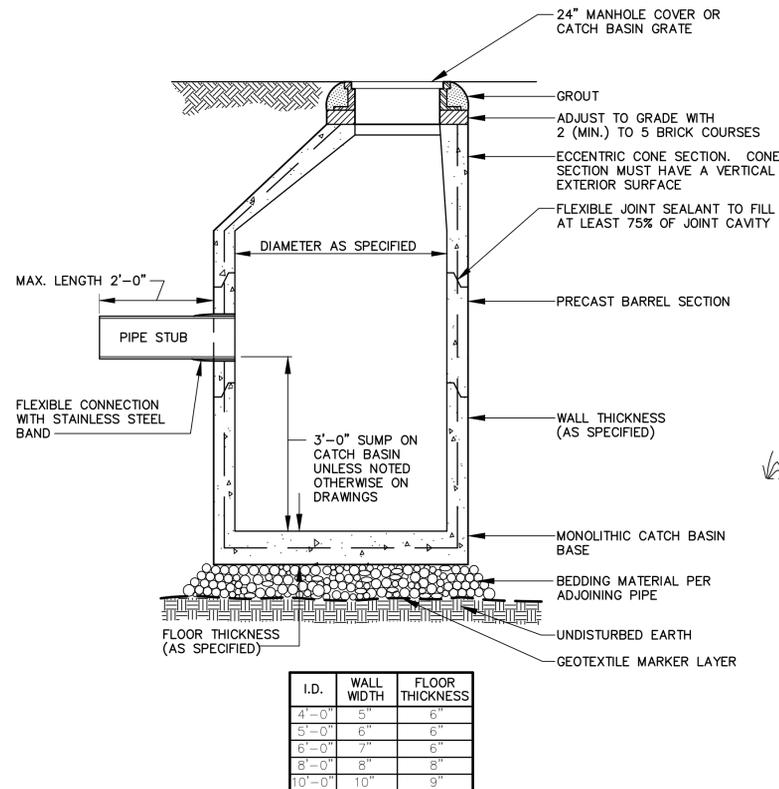


APRON SCHEDULE					
CULVERT	RIPRAP		RIPRAP		
	d50 SIZE (FT)	THICKNESS t (INCH)	LENGTH LA (FT) (MIN)	WIDTH W1 (FT)	WIDTH W2 (FT)
12" OR LESS	0.5'	15"	10'	3.0'	12'

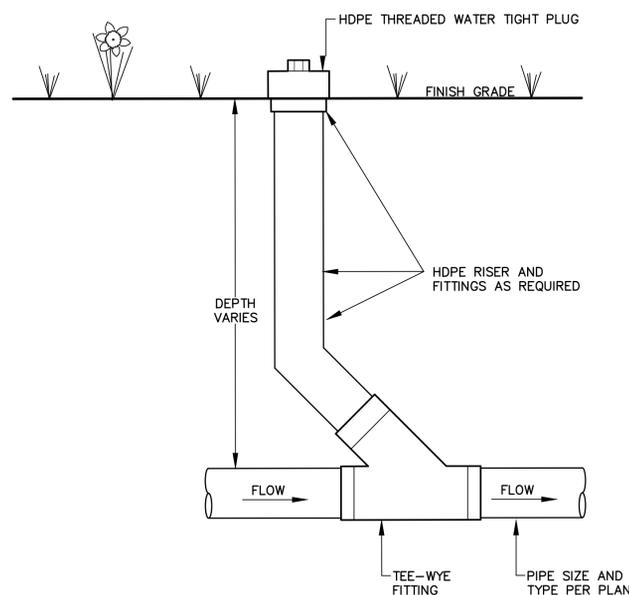
RIPRAP APRON DETAIL
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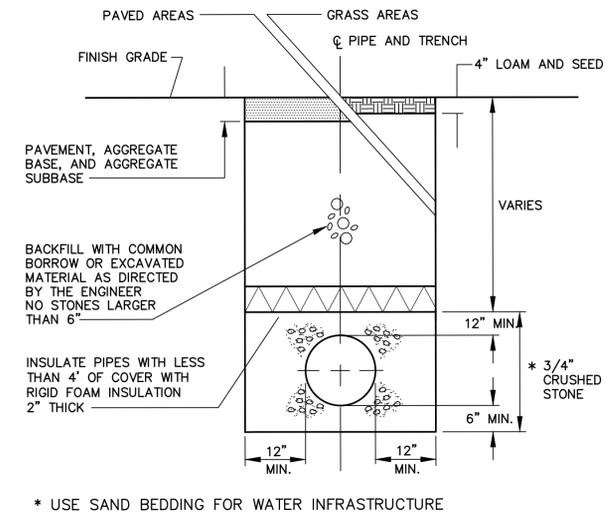
RAIN GARDEN AREA DETAIL
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PRECAST CONCRETE MANHOLE
NOT TO SCALE

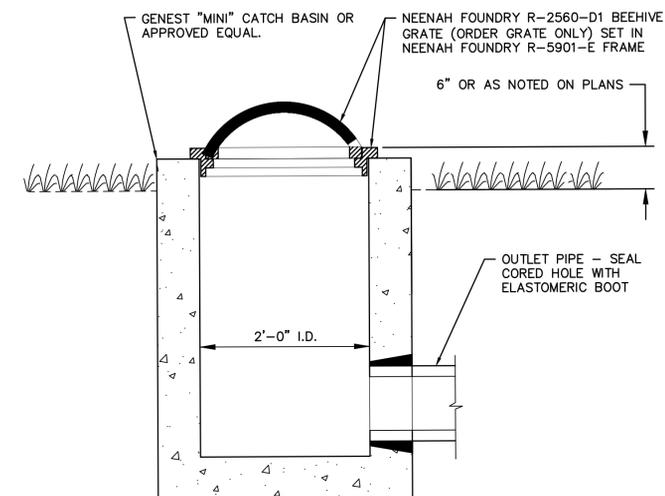


DRAIN CLEANOUT DETAIL
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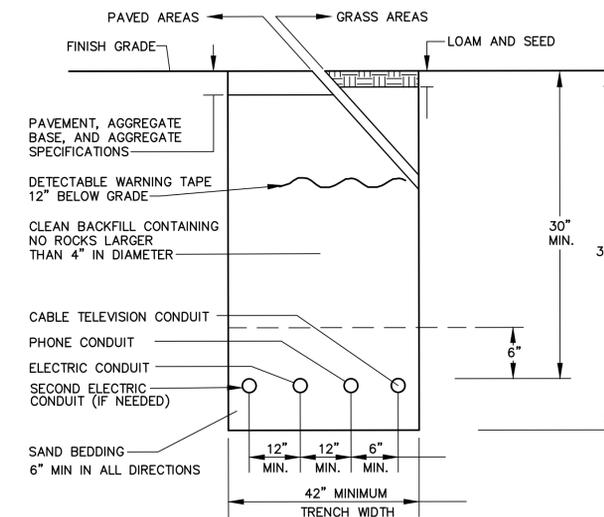


* USE SAND BEDDING FOR WATER INFRASTRUCTURE

TYPICAL TRENCH REPAIR DETAIL
NOT TO SCALE



FIELD INLET
NOT TO SCALE



* SEE ELECTRICAL DRAWINGS FOR CONDUIT SIZES AND
DETAILS ON CONDUIT BANK CONFIGURATION

**UNDERGROUND ELECTRIC/COMMUNICATIONS
UTILITY TRENCH DETAIL**
NOT TO SCALE

**MARTEL SCHOOL
APARTMENTS**

860 LISBON STREET
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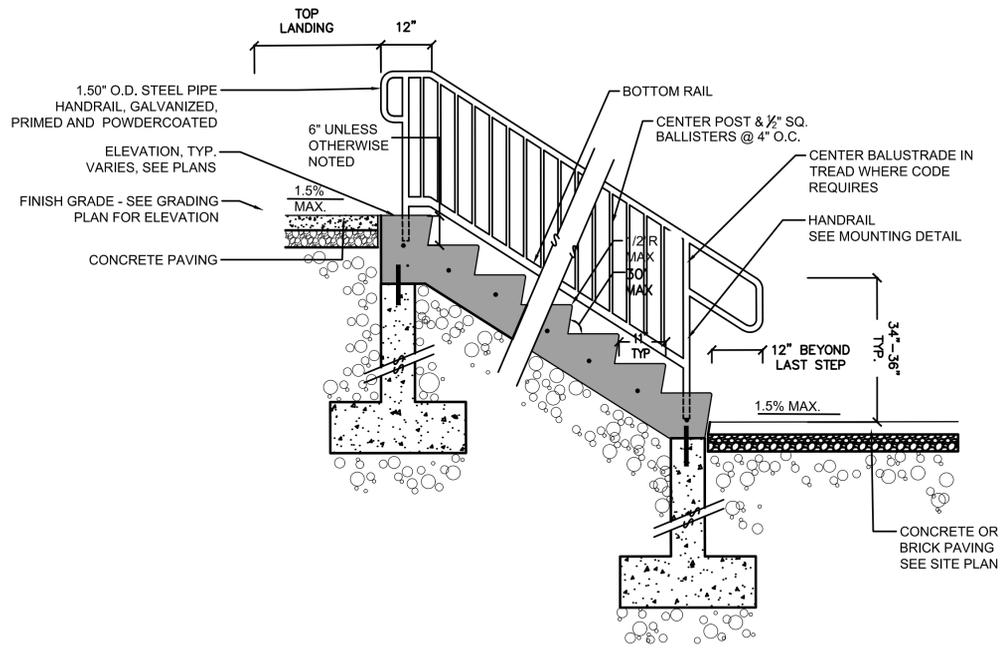
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DETAILS

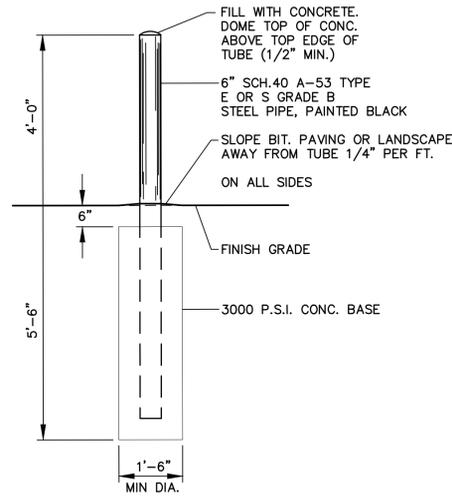
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ARF	JIM
Drawn by:	Approved by:
BGC	JIM
Project:	Date:
201.06032	MAY 2020

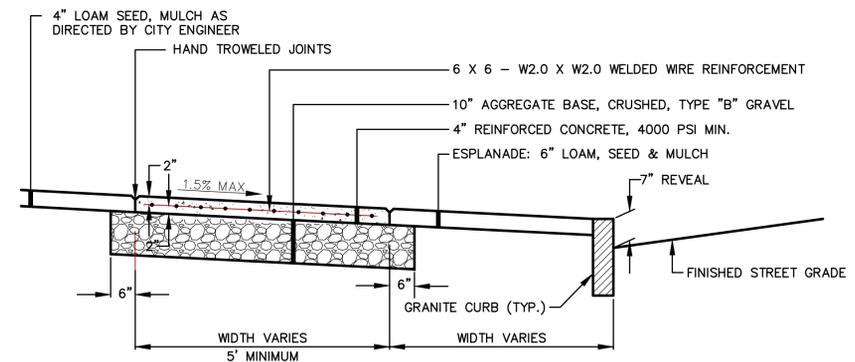
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CONCRETE STEP AND HAND RAIL DETAIL
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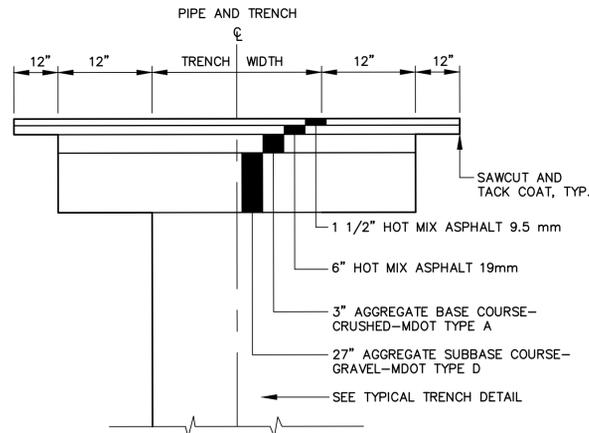


BOLLARD DETAIL
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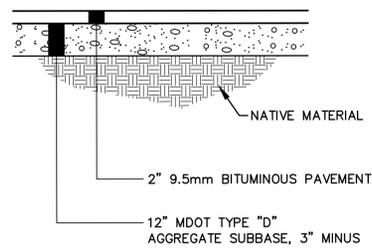


CONCRETE SIDEWALKS TO BE TREATED WITH CONSOLIDECK SALTGUARD, WB OR APPROVED EQUAL. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR APPLICATION.

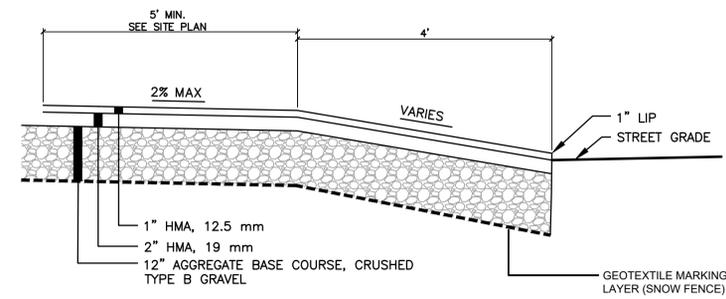
REINFORCED CONCRETE SIDEWALK & PATIO
NOT TO SCALE



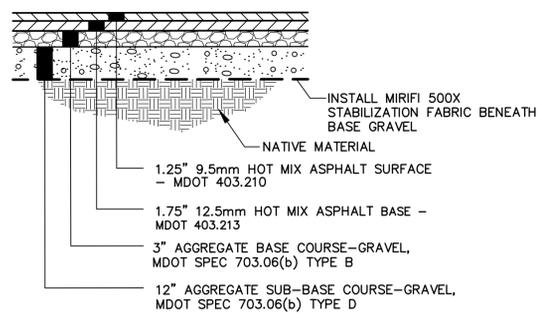
TYPICAL TRENCH & ROADWAY PAVING DETAIL
NOT TO SCALE



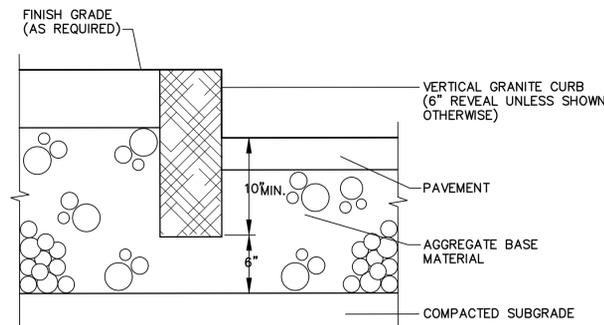
PAVED PATHWAY DETAIL
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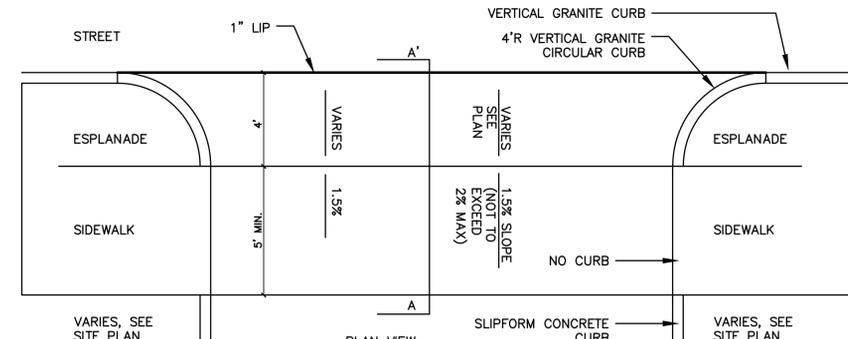
SECTION A-A'



TYPICAL PARKING AREA DETAIL
NOT TO SCALE



VERTICAL GRANITE CURBING
NOT TO SCALE



SIDEWALK DETAIL AT DRIVEWAY CROSSING W/ ESPLANADE
NOT TO SCALE

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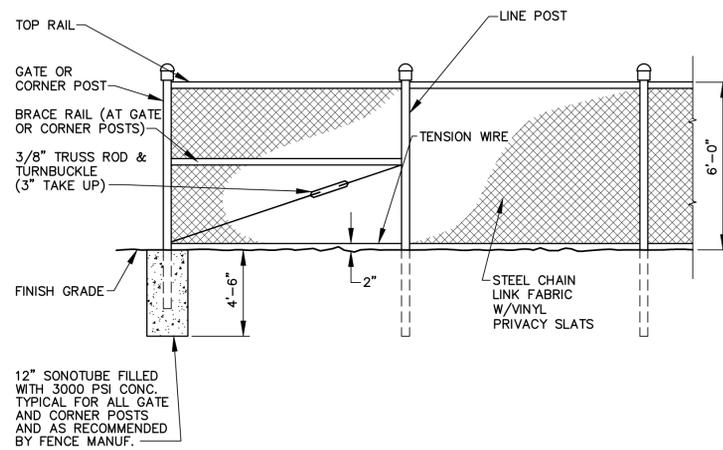
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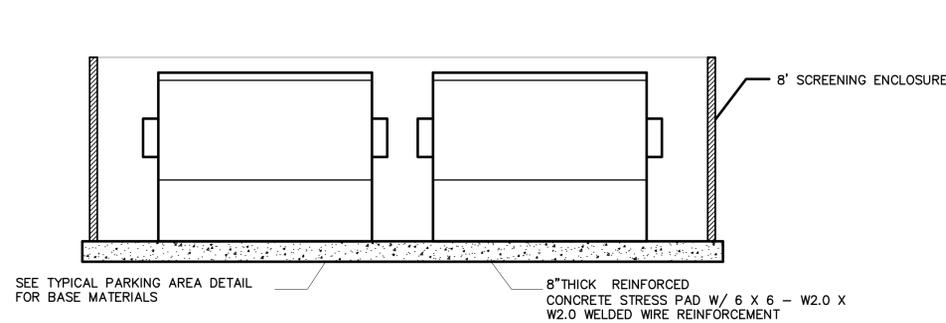
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Project:	201.06032	Date:	MAY 2020
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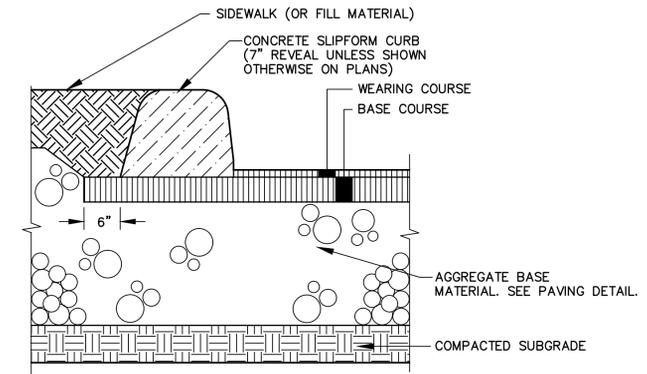
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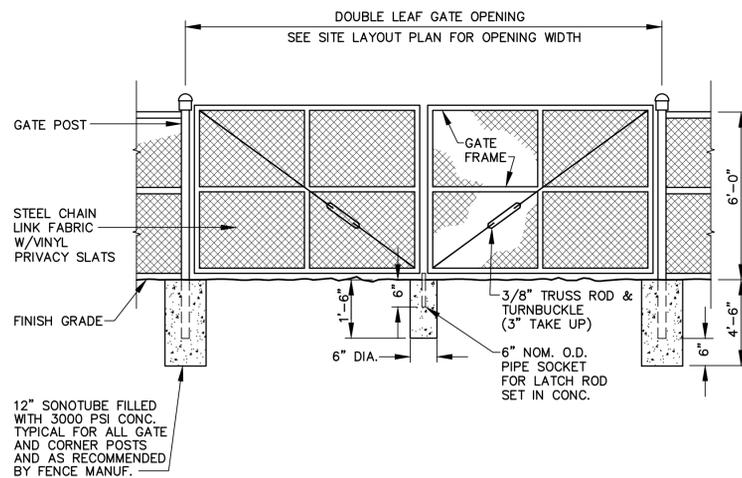
DUMPSTER ENCLOSURE FENCE
NOT TO SCALE



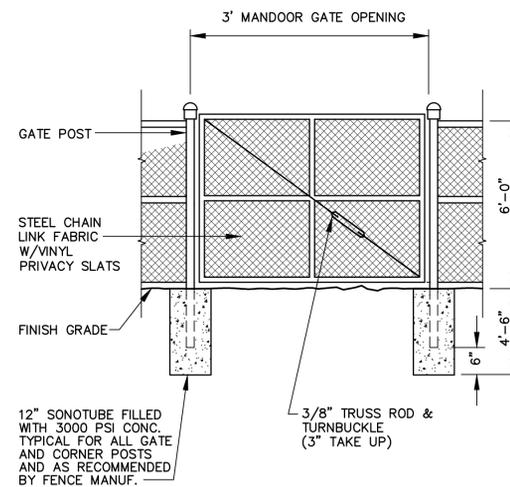
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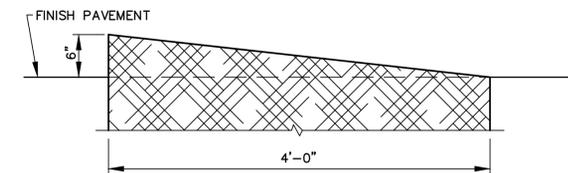
SLIPFORM CONCRETE CURBING
NOT TO SCALE



DUMPSTER ENCLOSURE GATE DETAIL
NOT TO SCALE



DUMPSTER ENCLOSURE PERSON DOOR DETAIL
NOT TO SCALE



TYPICAL TIPDOWN CURB INSTALLATION
NOT TO SCALE

MARTEL SCHOOL APARTMENTS

860 LISBON STREET
LEWISTON, ME

Prepared for:

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307 CUMBERLAND AVE
PORTLAND, ME 04101

Civil Engineer:



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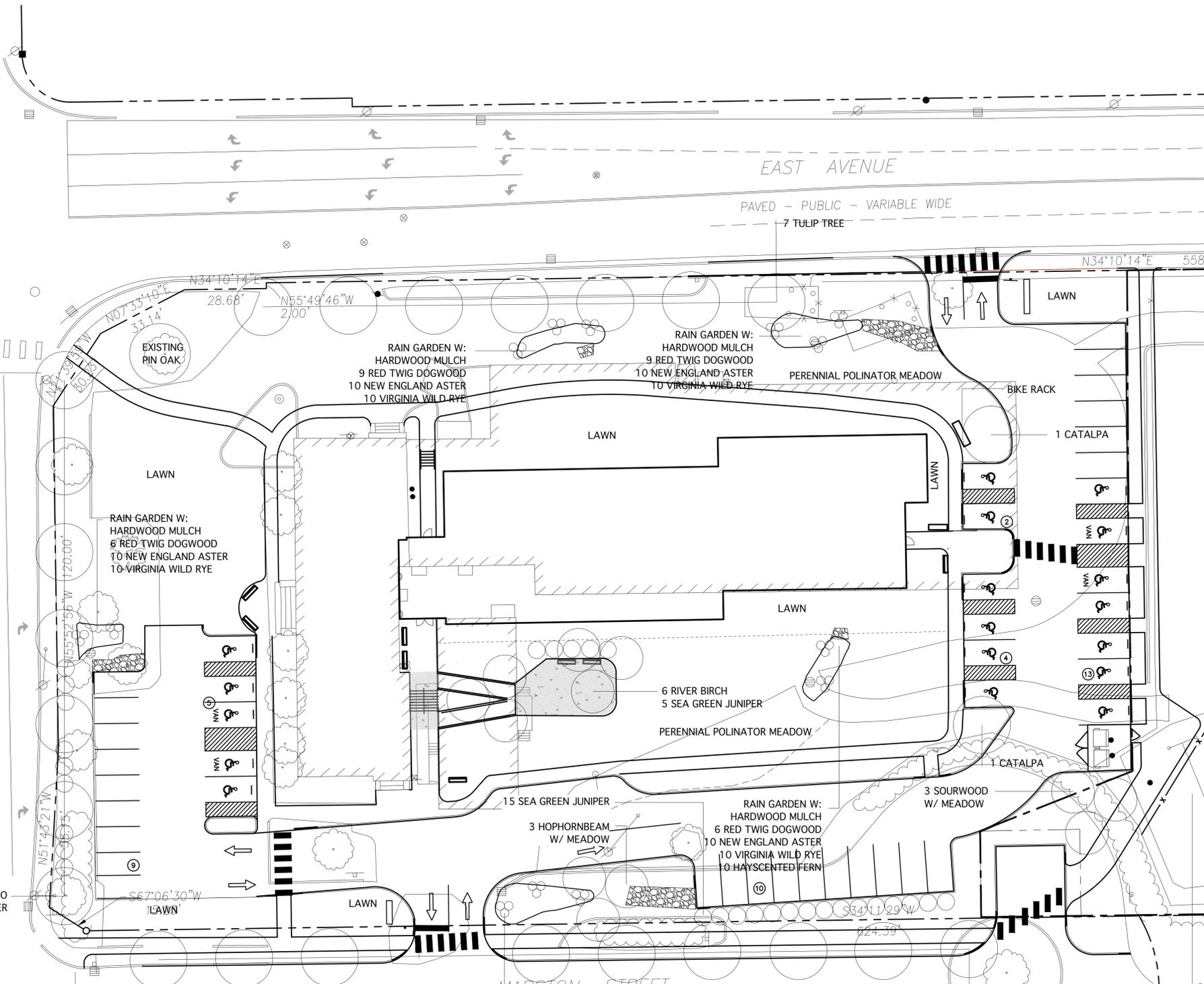
DETAILS

No.	Revision/Issue	Date
C	CITY RESUBMISSION	08/06/20
B	CITY SUBMISSION	07/08/20
A	CLIENT REVIEW	07/02/20

Design by:	ARF	Checked by:	JIM
Drawn by:	BGC	Approved by:	JIM
Project:	201.06032	Date:	MAY 2020

C2.0

Sheet 12 of 14



PLANTING SPECIFICATION

A. Call Dig Safe prior to any excavation work. The location and maintenance of landscaping and site amenities cannot conflict with site utilities. Coordinate with all other project drawings.

B. In any case where drawings or specifications vary from the City of Lewiston Site Plan Review and Design Guidelines, City regulations take precedent. Report any discrepancies to Owner and Landscape Architect.

C. The location of all trees, shrubs, and grasses shall be staked and approved by the Landscape Architect prior to planting.

D. Flag the northern side of trees in the nursery and install trees oriented to the north. Landscape Architect to select plant material with contractor.

E. All plant material shall be healthy and full-branching, true to form and specified size, free of disease, pests and physical damage.

F. Employ only experienced personnel familiar with required work.

G. If deciduous trees are planted in - leaf, they shall be sprayed with an anti-desiccant prior to digging operation.

H. Landscape installation timeframe:
Balled and Burlapped:
Spring 4/1 to 7/15, and Fall 8/15 to 10/15

I. Specified plant material may be substituted by the use of alternate, similar plant material, with approval from the Landscape Architect.

J. All plant material and lawn shall be guaranteed for a period of two years from date of occupancy. All dead and non-vigorous material shall be replaced, without cost to the Owner, with a similar species, and these replacement plants shall be guaranteed for one year from the date of acceptance by the Owner.

K. Planting soil shall be 2/3 topsoil, free of debris and stones over 1" in diameter, and 1/3 peat moss. The pH shall be between 5.5 - 7.0. Ground limestone shall be added to the planting soil to achieve specified pH.

L. Add compost in planting beds at a 1 part compost to 4 part existing soil ratio, tilled to a 12" depth per industry standards.

M. Fertilizer shall be applied when planting pits are 2/3 full of planting soil with a 5-10-10 fertilizer. After planting, slow release fertilizer, minimum 5 year, shall be applied using a 4 oz. packet system at rates recommended by the manufacturer.

N. Mulch shall be 100% fine shredded pine bark, 2" deep. Planting beds adjacent to buildings shall use 3/4" aggregate or less. Landscape and Owner to approve color.

O. Tree wrap shall be Osnaburg Cloth, 4 7/8" wide, unbleached, or approved equal. Cloth should only be used for material transport and installation and removed immediately following installation.

P. Loam and seed disturbed lawn areas per civil engineering plans.

Q. Trees normally do not need to be staked and staking can be harmful to the tree and a hazard in pedestrian locations. Staking should only be done with the approval of the Landscape Architect and the Portland City Arborist if it is expected that the tree will not be able to support itself. The following are reasons why trees do not remain straight:
Root balls placed on soft soil. Tamp soils under root ball prior to planting
Root balls with very sandy soil or very wet clay soil. Staking advisable
Trees located in a place of extremely windy conditions. Staking advisable
Trees located in a place where vandalism may impact tree. Staking advisable

R. If tree stakes are required they shall be placed parallel to the curb. Trees will be secured with web strapping or polyester chain-lock. No wire or hose will be used. Assure that the bearing surface of the webbed strapping or poly chain lock against the trunk is a minimum of 12 MM (0.5 inches). Remove all staking as soon as the tree has grown sufficient roots to overcome the problem that required the tree to be staked. Stakes shall be in place no longer than one year or at least until the end of the growing season after planting.

S. Install black, molded, modular panels manufactured with 50 percent recycled polyethylene plastic with ultraviolet inhibitors, 85 mils (2.2 mm) thick, with vertical root deflecting ribs protruding 1/2 inch (12 mm) to 3/4 inch (19 mm) out from panel, and each panel 24 inches (610 mm) wide by 18 inches in depth. Integrated zipper joining system for panel-to-panel connection.

T. Planting Pits and Trenches: Excavate circular planting pits with tapered sides. Excavations with vertical sides are not acceptable. Trim perimeter of bottom leaving center area of bottom raised slightly to support root ball and assist in drainage away from center. Do not further disturb base. Ensure that root ball will sit on undisturbed base soil to prevent settling. Scarify sides of planting pit sheared or smoothed during excavation. Excavate two times as wide as ball diameter. Excavate at least 12 inches (300 mm) wider than root spread and deep enough to accommodate vertical roots for bare-root stock. Do not excavate deeper than depth of the root ball, measured from the root flare to the bottom of the root ball. Subsoil and topsoil removed from excavations may not be used as planting media

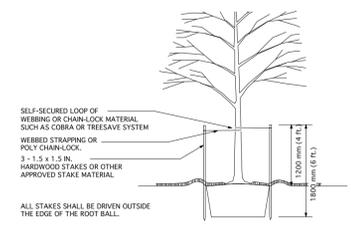
U. Maintenance shall begin immediately after each plant is planted and shall continue until Maintenance required:

- Maintain plantings by pruning, cultivating, watering, weeding, fertilizing, mulching, restoring water saucers, resetting to proper grade or vertical position, and performing other operations as required to establish healthy, viable plantings.
 - Planting areas shall be kept free of weeds, grass, and other undesired vegetative growth.
 - Fill in as necessary soil subsidence that may occur because of settling or other processes. Replace mulch materials damaged or lost in areas of settling. Do not place mulch within 3 inches (75 mm) of trunks or stems. A continuous, linear mulched area shall be maintained between closely spaced plants to avoid grassed strips less than 2 feet (600 mm) wide or scallops of grass that are difficult to maintain.
 - Apply treatments as required to keep plant materials, planted areas, and soils free of pests and pathogens or disease. Use practices to minimize the use of chemicals and pesticides and reduce hazards.
 - Apply pesticides and other chemical products and biological control agents in accordance with authorities having jurisdiction and manufacturer's written recommendations. Coordinate applications with Owner's operations and others in proximity to the Work. Notify Owner before each application is performed. See Section V below.
 - Protect plants from damage due to landscape operations and operations of other contractors and trades. Maintain protection during installation and maintenance periods. Treat, repair, or replace damaged plantings without additional cost to the Owner.
 - Prune, thin, and shape woody materials according to standard professional horticultural and arboricultural practices and in accordance with ANSI A300 (Part 3) Pruning Standards. Unless otherwise indicated by Landscape Architect, do not cut tree leaders; remove only injured, dying, or dead branches from trees and shrubs. Prune to retain natural character.
 - Pruning shall be done with clean, sharp tools. Cuts shall be made at branch collars, leaving no stubs. No tree paint shall be used.
- V. General Fertilizers and Pesticides Note: Utilize organic fertilizers, pesticides, or biological controls or substitute with OMRI approved materials. Obtain permission and notify Owner prior to substitutions and applications.

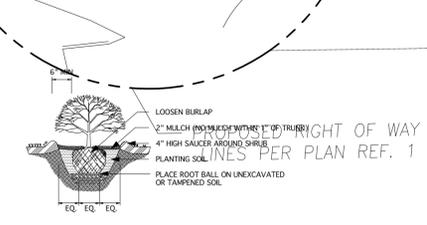
LISBON STREET ROUTE 196
PAVED - PUBLIC VARIABLE WIDE

QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
50	Aster novae angliae	New England Aster	1Gal.	Container/1' O.C
6	Betula nigra	River Birch	10' HT	BB/Multi-Stem
2	Catalpa	Catalpa	6" Clp.	BB/Multi-Stem
39	Cornus sericea	Red Osier Dogwood	3 Gal.	3' O.C.
20	Dennstaedtia punctilobula	Hayscented Fern	1Gal.	Container/1' O.C
50	Elymus virginicus	Virginia Wild Rye	1Gal.	Container/1' O.C.
7	Ginkgo biloba	Ginkgo	4" Clp.	BB/Male
29	Juniperus chinensis	Sea Green Juniper	4 Gal.	6' O.C.
7	Liriodendron	Tulip Tree	3" Clp.	BB
3	Oxydendron arbor	Sourwood	3" Clp.	BB
3	Ostrya virginiana	American Hophorn	3" Clp.	BB
9	Quercus alba	White Oak	4" Clp.	BB
14,393 SF	Lawn			
14,695 SF	Perennial Pollinator Meadow			
1,500 SF	3" Hardwood Mulch in Rain Gardens			

RAIN GARDEN W:
HARDWOOD MULCH
9 RED TWIG DOGWOOD
10 NEW ENGLAND ASTER
10 VIRGINIA WILD RYE
10 HAYSCENTED FERN

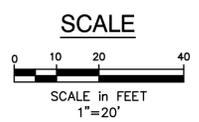


TYPICAL TREE PLANTING DETAIL
N.T.S.



TYPICAL SHRUB PLANTING DETAIL
SEE PLAN REFERENCES 1 & 5

- GENERAL NOTES**
- Call Digsafe prior to any site work
 - Coordinate landscape drawings with all other project drawings
 - See civil drawings for grading and drainage details



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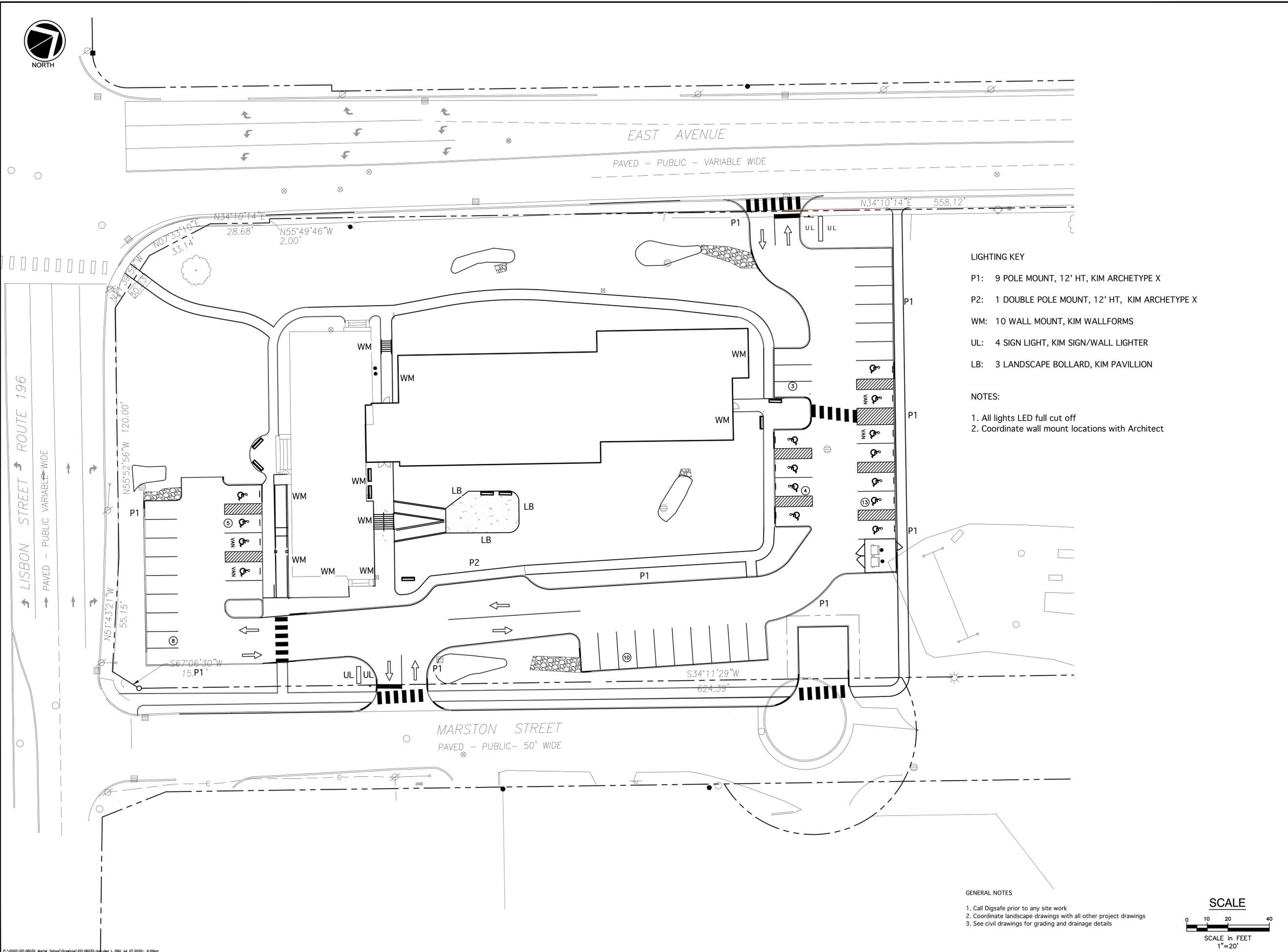
LANDSCAPE PLAN

No.	Revision/Issue	Date
D	CITY SUBMISSION	8/6/20
C	CITY RESUBMISSION	07/29/20
B	CITY SUBMISSION	07/08/20
A	CLIENT REVIEW	07/02/20

Design by:	MHR	Checked by:	MHR
Drawn by:	MHR	Approved by:	MHR

Project:	2020.17	Date:	MAY 2020
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Sheet No: **L1.0**
Sheet 13 of 14



LIGHTING KEY

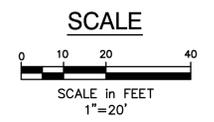
- P1: 9 POLE MOUNT, 12' HT, KIM ARCHETYPE X
- P2: 1 DOUBLE POLE MOUNT, 12' HT, KIM ARCHETYPE X
- WM: 10 WALL MOUNT, KIM WALLFORMS
- UL: 4 SIGN LIGHT, KIM SIGN/WALL LIGHTER
- LB: 3 LANDSCAPE BOLLARD, KIM PAVILLION

NOTES:

1. All lights LED full cut off
2. Coordinate wall mount locations with Architect

GENERAL NOTES

1. Call Digsafe prior to any site work
2. Coordinate landscape drawings with all other project drawings
3. See civil drawings for grading and drainage details



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FOR PERMITTING



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LIGHTING PLAN

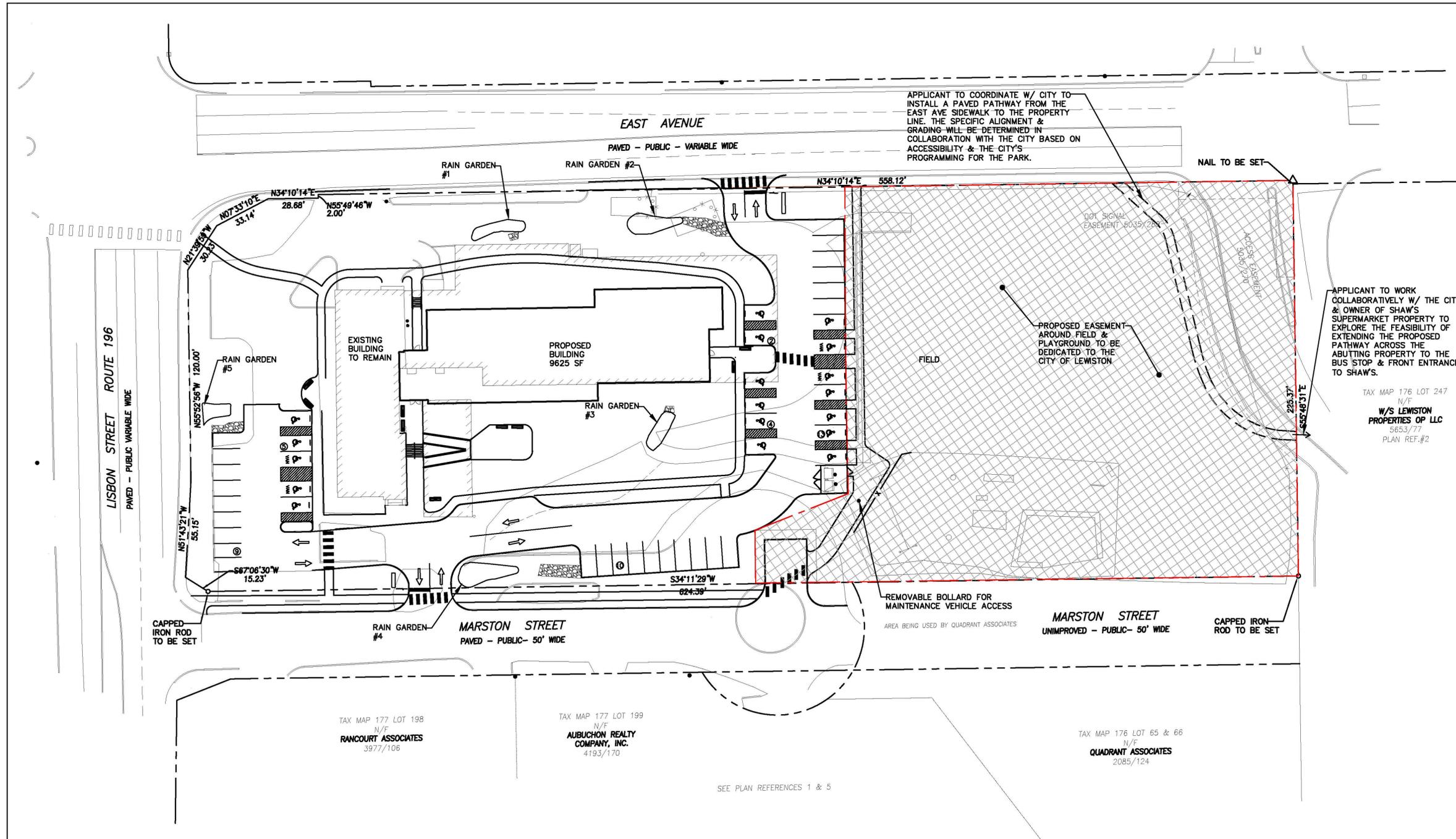
B	CITY SUBMISSION	07/08/20
A	CLIENT REVIEW	07/02/20

No.	Revision/Issue	Date
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Design by:	TP	Checked by:	JM
Drawn by:	MHR	Approved by:	JM

Project:	2020.17	Date:	7.8.20
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Sheet No: **L2.0**



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EASEMENT PLAN

No.	Revision/Issue	Date
C	CITY RESUBMISSION	08/06/20
B	CITY SUBMISSION	07/08/20
A	CLIENT REVIEW	07/02/20

GENERAL NOTES:

- MULTI-USE TRAIL CONNECTION BETWEEN THE HAMMERHEAD AND THE PARK TO PROVIDE PEDESTRIAN ACCESS AS WELL AS ACCESS FOR CITY MAINTENANCE VEHICLES.

Design by:	Checked by:
ARF	JIM
Drawn by:	Approved by:
BGC	JIM
Project:	Date:
201.06032	MAY 2020
Sheet No:	
C1.3.1	
Sheet 1 of 1	

GENERAL NOTES:

- MULTI-USE TRAIL CONNECTION BETWEEN THE HAMMERHEAD AND THE PARK TO PROVIDE PEDESTRIAN ACCESS AS WELL AS ACCESS FOR CITY MAINTENANCE VEHICLES.

