

**CITY OF LEWISTON**  
**PLANNING BOARD MEETING**  
Monday, June 24, 2019 – 5:30 P.M.  
City Council Chambers – First Floor  
Lewiston City Building  
27 Pine Street, Lewiston, ME

## **WORKSHOP AGENDA**

- 1. Discuss “Design Lewiston”. An update of Lewiston’s design regulations.**

The next scheduled Planning Board meeting is July 8, 2019

The City of Lewiston is an EOE. For more information please visit our website @ [www.lewistonmaine.gov](http://www.lewistonmaine.gov) and click on the Non-Discrimination Policy.



## CITY OF LEWISTON

### Department of Planning & Code Enforcement

**TO:** Lewiston Planning Board

**FROM:** Douglas Greene, AICP, RLA; Deputy Director/City Planner

**DATE:** June 20, 2019

**RE:** June 24, 2019 Planning Board Workshop

---

We will hold a workshop at the next Planning Board meeting on Monday, June 24<sup>th</sup>. I'm looking forward to presenting the "Design Lewiston" project and its current state of work. I'm going to ask you to do some homework. Please review the materials attached within the email you received. If you have time to review any of the materials, please review the "Design Lewiston-Detailed Outline of Regulations", especially the letter B. Design Provision 1-20.

Thanks and see you Monday night!

## DESIGN LEWISTON: EXISTING CONDITIONS AND PROJECT APPROACH MEMO

Prepared by Nels Nelson and Craig Lewis. May 20, 2019

### OVERVIEW

The project team reviewed the city's existing urban design and architectural conditions, recent development projects, district and neighborhood plans, and ongoing planning and economic development efforts to understand the issues, opportunities, and challenges shaping design to define goals and create a framework for the development of design regulations. The next step is to develop a detailed outline for updated and new provisions in the design regulations.

### PROJECT GOALS AND APPROACH

The project team formed these goals based upon relevant plans, issues and opportunities within the current code, the types of development expected in the coming years, and input from the Advisory Committee and public receiving during meetings.

The goals of Design Lewiston are to:

1. Encourage infill development in Lewiston's historic core
  - a. Focus regulatory changes on the city center
  - b. Require that projects be compatible with the contextual space, bulk, and density with flexible standards
  - c. Facilitate reinvestment by balancing costs of quality design with the community's long term economic goals
  - d. Maintain a predictable design review process
2. Foster a safe and pleasurable environment that encourages pedestrian activity
  - a. Eliminate physical barriers to pedestrian activity with clear pathways and entrances
  - b. Avoid blank or otherwise dull/inactivity ground floor walls through the incorporation of detailed design and the requirement of active uses
  - c. Place buildings close to the sidewalk and reduce or eliminate gaps between buildings
  - d. Put car parking to the side or rear of buildings
  - e. Coordinate building design with the streetscape and other elements of the public realm
3. Preserve Lewiston's heritage
  - a. Encourage adaptive reuse of historic buildings
  - b. Define architectural design provisions to reinforce the character of specific districts

The approach to updating the design regulations is to:

1. Update the space and bulk standards to allow greater flexibility and require contextually appropriate infill
2. Add site design best practices to Article XIII Development Review and Standards (Approval Criteria) that are applicable to all city center districts
3. Add district-specific architectural provisions to either **Article XI District Regulations, Article XII Performance Standards, or Article XIII (which ever is preferable for administration)**
4. Clean up and consolidate other design regulations in the document for consistency and ease of use

## **REVIEW OF RELEVANT PLANNING DOCUMENTS**

The project team reviewed the following relevant recent planning documents. Specific recommendations for each document that influence this effort have been outlined below.

### **Legacy Lewiston (2017)**

- Preserve existing neighborhoods
- Create mixed-use centers with a character-based approach,
  - Geiger School Neighborhood
  - Sabattus Crossroads Redevelopment
  - Lisbon Street Suburban Retrofit
  - South Lewiston Industrial Village
  - Rural Living Hamlet
- Improve the Historic Preservation Manual to be more straightforward and effective
- Improve effectiveness of design review
- Simplify the zoning code by using plain English and clarifying the intent with diagrams
- Promote microhousing by allowing for smaller units

### **Riverfront Island Master Plan (2012)**

- Plan to capture market opportunities in housing, retail, office, arts and culture, hotel, and light industry by relying on views of the river, amenities, and the adaptive reuse of buildings.
- Significant public investment is called for from the canal walk to streetscape improvements to attract investment.
- Refers to unadopted urban design review overlay district.
- Zoning modifications
  - Shared parking (adopted)
  - Reduced setback requirements on Island Point to match historic buildings
  - Change side setback requirements on Oxford Street to allow for townhouse development

### **Lewiston Downtown Development District Preservation Plan (1997)**

- The Lewiston Downtown Development District Preservation Plan (1997) created ARTICLE XVI. DEVELOPMENT DISTRICTS
- The districts were created to enable a redevelopment program to further the economic development goals of the City

### **Auburn Form Based Code (2016)**

The project team reviewed this ordinance from Lewiston's neighbor to pick up any relevant best practices. The ordinance contains sections that provide mandatory requirements for design features, such as:

- Ground story fenestration ratio minimum and maximum
- Maximum lengths of blank walls
- Stoop encroachment into setbacks
- Parking locations
- Setback minimum and maximum
- Usable open space

The zoning also contains "typical" provisions for definitions, parking requirements, zones and allowed uses per zone, and administration. Auburn's code is not prescriptive in terms of building types or building

design. For example, it does not include provisions regarding maximum dormers, roof pitches, or ornamentation.

### **Economic development and real estate market analyses**

According to the documents reviewed, the economic and real estate development climate in Lewiston is unlikely to change. Growth and investment in recent years has been steady, but there is not overwhelming demand in the region. Therefore, the City of Lewiston should continue to have a predictable and pro-development design approval process that achieves both high quality placemaking and an attractive investment environment. High-level take away from economic analysis documents are:

- TD Bank economic outlook (2019)
  - Unemployment rate still near generational low in Lewiston-Auburn
  - Net migration to Maine has been strong in 2017
  - Modest house price index percent change in Maine has been modest (about 5%)
- Kevin Fletcher Central Maine Market Forecast (2019)
  - 10 years of commercial inventory are available
  - Lewiston-Auburn’s economy is driven by medical institutions, distribution/warehousing, colleges, and retail for surrounding area (500,000 people within 30 miles)

## **REVIEW OF EXISTING DESIGN REGULATIONS AND PROCESS**

The project team looked at what sections of Lewiston’s ordinance regulated design and design approval.

### **Design regulations**

Sections containing the most relevant provisions for design are the space and bulk requirements, performance standards for downtown and riverfront, and development review approval criteria. Lastly, the outdated site plan review guidelines add non-binding recommendations for development projects.

<b>Section</b>	<b>Relevance</b>	<b>Evaluation</b>
Article XI. District regulations. Sec. 23. Space and bulk requirements.	Dimensional standards for various uses within zones	<ul style="list-style-type: none"> <li>• A complete evaluation of Article XI is in Attachment A.</li> <li>• Difficult to understand in current form when compared to a form based code</li> <li>• As written, the requirements are not well fit to the contexts, which leads to modification requests</li> <li>• Should be better fit to the context and flexible enough to allow appropriate development, such as identifying minimum and maximum setbacks and heights</li> </ul>
Article XII. Performance Standards. Sec. 16. Signs.	Signs are highly visible and have been the subject of several board and commission agendas	<ul style="list-style-type: none"> <li>• Could be updated, but not a high priority</li> </ul>
Article XII. Performance Standards. Sec. 17. Off-street parking and loading.	Parking a major driver of development form	<ul style="list-style-type: none"> <li>• Provisions for Joint use of parking facilities and the use of municipal garages within walking distance alleviate the</li> </ul>

		<p>need for some burdensome parking requirements downtown</p> <ul style="list-style-type: none"> <li>• A complete refresh of the off-street parking requirements is not a top priority for this effort</li> </ul>
Article XII. Performance Standards. Sec. 22. Residential design standards for the downtown residential and riverfront districts.	Design-oriented regulations for downtown residential	<ul style="list-style-type: none"> <li>• Currently “shoulds” that could be “shalls”</li> <li>• Potential location to add additional provisions, or could be redundant with changes to Approval Criteria and therefore removed</li> </ul>
Article XIII. Development review and standards. Sec. 3. Procedure.	Establishes approval process	<ul style="list-style-type: none"> <li>• <i>See following section on approval process</i></li> </ul>
Article XIII. Development review and standards. Sec. 4. Approval criteria.	The most influential section for design regulation. The thresholds include any new non-residential structure or a change of use from residential to non-residential an residential projects with three or more units.	<ul style="list-style-type: none"> <li>• Contains the greatest substance of existing design regulations, including (a) through (w) approval criteria</li> <li>• Make “shalls” not “shoulds”</li> <li>• Potential to add additional provisions to the approval criteria</li> </ul>
Article XV. Significant buildings and districts.	Contains regulations related to the Historic Preservation Review Board and significant structures and districts.	<ul style="list-style-type: none"> <li>• Relate to updated Historic Preservation Guidelines.</li> <li>• A new Lisbon Commercial Historic District will be added</li> </ul>
Article XVII. Amendment and other legal provisions. Sec. 5. Amendments.	Used for project-specific rezoning	<ul style="list-style-type: none"> <li>• Conditional zoning is applied in Lewiston more than in most cities to skirt restrictions</li> <li>• Conditional zoning currently does not require the submission of site plans</li> </ul>
Site Plan Review & Design Guidelines	Adopted policy of the Planning Board for Development Review. While not as enforceable as zoning, the Guidelines are an opportunity to add context and further detail than found in the zoning language.	<ul style="list-style-type: none"> <li>• Outdated guidelines that should be updated</li> </ul>

### Approval process

As the approval process currently stands, the City of Lewiston is known as a good partner for development with an approachable process. Developers find the City staff to be responsive and supportive during approval procedures. However, the design regulations are not substantial enough to deliver the appropriate projects in the absence of developer cooperation

To improve the approval process, Design Lewiston can take steps make the process more predictable by adjusting Article XIII for small and large projects and having a better fit between the existing context and the space and bulk standards that therefore removes the need for rezoning and modification. Furthermore, the approval process will be clearly communicated in the outreach guide.

## REVIEW OF DEVELOPMENT AREAS

The project team reviewed the areas of expected development interest and recent site plan review outcomes to fit the updated design regulations appropriately.

*Figure 2: Areas of development interest* maps locations weighed in on by the Advisory Committee. These areas are focused on the downtown core with the exception of a school project and the potential for development at I-95 interchange. The map also shows the 2018 Planning Board and Staff Review Committee and Historic Committee applications. The results of the mapping exercise reflect the public's priority for targeting the design regulation updates on the downtown core. In contrast, the city's suburban and low density residential areas, as well as Office-Service districts, and Industrial districts for example have not been indicated as important targets for design regulations.

Recent development design decisions in the city center reflect the need for design regulations. The Hartley Block is a mixed-use infill development on Lisbon Street. In many ways, it is a design success story that happened in the absence of design regulations that was possible due to a cooperative relationship with the developer who made concession for retail on the ground floor. In contrast, the new fueling station and drive-through restaurant on 449 Sabattus Street represents a failure of the current regulations to deliver the type of place represented in Legacy Lewiston. While the developer added a buffer although not required in zoning, Legacy Lewiston called for this corner to transition to a pedestrian-friendly walkable mixed-use district. Instead, the car-oriented development pattern was perpetuated. Maximum setback standards may have been effective to bring the retail to the sidewalk, thereby matching the historic context of 10-15'.

## CHARACTER DISTRICT REVIEW

For the purposes of design regulation, character can be understood in the following four ways:

1. **Massing:** setbacks, bulk, rhythm of buildings along the street, heights
2. **Site design:** landscaping, open space, and location of parking
3. **Architecture:** entrances, facades, porches, windows, rooflines, materials
4. **Public realm:** streetscape features including trees, lighting, and furniture

The current code addresses **1. Massing** through the space and bulk standards. The City's complete streets policy addresses **4. Public realm**. Therefore, in thinking about adding new provisions into the code, the project team's focus is on addressing **2. Site design** and **3. Architecture**. Additionally, the space and bulk standards need to be updated to require that **1. Massing** of new projects will be compatible with the contextual space, bulk, and density.

Lewiston's city center is described by the nine zoning districts, each of which have a self-contained character with few exceptions. Therefore, the project team recommends relating additional design regulations for site design and architectural details in character districts to the existing district structure rather than creating additional zones or overlays.

Districts with proposed additional site design and architecture provisions:

<b>Zoning Districts</b>	<b>Design district designation</b>	<b>Comment</b>
Rural-agricultural district (RA).	N/A	Not a priority district to fulfill Design Lewiston's goals
Low-density residential district (LDR).	N/A	Not a priority district to fulfill Design Lewiston's goals
Suburban residential district (SR).	N/A	Not a priority district to fulfill Design Lewiston's goals
Medium-density residential district (MDR).	N/A	Not a priority district to fulfill Design Lewiston's goals
Riverfront (RF).	<b>Yes</b>	
Neighborhood conservation "A" district (NCA).	N/A	This district is on the edge of the design-oriented city center, but should be excluded due to its existing conditions and role as a predominantly residential area. There is an island of NCA centered on Androscoggin Avenue south of the High School within the design districts that could be rezoned or left as is.
Neighborhood conservation "B" district (NCB).	<b>Yes</b>	
Office-residential district (OR).	<b>Yes</b>	The purpose of the district is to preserve architectural character and transition from arterial roads into neighborhoods
Downtown residential district (DR).	<b>Yes</b>	
Institutional-office (IO).	<b>Yes</b>	
Community business district (CB).	<b>Yes</b>	
Highway business district (HB).	N/A	There are pockets of HB within the design districts that should be rezoned to CB.
Centreville district (CV).	<b>Yes</b>	
Office service (OS).	N/A	
Industrial district (I).	N/A	
Urban enterprise district (UE).	<b>Yes</b>	The purpose of the district is to encourage redevelopment in older mixed-use areas. Under this description, it is appropriate to include additional provisions. However, UE has also been applied to South Park and other suburban locations that may need to be rezoned or apply the design provisions.
Mill district (M).	<b>Yes</b>	

### Riverfront (RF)



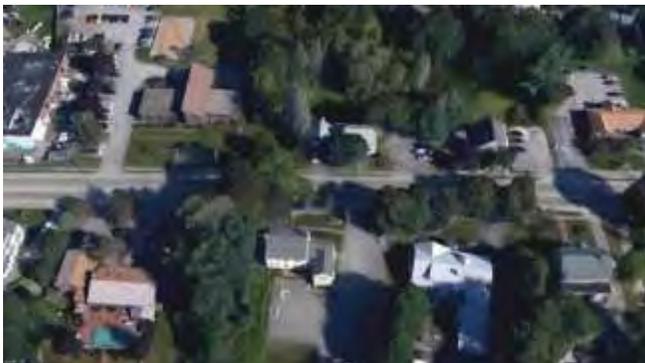
Riverfront contains an eclectic mix of buildings including the city's densest neighborhood, "Little Canada", historic brick mill and commercial buildings, buildings with party walls, and single-story commercial buildings.

### Neighborhood conservation "B" district (NCB)



NCB is a dense, urban, and walkable residential district that was built for factory workers. The predominant building type is three to four story multifamily residential with a small setback in which a front yard separates the ground floor unit from the street.

### Office-residential district (OR)



OR is characterized by large historic houses on Lewiston's major corridors as well as infill strip commercial. The buildings are similar in scale to NCB but often have larger setbacks due to their locations along high traffic corridors. OR districts are at the periphery of the historic core.

**Downtown residential district (DR)**



DR is very similar to NCB except that the buildings tend to have zero front setback and be slightly larger in terms of overall massing and site coverage.

**Institutional-office (IO)**



**IN PROGRESS** Bates, High School...

**Community business district (CB)**



**IN PROGRESS...**

### Centreville district (CV)



Centreville is arguably Lewiston's premiere design-oriented district with the most walking-oriented building types and existing uses. It is predominantly multistory buildings with active commercial uses on the ground floor. Setbacks are typically zero feet including party walls.<sup>4</sup>

### Urban enterprise district (UE)



This district contains a wide variety of different building types throughout the different areas. In Sunnyside, for example, the buildings are both residential (with zero front setbacks) and large light industrial uses. In other parts of the city, UE contains a sandpit, low density residential, and is a placeholder for future development off of the highway interchange. Along the Sunnyside waterfront, the UE zone was changed to Centreville in advance of the redevelopment of housing. Similarly, other areas in the city center could be rezoned to more appropriate zones,

and UE could be excluded from additional design regulations as it would be exclusively relevant to automobile-oriented uses.

### Mill district (M)



This district has zero front setbacks and tall brick buildings with a mix of roof types **IN PROGRESS**

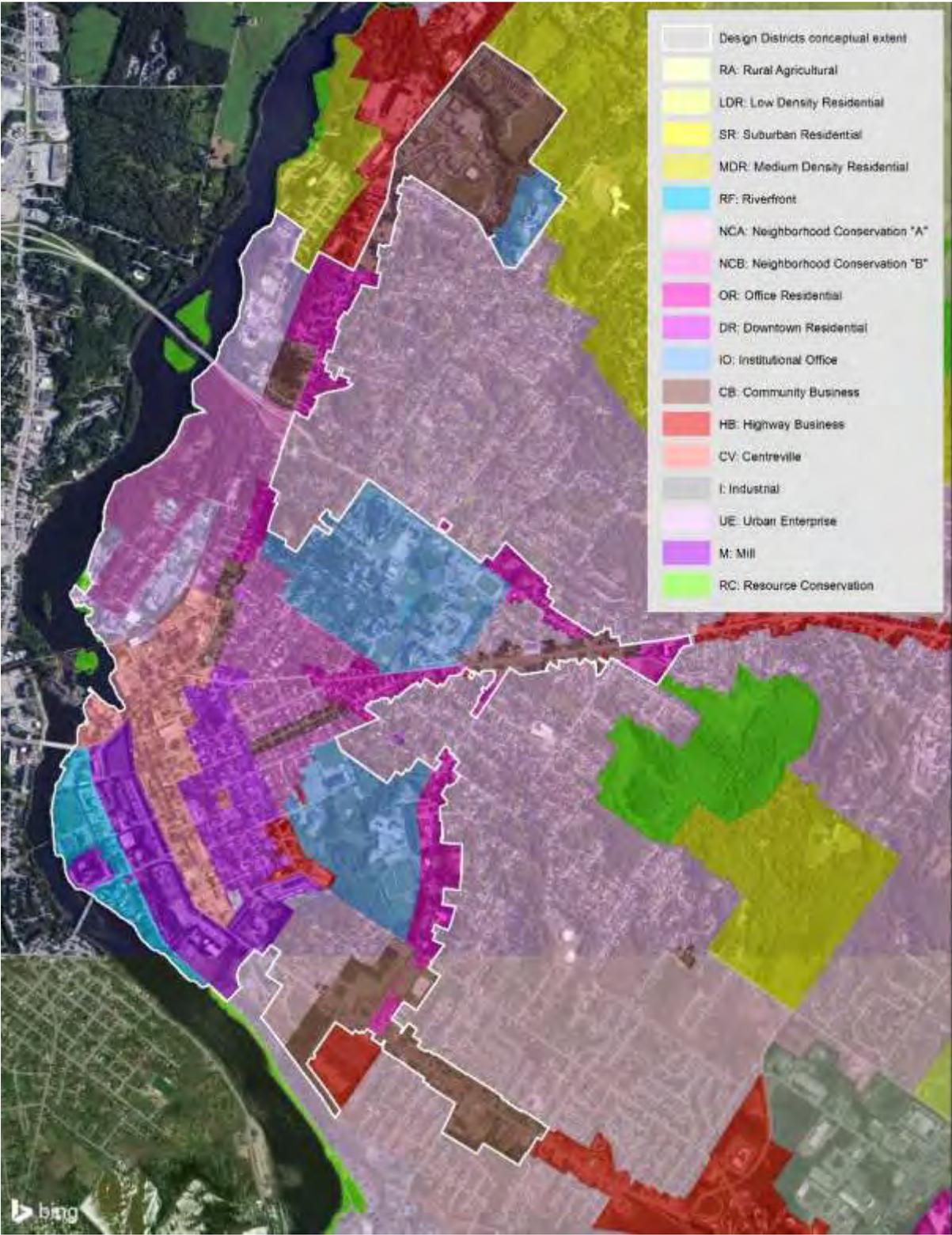
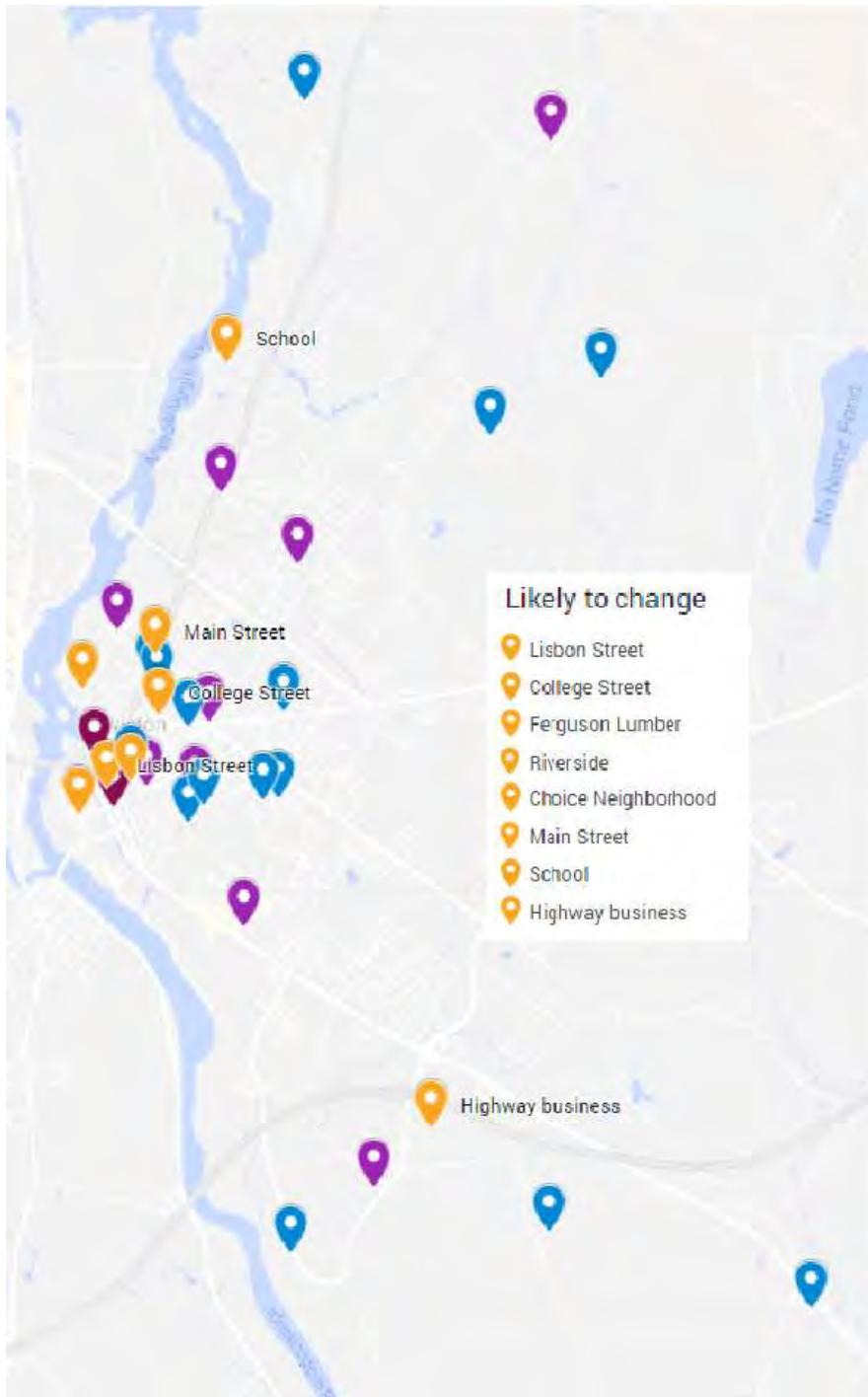


Figure 1: Design districts conceptual extent in city center



**Historic Preservation Board**

- 223 Lisbon St
- 277 Lisbon St
- 49 Lisbon St

**Staff Review Committee**

- 2 Central Ave
- 643 Main St
- 147 Summer St
- 117 Googin St
- 143 Blake St
- 1315 Sabattus St
- 55 Alfred A Flourde Pkwy
- 860 Lisbon St
- 952 College St
- 144 Howe St

**Planning Board**

- 229 River Rd
- 56 Ferry Rd
- 381 Main St
- 147 Sabattus St
- 153 East Ave
- 2019 Lisbon St
- 131 Hogan Rd
- 156 East Ave
- 163 Bates St
- 456 Stetson Rd
- 230 Bartlett St
- 145 Birch St
- 356 Sabattus St
- 187 Dak St
- 40 Deer Rd

Figure 2: Areas of development interest

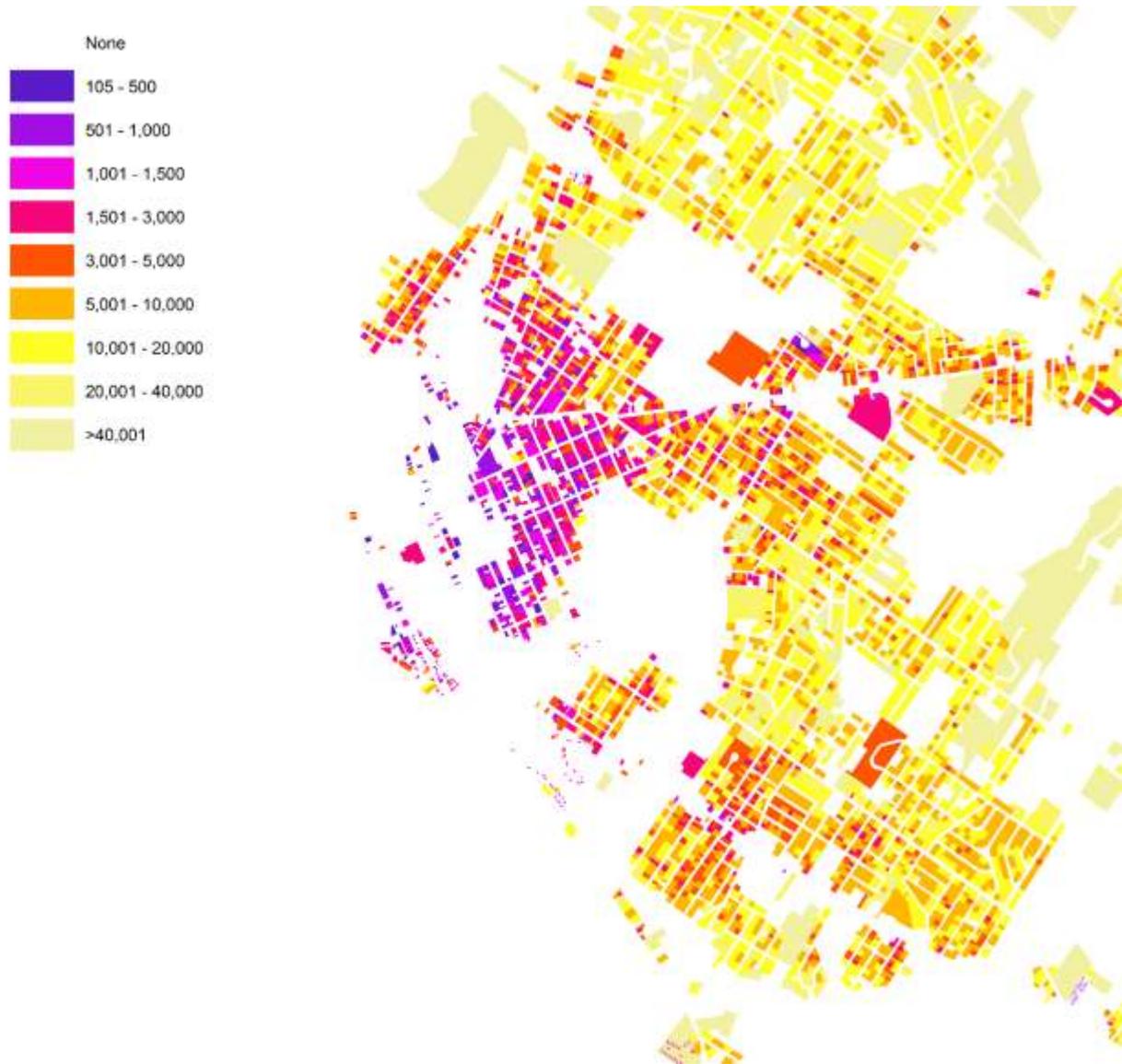


Figure 3: Current square feet of lot area per unit

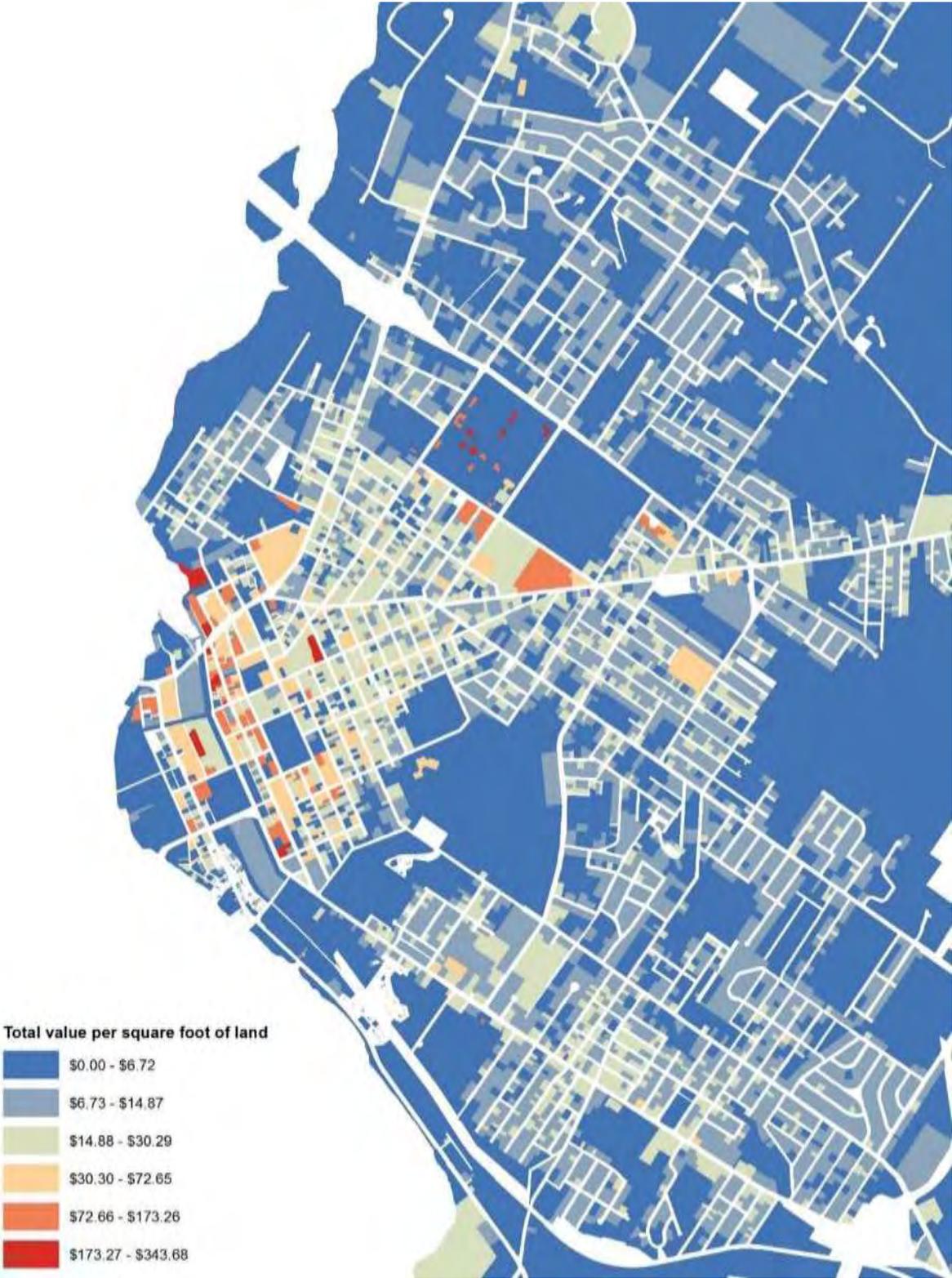
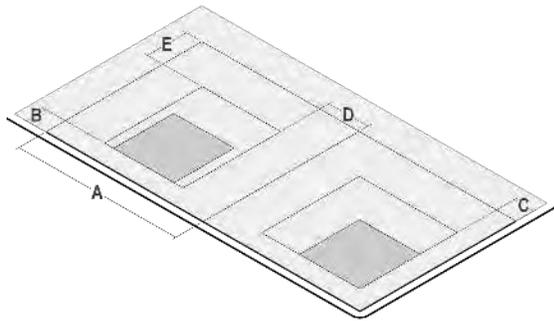


Figure 4: Current total value per square of land

## ATTACHMENT A. SPACE AND BULK STANDARDS REVIEW.

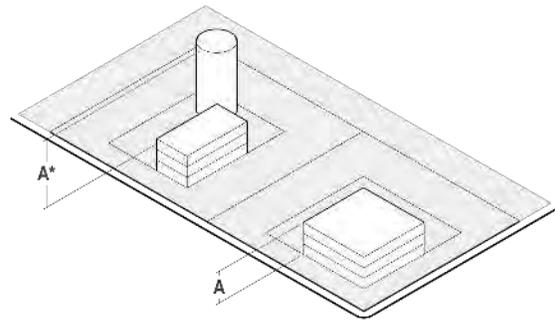
Rural-agricultural district (RA).

### LOT STANDARDS



<b>A. Frontage (min)</b>	200 ft
<b>B. Primary front setback (min)</b>	25 ft
<b>C. Secondary front setback (min)</b>	25 ft
<b>D. Side setback (min)</b>	50 ft
<b>E. Rear setback (min)</b>	50 ft
Lot area with sewer (min) <sup>2</sup>	40,000 sf
Lot area without sewer (min)	40,000 sf
Lot coverage (max)	0.15
Pervious area (minimum)	-

### BUILDING STANDARDS



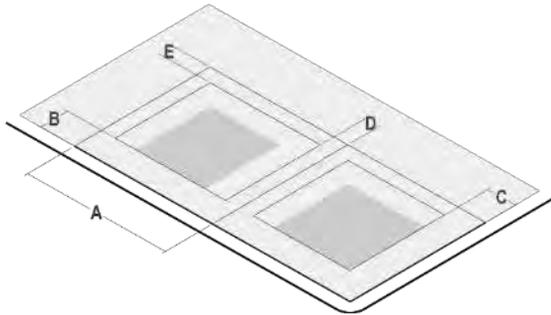
<b>A. Height (max)</b>	35 ft <sup>1</sup>
Lot area per d.u. with sewer (min)	60,000 sf
Lot area per d.u. without sewer (min)	60,000 sf

<sup>1</sup> 75 ft for agricultural uses

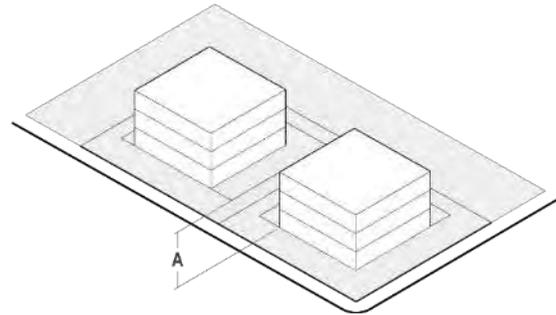
<sup>2</sup> Variable depending on use

Low-density residential district (LDR).

### LOT STANDARDS



### BUILDING STANDARDS



<b>A. Frontage (min)</b>	100 ft
<b>B. Primary front setback (min)</b>	20 ft
<b>C. Secondary front setback (min)</b>	20 ft
<b>D. Side setback (min)</b>	10 ft <sup>3</sup>
<b>E. Rear setback (min)</b>	10 ft
Lot area with sewer (min)	10,000 sf <sup>4</sup>
Lot area without sewer (min)	40,000 sf
Lot coverage (max)	0.30
Pervious area (minimum)	<b>Add?</b>

<b>A. Height (max)</b>	35 ft
Lot area per d.u. with sewer (min)	7,000 sf
Lot area per d.u. without sewer (min)	20,000 sf

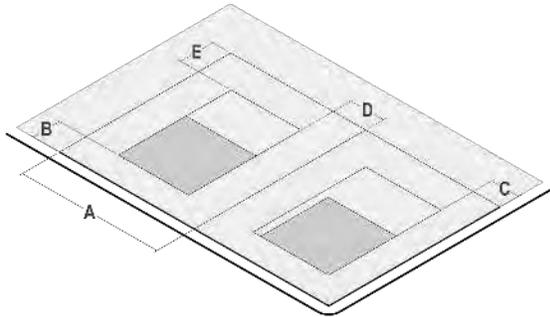
- Consider merging with Suburban Residential District

<sup>3</sup> 25 ft for uses other than single family residential

<sup>4</sup> 5 acres for cluster and multifamily development. 20,000 sf for other uses

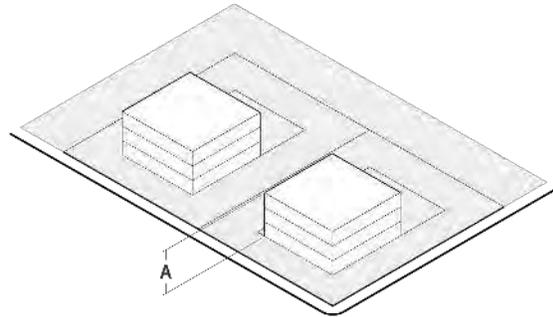
Suburban residential district (SR).

### LOT STANDARDS



<b>A. Frontage (min)</b>	125 ft
<b>B. Primary front setback (min)</b>	25 ft
<b>C. Secondary front setback (min)</b>	25 ft
<b>D. Side setback (min)</b>	30 ft
<b>E. Rear setback (min)</b>	30 ft
Lot area with sewer (min)	20,000 sf
Lot area without sewer (min)	40,000 sf
Lot coverage (max)	0.20
Pervious area (minimum)	Add?

### BUILDING STANDARDS

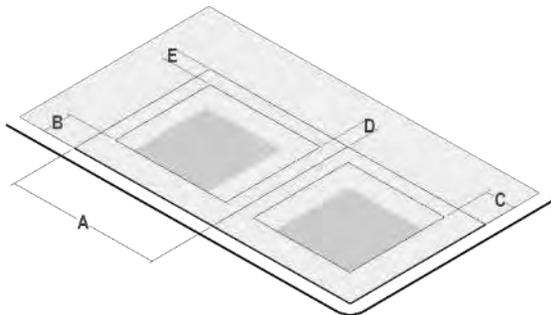


<b>A. Height (max)</b>	35 ft
Lot area per d.u. with sewer (min)	-
Lot area per d.u. without sewer (min)	-

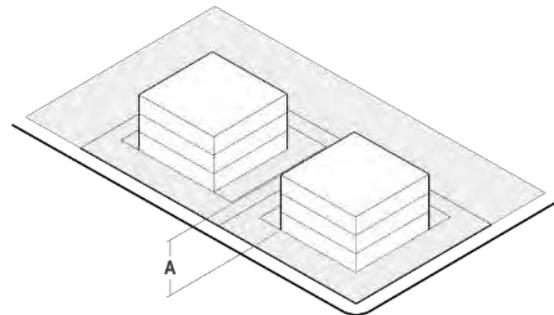
- Larger minimum setback for single-family than Low Density Residential
- No minimum lot area per d.u.

Medium-density residential district (MDR).

### **LOT STANDARDS**



### **BUILDING STANDARDS**



<b>A. Frontage (min)</b>	100 ft
<b>B. Primary front setback (min)</b>	20 ft <sup>5</sup>
<b>C. Secondary front setback (min)</b>	20 ft
<b>D. Side setback (min)</b>	10 ft <sup>6</sup>
<b>E. Rear setback (min)</b>	10 ft
Lot area with sewer (min)	10,000 sf <sup>7</sup>
Lot area without sewer (min)	40,000 sf
Lot coverage (max)	0.30
Pervious area (minimum)	<b>Add?</b>

<b>A. Height (max)</b>	35 ft
Lot area per d.u. with sewer (min)	5,000 sf
Lot area per d.u. without sewer (min)	20,000 sf

- **Front setback variable from 20 ft to 50 ft depending on use, should be consistent**

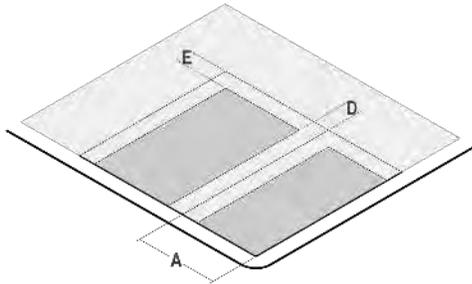
<sup>5</sup> 20 ft for single family, 50 ft for other uses.

<sup>6</sup> 10 ft for single family, 30 ft for other uses.

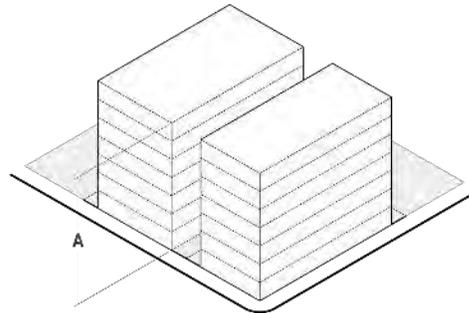
<sup>7</sup> 10,000 sf for single family, 20,000 for single family attached, 15,000 for two family, 5 acres for cluster development, 40,000 sf for other uses

Riverfront (RF).

**LOT STANDARDS**



**BUILDING STANDARDS**



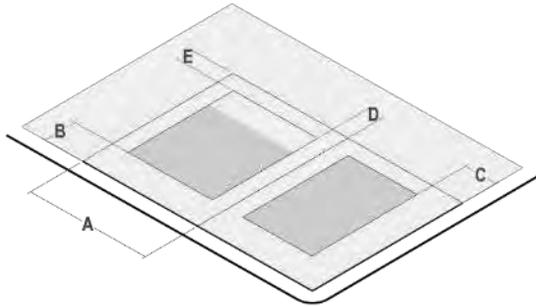
<b>A. Frontage (min)</b>	50 ft
<b>B. Primary front setback (min)</b>	0 ft
<b>C. Secondary front setback (min)</b>	0 ft
<b>D. Side setback (min)</b>	10 ft
<b>E. Rear setback (min)</b>	10 ft
Lot area with sewer (min)	5,000 sf
Lot area without sewer (min)	-
Lot coverage (max)	0.25
Pervious area (minimum)	0.25

<b>A. Height (max)</b>	75 ft
Lot area per d.u. with sewer (min)	1,250 sf
Lot area per d.u. without sewer (min)	-

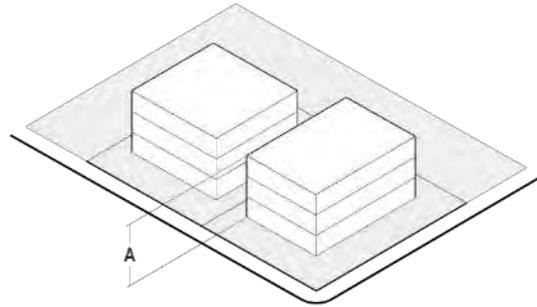
- Max lot coverage of 25% is very low
- Side setbacks should be 0 ft for townhome party walls as recommended by Riverfront Master Plan
- Good opportunity for a max front setback

Neighborhood conservation "A" district (NCA).

### LOT STANDARDS



### BUILDING STANDARDS



<b>A. Frontage (min)</b>	75 ft <sup>8</sup>
<b>B. Primary front setback (min)</b>	20 ft
<b>C. Secondary front setback (min)</b>	20 ft
<b>D. Side setback (min)</b>	10 ft
<b>E. Rear setback (min)</b>	10 ft
Lot area with sewer (min)	7,500 sf <sup>9</sup>
Lot area without sewer (min)	20,000 sf <sup>10</sup>
Lot coverage (max)	0.40
Pervious area (minimum)	-

<b>A. Height (max)</b>	75 ft
Lot area per d.u. with sewer (min)	5,000 sf
Lot area per d.u. without sewer (min)	5,000 sf

- Existing front setbacks are more typically about 15 ft
- 1,370 of the 5,910 parcels in this zone are less than 7,500 sf (about 25%). To have 85% conformity, the lot area would need to be 6,000 sf.

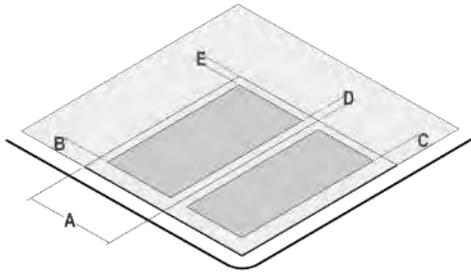
<sup>8</sup> 125 ft for other uses

<sup>9</sup> 12,500 sf for two-family, 20,000 for commercial uses

<sup>10</sup> 40,000 sf for commercial uses

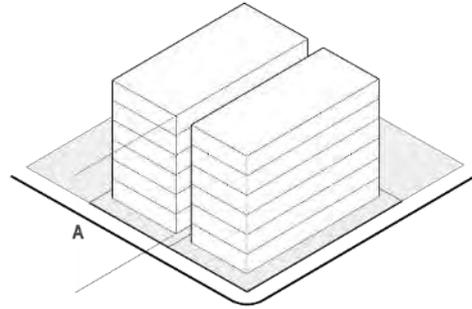
Neighborhood conservation "B" district (NCB).

### LOT STANDARDS



<b>A. Frontage (min)</b>	<b>50 ft</b>
<b>B. Primary front setback (min)</b>	<b>10 ft</b>
<b>C. Secondary front setback (min)</b>	<b>10 ft</b>
<b>D. Side setback (min)</b>	<b>5 ft</b>
<b>E. Rear setback (min)</b>	<b>5 ft</b>
Lot area with sewer (min)	-
Lot area without sewer (min)	-
Lot coverage (max)	0.65
Pervious area (minimum)	0.15

### BUILDING STANDARDS

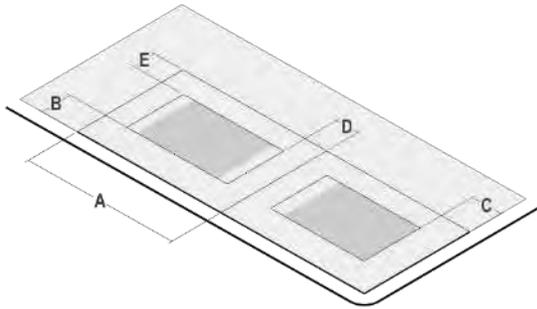


<b>A. Height (max)</b>	<b>65 ft</b>
Lot area per d.u. with sewer (min)	<b>1,500 sf</b>
Lot area per d.u. without sewer (min)	-

- Existing front setbacks are 5 ft – 10 ft
- Existing rear setbacks are more typically about 15 ft
- Good opportunity for a max front setback
- 170 of 692 (25%) residential properties are non-conforming at 1,500 sf/unit.

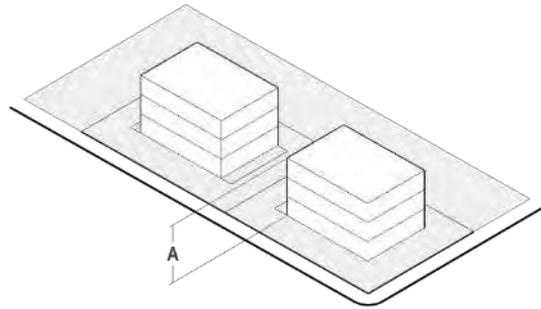
Office-residential district (OR).

**LOT STANDARDS**



<b>A. Frontage (min)</b>	100 ft
<b>B. Primary front setback (min)</b>	20 ft
<b>C. Secondary front setback (min)</b>	20 ft
<b>D. Side setback (min)</b>	15 ft
<b>E. Rear setback (min)</b>	15 ft
Lot area with sewer (min)	7,500 sf
Lot area without sewer (min)	20,000 sf
Lot coverage (max)	0.30
Pervious area (minimum)	0.40

**BUILDING STANDARDS**

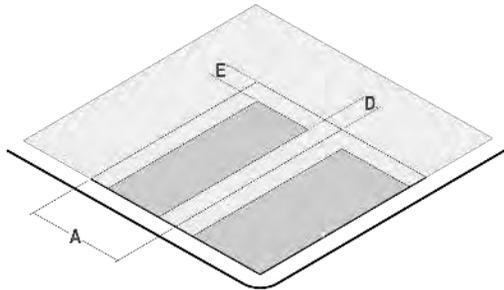


<b>A. Height (max)</b>	35 ft
Lot area per d.u. with sewer (min)	3,000 sf
Lot area per d.u. without sewer (min)	20,000 sf

- Potentially redundant with Community Business. Same or similar frontage, setbacks, density, etc.
- Good opportunity for a max front setback

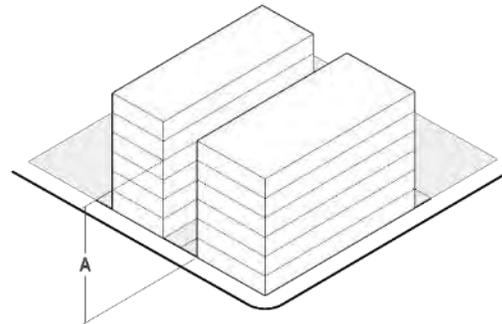
Downtown residential district (DR).

### LOT STANDARDS



<b>A. Frontage (min)</b>	50 ft
<b>B. Primary front setback (min)</b>	0 ft
<b>C. Secondary front setback (min)</b>	0 ft
<b>D. Side setback (min)</b>	10 ft
<b>E. Rear setback (min)</b>	10 ft
Lot area with sewer (min)	5,000 sf
Lot area without sewer (min)	-
Lot coverage (max)	-
Pervious area (minimum)	0.25

### BUILDING STANDARDS

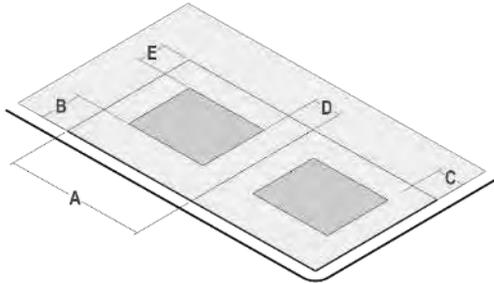


<b>A. Height (max)</b>	60 ft
Lot area per d.u. with sewer (min)	1,250 sf
Lot area per d.u. without sewer (min)	-

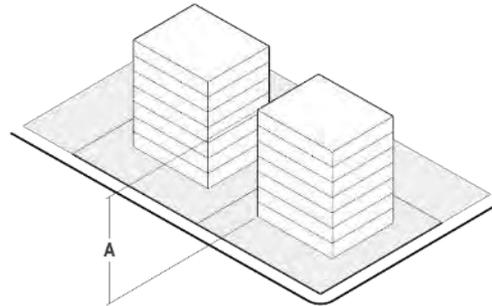
- Good opportunity for a max front setback
- 166 of the 372 (45%) parcels in this district are less than 5,000 sf are therefore do not meet the minimum lot area requirement.
- 152 of the 261 (58%) residential parcels are less than 1,250 sf per unit. 600 sf per unit would equate to 85% conformity.

Institutional-office (IO).

**LOT STANDARDS**



**BUILDING STANDARDS**



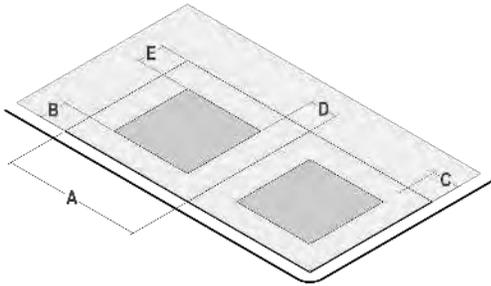
<b>A. Frontage (min)</b>	100 ft
<b>B. Primary front setback (min)</b>	<b>30 ft</b>
<b>C. Secondary front setback (min)</b>	30 ft
<b>D. Side setback (min)</b>	20 ft
<b>E. Rear setback (min)</b>	20 ft
Lot area with sewer (min)	10,000 sf
Lot area without sewer (min)	20,000 sf
Lot coverage (max)	0.75
Pervious area (minimum)	0.25

<b>A. Height (max)</b>	75 ft
Lot area per d.u. with sewer (min)	3,000 sf
Lot area per d.u. without sewer (min)	-

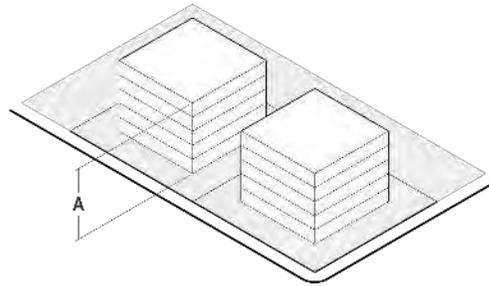
- In a walkable environment, 30 ft is a lot, even for an institution. Consider changing to 20 ft

Community business district (CB).

### LOT STANDARDS



### BUILDING STANDARDS



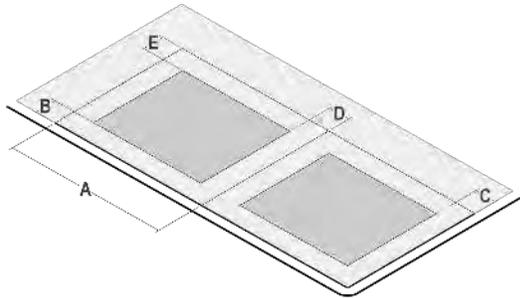
<b>A. Frontage (min)</b>	100 ft
<b>B. Primary front setback (min)</b>	20 ft
<b>C. Secondary front setback (min)</b>	20 ft
<b>D. Side setback (min)</b>	20 ft
<b>E. Rear setback (min)</b>	20 ft
Lot size with sewer (min)	-
Lot size without sewer (min)	-
Lot coverage (max)	0.50
Pervious area (minimum)	0.25

<b>A. Height (max)</b>	50 ft
Area per d.u. with sewer (min)	3,000 sf
Area per d.u. without sewer (min)	3,000 sf

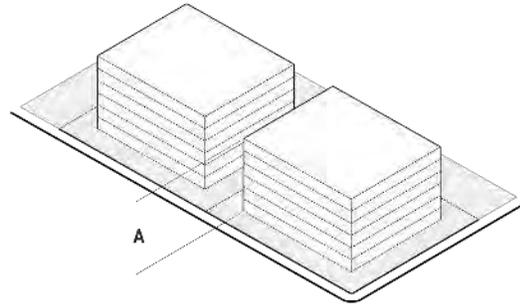
- Area per d.u. makes most of Pine Street non-conforming. Given permissible heights, should be lower.
- Good opportunity for a max front setback (i.e. avoid another pedestrian-unfriendly project like Irving Oil on Sabattus St)

Highway business district (HB).

### LOT STANDARDS



### BUILDING STANDARDS



<b>A. Frontage (min)</b>	150 ft
<b>B. Primary front setback (min)</b>	20 ft
<b>C. Secondary front setback (min)</b>	20 ft
<b>D. Side setback (min)</b>	20 ft
<b>E. Rear setback (min)</b>	20 ft
Lot size with sewer (min)	-
Lot size without sewer (min)	20,000 sf
Lot coverage (max)	0.50
Pervious area (minimum)	0.25

<b>A. Height (max)</b>	65 ft
Area per d.u. with sewer (min)	3,000 sf
Area per d.u. without sewer (min)	3,000 sf

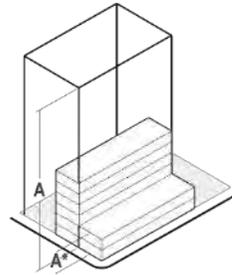
- Area per d.u. makes most of Pine Street non-conforming. Given permissible heights, should be lower.
- Consider merging with Community Business or keeping separate for auto-oriented districts

Centreville district (CV).

**LOT STANDARDS**



**BUILDING STANDARDS**



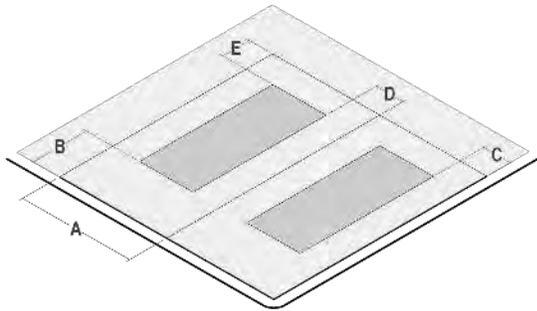
<b>A. Frontage (min)</b>	25 ft
<b>B. Primary front setback (min)</b>	0 ft
<b>C. Secondary front setback (min)</b>	0 ft
<b>D. Side setback (min)</b>	0 ft
<b>E. Rear setback (min)</b>	0 ft
Lot size with sewer (min)	-
Lot size without sewer (min)	-
Lot coverage (max)	1.00
Pervious area (minimum)	0.00

<b>A. Height (min-max)</b>	20-150 ft
Area per d.u. with sewer (min)	0 sf
Area per d.u. without sewer (min)	0 sf

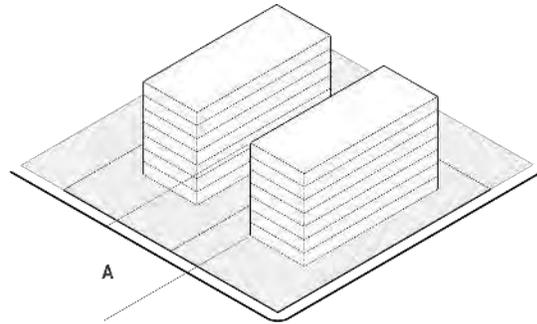
- Consider adding ground floor window requirement

Office service (OS).

### LOT STANDARDS



### BUILDING STANDARDS



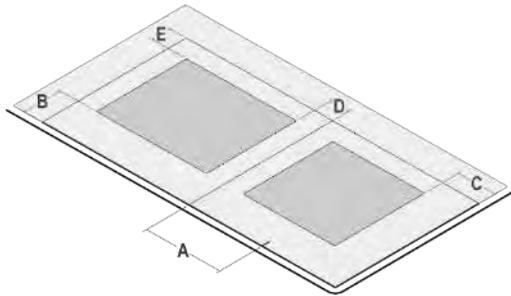
<b>A. Frontage (min)</b>	<b>100 ft</b>
<b>B. Primary front setback (min)</b>	<b>50 ft</b>
<b>C. Secondary front setback (min)</b>	<b>50 ft</b>
<b>D. Side setback (min)</b>	<b>25 ft</b>
<b>E. Rear setback (min)</b>	<b>25 ft</b>
Lot area with sewer (min)	20,000 sf
Lot area without sewer (min)	20,000 sf
Lot coverage (max)	0.75
Pervious area (minimum)	0.25

<b>A. Height (max)</b>	<b>75 ft</b>
Lot area per d.u. with sewer (min)	-
Lot area per d.u. without sewer (min)	-

- This zone serves specialty businesses in low density auto-oriented areas. The front setbacks should match Low Density Residential and parking should be in the rear or side of the property with caveats for buildings over 35 ft.
- May consider allowing single family given existing non-conforming uses in South Lewiston, for example

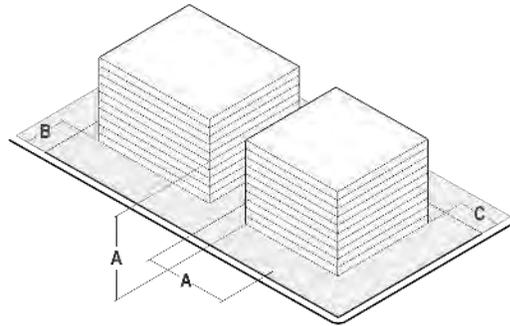
Industrial district (I).

**LOT STANDARDS**



<b>A. Frontage (min)</b>	100 ft
<b>B. Primary front setback (min)</b>	50 ft
<b>C. Secondary front setback (min)</b>	50 ft
<b>D. Side setback (min)</b>	25 ft
<b>E. Rear setback (min)</b>	25 ft
Lot area with sewer (min)	40,000 sf
Lot area without sewer (min)	40,000 sf
Lot coverage (max)	0.75
Pervious area (minimum)	0.25

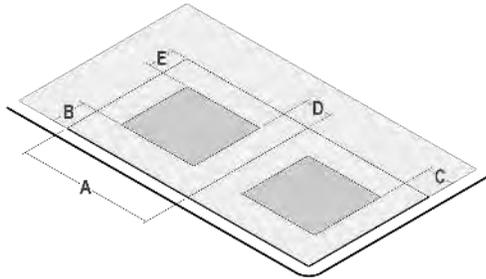
**BUILDING STANDARDS**



<b>A. Height (max)</b>	100 ft
Lot area per d.u. with sewer (min)	-
Lot area per d.u. without sewer (min)	-

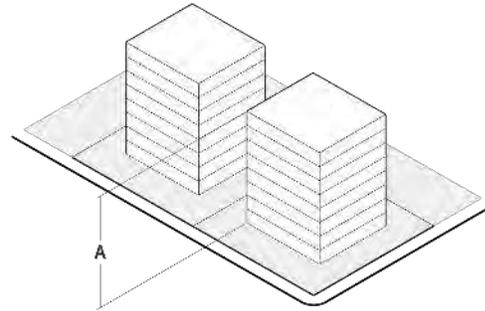
Urban enterprise district (UE).

**LOT STANDARDS**



<b>A. Frontage (min)</b>	100 ft
<b>B. Primary front setback (min)</b>	<b>25 ft</b>
<b>C. Secondary front setback (min)</b>	20 ft
<b>D. Side setback (min)</b>	20 ft
<b>E. Rear setback (min)</b>	20 ft
Lot area with sewer (min)	5,000 sf
Lot area without sewer (min)	20,000 sf
Lot coverage (max)	0.60
Pervious area (minimum)	0.20

**BUILDING STANDARDS**

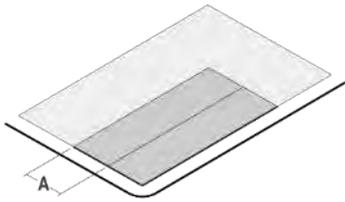


<b>A. Height (max)</b>	80 ft
Lot area per d.u. with sewer (min)	1,500 sf
Lot area per d.u. without sewer (min)	1,500 sf

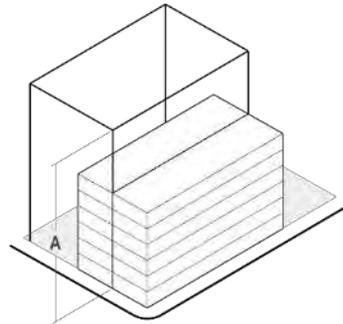
- The front setback requirement is high for the Spring Street area, where it is typically 0 ft. If the interchange area is to be an urban / walkable / lifestyle center type environment, consider reducing to 0 ft with a maximum.

Mill district (M).

**LOT STANDARDS**



**BUILDING STANDARDS**



<b>A. Frontage (min)</b>	25 ft
<b>B. Primary front setback (min)</b>	0 ft
<b>C. Secondary front setback (min)</b>	0 ft
<b>D. Side setback (min)</b>	0 ft
<b>E. Rear setback (min)</b>	0 ft
Lot area with sewer (min)	-
Lot area without sewer (min)	-
Lot coverage (max)	1.00
Pervious area (minimum)	0.10

<b>A. Height (max)</b>	100 ft
Lot area per d.u. with sewer (min)	-
Lot area per d.u. without sewer (min)	-

- Consider establishing maximum front setback.



## DESIGN LEWISTON: REGULATION UPDATE DETAILED OUTLINE

Prepared by Nels Nelson and Craig Lewis. DRAFT June 4, 2019.

### Approach

Designation of nine "Design Districts"

1. Riverfront (RF)
2. Neighborhood conservation "B" district (NCB)
3. Office-residential district (OR)
4. Downtown residential district (DR)
5. Institutional-office (IO)
6. Community business district (CB)
7. Centreville district (CV)
8. Urban enterprise district (UE)
9. Mill district (M)

All of the Design Districts will be regulated by updated **A. Space and bulk standards** and by **B. Design provisions**. Furthermore, individual districts may have their own **C. District-specific architectural provisions**.

The options for integrating the design provisions to the current ordinance are Article XI District Regulations, Article XII Performance Standards, or Article XIII Development Review and Standards (Approval Criteria). In some cases, provisions may be an update to existing city-wide code. In other cases, the recommendations may be only applicable within the Design Districts and therefore stand alone as additional requirements.

### A. Space and bulk

An updated space and bulk standards table is recommended to meet the project goals with a focus on the Design Districts. The major changes are:

1. Simplify the table by using a base standard per district, rather than per use per district
2. Remove yard requirements
3. Adjust minimum setbacks to fit context (i.e. what is consistent with 85% of the existing properties)
4. Add maximum setback where relevant
5. Remove dwelling per lot area density maximums, instead allow height, surface area coverage, and parking regulate density

### B. Design provisions

The following 20 urban design provisions are intended to provide guidance to property owners and the general public as to the city's policies with regard to the form and character desirable for buildings and sites. It is understood that application of these principles can vary with the context of specific building proposals in ways that, nevertheless, fully respect the provisions' intent. It is intended that proponents of projects, and city staff, the Planning Board and the general public, where public review or approval is required, should be open to creative variations as long as the core values expressed are being served.

According to *Design Review: Guiding Better Development* (APA, 2018), the number of provisions should strike a balance between achieving necessary specificity versus being overly complicated and difficult to comprehend.

1. **Building setbacks.** The facade of a principal building must be built at or in front of any maximum front setback for each story of a building. The façade of upper stories may not project forward of the façade of the first story except cornices, sills, buttresses, chimneys, eaves, roof overhands, unenclosed fire escapes, patios, trellises, fences and walls, and landscape buffers.
2. **Building orientation.** Building mass shall generally parallel streets at the ground level. Upper-story orientation may vary provided that buildings continue to create a sense of enclosure to public streets and parks. Primary entrances shall be located on public streets. At least one building entrance shall front on a street where the building abuts a street.
3. **Building length.** Sites with a side longer than 400 feet shall provide a direct, public or privately-maintained and 24/7 publicly-accessible mid-block passage connecting from the sidewalk of one street to another on the opposite side of the block.<sup>1</sup>
4. **Building attachments.**
  - a. Upper story balconies and loggias shall not constitute more than 50% of any façade.
  - b. Stoops shall have a minimum depth and width of 5 feet. Stoops may be shared by two attached units. Stoop stairs may run to the front or to the side. Entry doors from stoops should be covered or recessed to provide shelter from the elements. Porches and stoops may be within of the minimum required front setback.
5. **Building shadows.** Sites and buildings shall minimize shadows on residential uses and public open spaces. Applications shall include a shadow analysis with before-and-after scenarios. The analysis shall consider shadows on four representative days of the year (March 21, May 6, June 21, and December 21. For each day, the analysis shall consider those shadows occurring each hour between 1.5 hours after sunrise and 1.5 hours before sunset. The results will be judged according to the seasonal reach and uses impacted.
6. **Ground floor uses.** Along public streets and parks, ground floor areas shall be routinely occupiable by people engaged in activities related to the building's uses, such as retail, service businesses, classrooms, building lobbies, residential units, professional offices, manufacturing, and research. More actively-occupied interior spaces shall correspond to more actively-used public spaces. Commercial space users shall not block windows with signs or partitions that obscure views into the building.
7. **Retail.**
  - a. Each separately leased retail space shall have an individual public entrance onto the abutting street.
  - b. Retail façades shall have a minimum glazing area of 60% wherever facing a public street or park. Restaurants, bars and cafes shall consider operable doors facing streets to integrate with the outdoor environment.
  - c. Retail entrances shall have alcoves between 15 and 100 square feet in size, paved to match the sidewalk.
  - d. Retail spaces greater than 10,000 leasable square feet shall consider setting back the larger floor plate use to accommodate smaller commercial spaces along the frontage and should properly address the public realm to support active street life.
8. **Ground floor residential.**
  - a. Ground story dwelling units should be elevated at least 2 feet above the grade of any adjacent sidewalk and window sills of dwelling units shall be at or above the eye-level of passing pedestrians to maintain privacy for occupants while encouraging open blinds or curtains to allow natural daylight into the unit.

---

<sup>1</sup> This may or may not be applicable within the Mill District. Ideally, passages would be provided, but a variance or exception may be granted for adaptive reuse of the longer mill buildings. This provision will be useful on the Lumber site.

- b. Each dwelling unit on the ground story shall have a private entrance with overhead weather protection. Front doors opening to the sidewalk create street life as people come and go from their homes and personalize their stoops and porches.
9. **Motor vehicle parking.**
- a. **Surface parking.** Surface motor vehicle parking is prohibited in the area between building frontages and public streets or parks and within any required setback distances from a street and side lot lines, except in conjunction with a single- or two-family dwelling. Parking lots with 40 spaces or greater shall be designed to separate pedestrian travel from vehicles.
  - b. **Parking structures.** Any parking structures shall be located within the interior of the site to minimize visibility from public streets and parks. Such structures shall be lined or wrapped by human-scaled development that is routinely occupied by people engaged in activities such as residential, retail, or office.
  - c. **Maximum number of parking spaces.** For buildings with a footprint less than or equal to 60,000 gross square feet, no more than 140% of the required minimum parking spaces are permitted. For buildings with a footprint greater than 60,000 gross square feet, no more than 125% of the required minimum number of parking spaces are permitted.
10. **Open space.** Open spaces on commercial and multi-use project sites shall be visible and accessible from public streets and shall be designed to enhance existing or planned open space networks, including pedestrian and bicycle connections.
11. **Landscape and site access.**<sup>2</sup> The area between the principal wall plane of a building and a public street or public park shall be devoted to expansion of the adjacent public sidewalk or landscaped at grade with permeable materials and shall support the growth of trees, grass, shrubs, and similar vegetation. Plant species native to New England are recommended. Areas devoted to motor vehicular use are prohibited from this area with the exception of access drives providing direct access to parking and service facilities located elsewhere on the site and which shall be limited to a total of thirty (30) feet of width for any individual driveway for each one hundred (100) feet of lot frontage.
12. **Screening and buffering.**<sup>3</sup> Vent stacks, roof vents, and other mechanical protrusions shall be painted the color of the roof or the adjacent façade. Mechanical equipment, refuse storage, service areas, fuel pumps, and loading areas not entirely enclosed within buildings shall (1) be located outside required setbacks and not within 10 feet to any property line, (2) be permanently screened from view from adjacent public streets and parks and from abutting property under separate ownership when on the ground, and (3) meet all city, state and federal noise regulations.
13. **Amenity space.** Projects containing 10 or more dwelling units shall provide a minimum of 25 square feet per dwelling unit of public space, private outdoor amenity space or shared amenity space. Shared amenity spaces shall not be located in any required setback unless the setback directly abuts a public park. Shared amenity spaces shall not less than 500 square feet.
14. **Compact living.** Developments with 10 or more units with unit sizes smaller than the following square footage per number of bedrooms: studio 500 square feet, one-bedroom 650 square feet, two-bedroom 850 square feet, or three-bedroom 950 square feet shall comply with the following provisions.
- a. Unit interiors shall achieve decreased personal space without reducing livability by accommodating sleeping, lounging, dining, bathing, and cooking with sufficient space.
  - b. Each unit shall provide a minimum ceiling height of 9 feet, and minimum windows sizes of at least 15% of habitable room area for access to daylight and natural ventilation.
  - c. To account for the smaller unit sizes, projects with dwelling units within the compact living definition shall provide an extra 20 square feet of amenity space for each of the first 30 units.
  - d. Compact living units shall provide ample storage space. Closets or cabinets shall provide space for essential items such as clothing, linens, and kitchen and bathroom supplies. Supplement unit

---

<sup>2</sup> Could be an update to Article XIII Sec 4. (c) Access or specific to the Design Districts.

<sup>3</sup> Could be an update to Article XIII Sec 4. (u) Buffering or specific to the Design Districts.

storage space with common area storage space or other creative solutions like a resident lending library may be provided to reduce in-unit storage needs.

15. **Rooflines.** Rooflines shall shape and define building entries and corners. Roofs shall be designed to prevent falling ice and snow onto entrances and walkways. Any dormers shall be habitable and sized no larger than necessary to hold window(s) and framing. Solar panels shall follow rooflines and where possible be integrated with the roof design. Roof tops may incorporate distinct features such as roof forms, cornices, eaves and parapets.
16. **Architectural design.**
  - a. **Materials.** Quality material and facade detailing should extend to all facades visible or are expected to be visible from a public or private street and other public spaces, and/or from primary vehicular access points or parking areas. The following materials are prohibited: plastic shutters, mirrored glass with a reflectivity of 20% or more, and plaster or PVC roof tile.
  - b. **Windows.** Windows should not be flush with exterior wall treatments. Windows should be provided with an architectural surround at the jambs, header and sill.
  - c. **Blank facades.** Blank walls shall be prohibited where buildings face public streets and parks. A blank wall is a facade that does not include fenestration (doors and windows) or surface relief through the use of columns, cornices, moldings, piers, pilasters, sills, sign bands, other equivalent architectural features that either recess or project from the average plane of the facade by at least four (4) inches. Blank wall area limitations apply both vertically and horizontally for all stories of a building for any facade.
17. **Contextual design.** Buildings shall possess a number of common elements that combine to express a structure both as an entity and as a part of the larger community. New construction shall complement the neighboring buildings by utilizing features such as roof forms, architectural trim, differentiation of facade planes, and window and door openings that are consistent with established patterns.
18. **Historic district infill.** Lewiston's historic districts have distinct rhythms of massing, siting, window pattern, site elements, materials, and other details. Infill buildings should not deviate in a detracting manner from these elements but appear as complementary members of the district while maintaining the district's integrity and creating the feeling of a district or structure. New buildings should be identifiable as being of their period of construction; however, they should not be so differentiated that they detract from – or visually compete with – their historic neighbors.
19. **Outdoor café seating.** Outdoor café seating areas may be located within a sidewalk or public space provided a 4-foot clear walkway is maintained. Outdoor café seating shall only use movable furnishings and shall be made from durable materials, such as wood or metal.
20. **Winter design.**
  - a. Preference shall be given to planting deciduous trees on the southern face of a building or outdoor area to provide shade in the summer and allow sunlight to filter in the winter.
  - b. Ramps and stairs shall be textured paving or covered to protect from ice and snow.
  - c. Surface parking lots shall facilitate snow removal and shall designate space for on-site snow storage that is mindful of drainage.
  - d. Outdoor seating and dining shall be preferred in south-facing areas.

### **C. District-specific architectural provisions**

In addition to the urban design provisions applicable to all projects in the Design Districts, there are certain district-specific architectural requirements to promote an integrated character.

#### ***Centreville district (CV)***

1. Building design shall distinguish the podium from upper stories to create visual variety.
2. Non-residential uses are required on the ground floor.



3. All ground floor façades facing a public street or park shall have a minimum glazing area of 60%.

***Mill district (M)***

1. Buildings shall incorporate the use of brick as a primary material.



City of Lewiston  
Design Lewiston

Advisory Committee  
meeting, June 19



# Project goals

## **Encourage infill development in Lewiston's historic core**

- Focus regulatory changes to the city center
- Require that projects be compatible with the contextual space, bulk, and density with flexible standards
- Facilitate reinvestment by balancing costs of quality design with the community's long term economic goals
- Maintain a predictable design review process

## **Foster a safe and pleasurable environment that encourages pedestrian activity**

- Eliminate physical barriers to pedestrian activity with clear pathways and entrances
- Ensure that ground floors incorporate detailed design and active uses
- Place buildings close to the sidewalk
- Put car parking to the side or rear of buildings

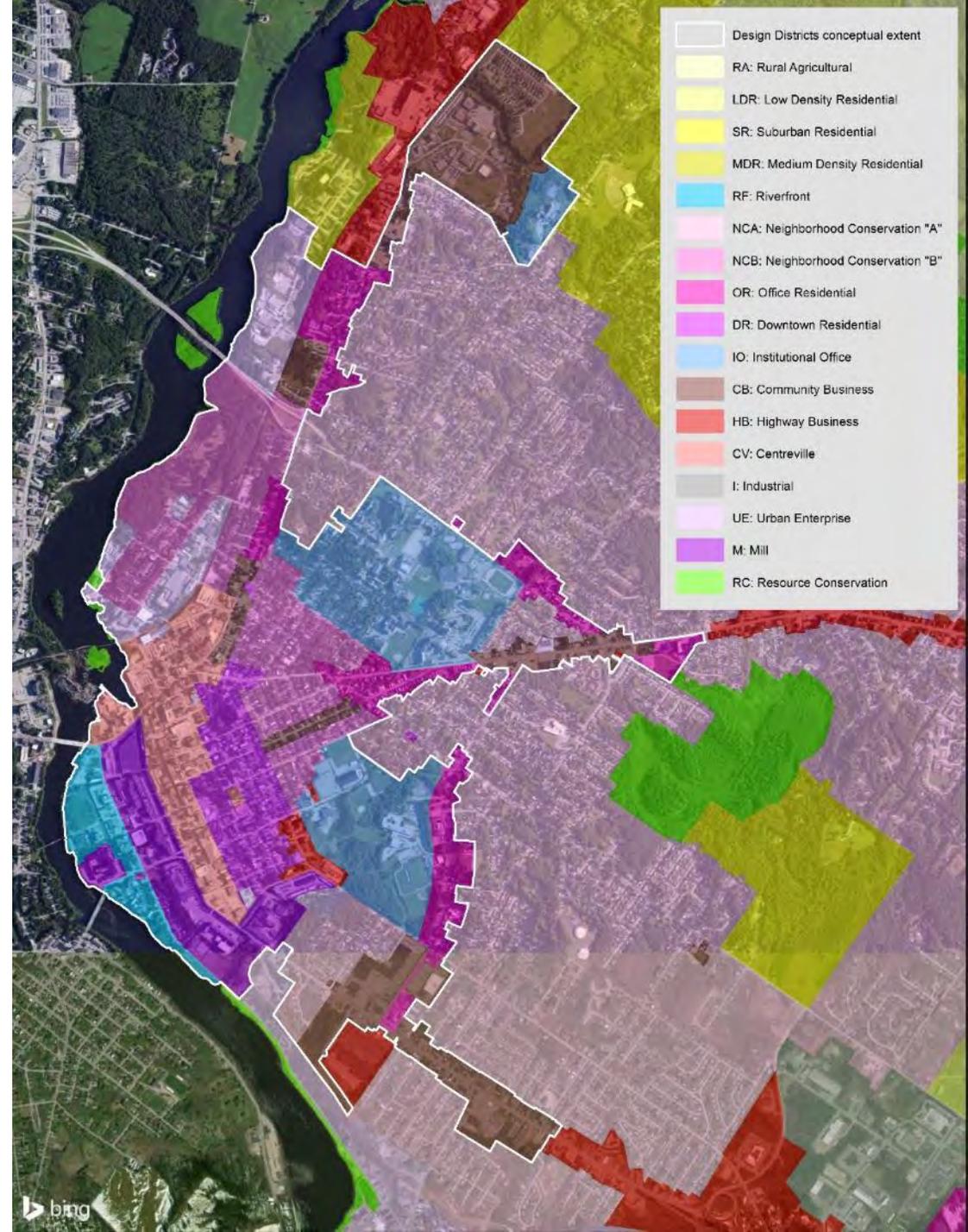
## **Preserve Lewiston's heritage**

- Encourage adaptive reuse of historic buildings
- Define architectural design provisions to reinforce the character of specific districts
- Make historic renovation easier with flexible codes

# Design Districts

Areas of applicability for design provisions

1. Riverfront (RF)
2. Neighborhood conservation "B" district (NCB)
3. Office-residential district (OR)
4. Downtown residential district (DR)
5. Institutional-office (IO)
6. Community business district (CB)
7. Centreville district (CV)
8. Urban enterprise district (UE)
9. Mill district (M)



## Riverfront (RF)



Riverfront contains an eclectic mix of buildings including the city's densest neighborhood, "Little Canada", historic brick mill and commercial buildings, buildings with party walls, and single-story commercial buildings. Design guidelines should promote redevelopment.

## Neighborhood conservation "B" district (NCB)



NCB is an older, dense, urban, and walkable residential district that was built for factory workers. The predominant building type is three to four story multifamily residential with a small setback in which a front yard separates the ground floor unit from the street. New development should conform to type and density of the existing buildings.

## Office-residential district (OR)



OR is characterized by large historic houses on Lewiston's major corridors as well as infill strip commercial. The buildings are similar in scale to NCB but often have larger setbacks due to their locations along high traffic corridors. OR districts are at the periphery of the historic core. The district provides for an orderly transition from residential to low intensity uses.

### **Downtown residential district (DR)**



DR is very similar to NCB except that the buildings tend to have zero front setback and be slightly larger in terms of overall massing and site coverage. This district should transition from lower intensity uses into higher density mixed use.

## Institutional-office (IO)



This district contains Bates College, Lewiston High School and Montello Heights (assisted living) in the city center. The properties are defined by a campus-style approach to site design, including landscaped setbacks from frontages.

## Community business district (CB)



This district is found along Lewiston's primary arterials within the historic core of the city and is differentiated from Highway Business by its focus on controlling vehicular access, higher standards of sit design, and allowed residential uses.

## Centreville district (CV)



Centreville is Lewiston's premiere walking-oriented district. It is predominantly multistory buildings with active commercial uses on the ground floor. Setbacks are typically zero feet including party walls.

## Urban enterprise district (UE)



This district contains a wide variety of different building types throughout the different areas. In Sunnyside, for example, the buildings are both residential (with zero front setbacks) and large light industrial uses. In other parts of the city, UE contains a sandpit, low density residential, and is a placeholder for future development off the highway interchange.

## Mill district (M)



This district is defined by large mill buildings constructed at Lewiston's height of manufacturing. The mills are predominantly zero front setbacks, four to six stories tall, constructed from brick, have regularly spaced punched-in windows, brick chimneys, and flat or pitched roofs with dormers. The mills have corner and central towers and other landmark architectural features. The brick facades are accented by prominent lintels and pilasters. To a lesser extent there are arched window openings and corbels supporting overhanging roofs. The windows

typically have two sashes (occasionally three) with six, nine, or twelve panes. windows predominantly have small panes While adaptive reuse is the most likely future for the district, any infill could continue the district's style with brick and maintaining a pattern of regularly punched windows.

# Mill architecture bingo



dormer

lintel

pilaster

corbel

muntin

tower

# Mill architecture bingo



dormer

lintel

pilaster

corbel

muntin

tower

# Character districts

## What defines character?

- **Massing:** setbacks, bulk, rhythm of buildings along the street, heights
- **Site design:** landscaping, open space, and location of parking
- **Architecture:** entrances, facades, porches, windows, rooflines, materials
- **Public realm:** streetscape features including trees, lighting, and furniture



# Space and bulk

1. Simplify the table by using a base standard per district, rather than per use per district
2. Remove yard requirements
3. Adjust minimum setbacks to fit context (i.e. what is consistent with 85% of the existing properties)
4. Add maximum setback where relevant
5. Add primary and secondary frontages
6. Remove dwelling per lot area density maximums (instead allow height, surface area coverage, and parking to regulate density)

# Space and bulk table, revised

	RA	LDR	SR	MDR	RF	NCA	NCB	OR	DR	IO	CB	HB	CV	OS	I	UE	M
Design District designation	No	No	No	No	Yes	No	Yes	Yes	Yes	Yes	Yes	No	Yes	No	No	Yes	Yes
Lot width (min, feet)	200	100	125	100	50	50	40	75	25	50	40	150	25	100	100	40	25
Front setback, principal (min, feet)	25	20	25	20	0	20	5	5	0	5	0	20	0	50	50 [3]	0	0
Front setback, principal (max, feet) [4]	-	-	-	-	0	-	15	20	10	30	15	-	5	-	-	25	10
Front setback, secondary (min, feet)	25	20	25	20	0	20	5	5	0	5	0	20	0	50	50	0	0
Front setback, secondary (max, feet)	-	-	-	-	0	-	15	20	10	30	15	-	10	-	-	25	10
Side setback (min, feet)	50	10	30	10	0	10	5	15	10	20	20	20 [2]	0	25	25 [2]	15	0
Rear setback (min, feet)	50	10	30	10	10	10	10	15	10	20	20	20 [2]	0	25	25 [2]	20	0
Lot area with sewer (min, square feet)	40,000	10,000	20,000	10,000	5,000	7,500	-	7,500	5,000	10,000	-	-	-	20,000	40,000	5,000	-
Lot area without sewer (min, square feet)	40,000	40,000	40,000	40,000	5,000	20,000	-	20,000	-	20,000	-	20,000	-	20,000	40,000	20,000	-
Building lot coverage (max, %)	15	30	20	30	25	40	65	30	80	75	50	50	100	75	75	60	100
Pervious area (min, %)	-	25	25	25	25	25	15	40	35	25	35	25	0	25	25	20	10
Building height (min, feet)	0	0	0	0	20	0	0	0	20	0	0	0	20	0	0	0	20
Building height (max, feet)	35 [1]	35	35	35	75	75	65	35	60	75	50	65	150	75	100	80	100

## Notes

1. Agricultural uses maximum height is 75 feet
2. Where the side or rear lot line is located within 50 feet of a residential zoning district, a fifty-foot buffer shall be maintained
3. The industrially-zoned land on the east side of River Road, from Alfred A. Plourde arkway to the northwesterly property line of 380 River Road shall have a minimum front setback for all uses is 100 feet.
4. In areas where the existing buildings have an established uniform setback relationship to the street, any new building or modification to an existing building shall maintain this established relationship notwithstanding the setback provisions of that district. An established uniform setback relationship is deemed to exist when the distances between the front face of the building and the edge of the travel way in the adjoining street for the two adjacent parcels fronting on the same street on each side of the subject parcel are within +/- five (5) feet of mean of this distance for the four (4) parcels. For the purposes of this provision, lots shall be deemed to be adjacent even if separated by a street or public easement.

## 1. Building setbacks.

The facade of a principal building must be built at or in front of any maximum front setback for each story of a building. The façade of upper stories may not project forward of the façade of the first story except cornices, sills, buttresses, chimneys, eaves, roof overhands, unenclosed fire escapes, patios, trellises, fences and walls, and landscape buffers.



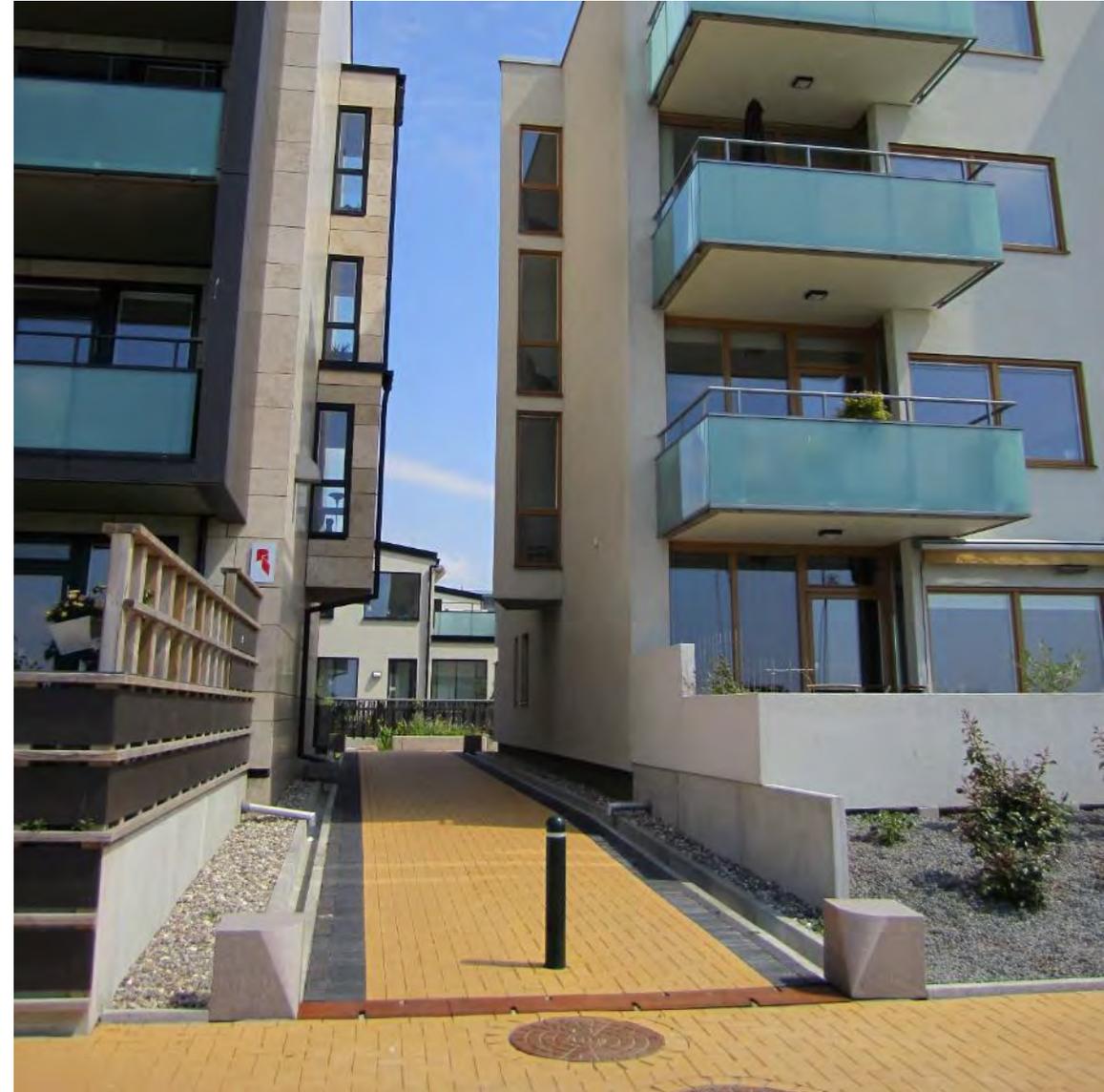
## 2. Building orientation.

Building mass shall generally parallel streets at the ground level. Upper-story orientation may vary provided that buildings continue to create a sense of enclosure to public streets and parks. Primary entrances shall be located on public streets. At least one building entrance shall front on a street where the building abuts a street.



### 3. Building length.

Double-sided frontage lots with a frontage longer than 400 feet shall provide a direct, public or privately-maintained and 24/7 publicly-accessible mid-block passage connecting from the sidewalk of one street to another on the opposite side of the block.



4. Building attachments.
  - a. Upper story balconies and loggias shall not constitute more than 50% of any façade.
  - b. Stoop landings shall have a minimum depth and width of 5 feet. Stoops may be shared by two attached units. Stoop stairs may run to the front or to the side. Entry doors from stoops should be covered or recessed to provide shelter from the elements. Porches and stoops may be within of the minimum required front setback.



## 5. Ground floor uses.

Along public streets and parks, ground floor areas shall be routinely occupiable by people engaged in activities related to the building's uses, such as retail, service businesses, classrooms, building lobbies, residential units, professional offices, manufacturing, and research. More actively-occupied interior spaces shall correspond to more actively-used public spaces. Commercial space users shall not block windows with signs or partitions that obscure views into the building.



6. Retail frontages.

a. Each separately leased retail space shall have an individual public entrance onto the abutting street.

b. Retail façades shall have a minimum glazing area of 60% wherever facing a public street or park. Restaurants, bars and cafes are encouraged to use operable doors facing streets to integrate with the outdoor environment.

c. Retail entrances shall have alcoves between 15 and 100 square feet in size, paved to match the sidewalk.



7. Ground floor residential.

a. Ground story dwelling units should be elevated at least 2 feet above the grade of any adjacent sidewalk and window sills of dwelling units shall be at or above the eye-level of passing pedestrians to maintain privacy for occupants while encouraging open blinds or curtains to allow natural daylight into the unit.

b. Each dwelling unit on the ground story shall have a private entrance with overhead weather protection. Front doors opening to the sidewalk create street life as people come and go from their homes and personalize their stoops and porches.



8. Motor vehicle parking.

a. Surface parking. Surface motor vehicle parking is prohibited in the area between building frontages and public streets or parks and within any required setback distances from a street and side lot lines, except in conjunction with a single- or two-family dwelling. Parking lots with 40 spaces or greater shall be designed to separate pedestrian travel from vehicles.

b. Parking structures. Any parking structures shall be located within the interior of the site to minimize visibility from public streets and parks. Such structures shall be lined or wrapped by human-scaled development on the ground floor that is routinely occupied by people engaged in activities such as residential, retail, or office.

c. Maximum number of parking spaces. For buildings with a footprint less than or equal to 60,000 gross square feet, no more than 140% of the required minimum parking spaces are permitted. For buildings with a footprint greater than 60,000 gross square feet, no more than 125% of the required minimum number of parking spaces are permitted.



9. Open space.

Open spaces on commercial and multi-use project sites shall be visible and accessible from public streets and shall be designed to enhance existing or planned open space networks, including pedestrian and bicycle connections.



10. Landscape and site access.

The area between the principal wall plane of a building and a public street or public park shall be devoted to expansion of the adjacent public sidewalk or landscaped at grade with permeable materials and shall support the growth of trees, grass, shrubs, and similar vegetation. Plant species native to New England are recommended. Areas devoted to motor vehicular use are prohibited from this area with the exception of access drives providing direct access to parking and service facilities located elsewhere on the site and which shall be limited to a total of thirty (30) feet of width for any individual driveway for each one hundred (100) feet of lot frontage.



## 11. Screening and buffering.

Vent stacks, roof vents, and other mechanical protrusions shall be painted the color of the roof or the adjacent façade. Mechanical equipment, refuse storage, service areas, fuel pumps, and loading areas not entirely enclosed within buildings shall (1) be located outside required setbacks and not within 10 feet to any property line, (2) be permanently screened from view from adjacent public streets and parks and from abutting property under separate ownership when on the ground, and (3) meet all city, state and federal noise regulations.



## 12. Amenity space.

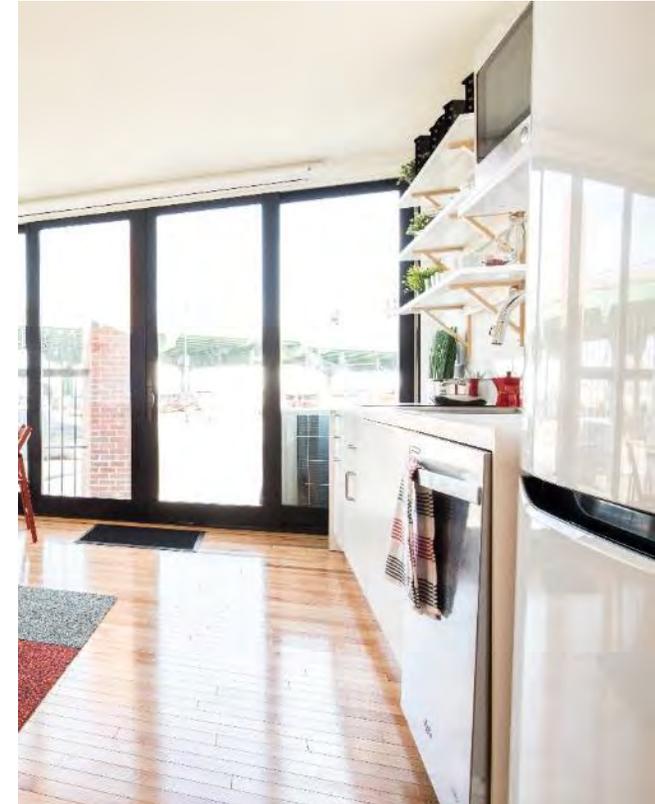
Projects containing 10 or more dwelling units shall provide a minimum of 25 square feet per dwelling unit of public space, private outdoor amenity space or shared amenity space. Shared amenity spaces shall not be located in any required setback unless the setback directly abuts a public park. Shared amenity spaces shall not less than 500 square feet.



### 13. Compact living.

Developments with 10 or more units with unit sizes smaller than the following square footage per number of bedrooms: studio 500 square feet, one-bedroom 650 square feet, two-bedroom 850 square feet, or three-bedroom 950 square feet shall comply with the following provisions.

- a. Unit interiors shall achieve decreased personal space without reducing livability by accommodating sleeping, lounging, dining, bathing, and cooking with sufficient space.
- b. Each unit shall provide a minimum ceiling height of 9 feet, and minimum windows sizes of at least 15% of habitable room area for access to daylight and natural ventilation.
- c. To account for the smaller unit sizes, projects with dwelling units within the compact living definition shall provide an extra 20 square feet of amenity space for each of the first 30 units.
- d. Compact living units shall provide closets or cabinets for essential items such as clothing, linens, and kitchen and bathroom supplies. Supplement unit storage space with common area storage space or other creative solutions like a resident lending library may be provided to reduce in-unit storage needs.



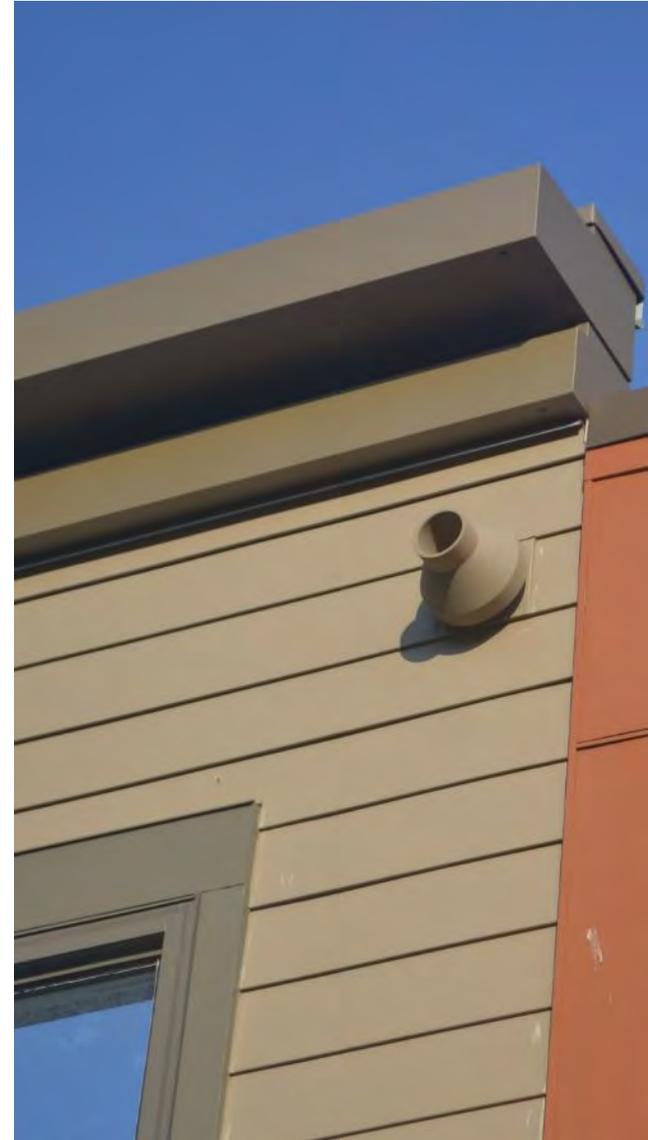
## 14. Rooflines.

Rooflines shall shape and define building entries and corners. Roofs shall be designed to prevent falling ice and snow onto entrances and walkways. Any dormers shall be habitable and sized no larger than necessary to hold window(s) and framing. Solar panels shall follow rooflines and where possible be integrated with the roof design. Roof tops may incorporate distinct features such as roof forms, cornices, eaves and parapets.



15. Architectural design.

- a. Materials. Quality material and facade detailing should extend to all facades visible or are expected to be visible from a public or private street and other public spaces, and/or from primary vehicular access points or parking areas. The following materials are prohibited: plastic shutters, mirrored glass with a reflectivity of 20% or more, and plaster or PVC roof tile.
- b. Windows. Windows shall not be flush with exterior wall treatments and shall be at least 2 ½ inch reveal. Windows shall be provided with an architectural surround at the jambs, header and sill.
- c. Blank facades. Blank walls longer than 25 feet shall be prohibited where buildings face public streets and parks. A blank wall is a facade that does not include fenestration (doors and windows) or surface relief through the use of columns, cornices, moldings, piers, pilasters, sills, sign bands, other equivalent architectural features that either recess or project from the average plane of the facade by at least four (4) inches. Blank wall area limitations apply both vertically and horizontally for all stories of a building for any facade.



16. Contextual design.

Buildings shall possess common elements that combine to express a structure both as an entity and as a part of the larger community. New construction shall complement the neighboring buildings by utilizing features such as roof forms, architectural trim, differentiation of facade planes, and window and door openings that are consistent with established patterns.



## 17. Historic district infill.

Lewiston's historic districts have distinct rhythms of massing, siting, window pattern, site elements, materials, and other details. Infill buildings should not deviate in a detracting manner from these elements but appear as complementary members of the district while maintaining the district's integrity and creating the feeling of a district or structure. New buildings should be identifiable as being of their period of construction; however, they should not be so differentiated that they detract from – or visually compete with – their historic neighbors.



18. Outdoor café seating.

Outdoor café seating areas may be located within a sidewalk or public space provided a 4-foot clear walkway is maintained. Outdoor café seating shall only use movable furnishings and shall be made from durable materials, such as wood or metal.



19. Winter design.

a. Preference shall be given to planting deciduous trees on the southern face of a building or outdoor area to provide shade in the summer and allow sunlight to filter in the winter.

b. Ramps and stairs shall be textured paving or covered to protect from ice and snow.

c. Surface parking lots shall facilitate snow removal and shall designate space for on-site snow storage that is mindful of drainage.

d. Outdoor seating and dining shall be preferred in south-facing areas.



## LIKELY NOT APPLICABLE

### 20. Building shadows.

Sites and buildings shall minimize shadows on residential uses and public open spaces. Applications shall include a shadow analysis with before-and-after scenarios. The analysis shall consider shadows on four representative days of the year (March 21, May 6, June 21, and December 21). For each day, the analysis shall consider those shadows occurring each hour between 1.5 hours after sunrise and 1.5 hours before sunset. The results will be judged according to the seasonal reach and uses impacted.



PROPOSED DEVELOPMENT W/20 STORY TOWERS  
SEPTEMBER 21ST @ 9AM

# District-specific provisions

## **Centreville**

- Non-residential uses on ground floor
- Minimum ground floor transparency for all uses

## **Mill District**

- Brick as primary material
- Regularly-spaced punched windows

## **Others?**

# Regulatory approach

1. Update the space and bulk standards to allow greater flexibility and require contextually appropriate infill
2. Add site design best practices to Article XIII Development Review and Standards (Approval Criteria) that are applicable to appropriate city center districts, including revisiting the Landscaping criteria
3. Add district-specific architectural provisions to either Article XI District Regulations or Article XII Performance Standards, to be determined later in the process
4. Clean up and consolidate other design regulations in the document for consistency and ease of use