

**CITY OF LEWISTON**  
**PLANNING BOARD MEETING**  
Monday, November 9, 2015 – 5:30 P.M.  
City Council Chambers – First Floor  
Lewiston City Building  
27 Pine Street, Lewiston, ME

## **AGENDA**

**I. ROLL CALL**

**II. ADJUSTMENTS TO THE AGENDA**

**III. CORRESPONDENCE**

**IV. PUBLIC HEARINGS:**

- a) An application submitted by Davis Land Surveying, LLC on behalf of Jesse and Jamie LeBlanc to create a three lot subdivision at 610 Webster Street with two of the lots gaining access from Pagoma Lane.

**V. OTHER BUSINESS:**

- a) Review of Comprehensive Plan Recommendations (starting on page 96)..
- b) Any other business Planning Board Members may have relating to the duties of the Lewiston Planning Board.

**VI. READING OF THE MINUTES:** Motion to adopt the October 26, 2015 draft minutes

**VII. ADJOURNMENT**



## CITY OF LEWISTON

### Department of Planning & Code Enforcement



**TO: Planning Board**  
**FROM: David Hediger, City Planner**  
**DATE: November 6, 2015**  
**RE: November 9, 2015 Planning Board Agenda Item IV(A)**

**An application submitted by Davis Land Surveying, LLC on behalf of Jesse and Jamie LeBlanc to create a three lot subdivision at 610 Webster Street with two of the lots gaining access from Pagoma Lane.**

David Land Surveying, LLC on behalf of Jesse and Jamie LeBlanc has submitted an application for a three lot subdivision at 610 Webster Street. This vacant lot of approximately 55.4 acres is located in the Suburban Residential (SR) district in which single family dwellings are a permitted use. In 2006, a previous owner of the land received approved from the Planning Board for a three lot subdivision with proposed access from Webster Street utilizing a new street, Blue Heron Lane. The improvements associated with the new street were never completed and approval expired. The land is now under different ownership. Lot 1 as shown on the plan will gain access and frontage from Webster Street. Lots 2 and 3 will gain access and frontage utilizing the frontage right-of-way (ROW) provisions of Article XII, Section 10 off Pagoma Lane. The frontage ROW provisions basically for the creation of two back lots without the need to construct a street to city standards (i.e. pavement, full stormwater design, acceptance and maintenance by the city, etc.).

The application has specifically addressed the frontage ROW provisions, development review standards, and subdivision standards pursuant to Article XII, Section 10, and Article XIII, Sections 4 and 5 of the Zoning and Land Use Code. Staff has worked with the applicant in effort to address a number of comments and concerns and notes the following:

- The project is located within the Hart Brook urban impaired watershed. The applicant has limited the scope of the project keeping the amount of disturbed area to less than one acre; therefore, avoiding the need to address additional performance standards. Given the length and grade for the frontage ROW, additional engineering for stormwater was requested to ensure drainage was appropriately addressed. The applicant has provided a stormwater analysis and erosion control plans to staffs satisfaction.
- Wetland delineations of the three lots have been completed, limiting construction activity to specific building envelopes on each lot. See note 10 on the subdivision plan.
- Lot 1 is located immediately adjacent to a wetland. An existing woods road/driveway will be utilized for access, but will need to be upgraded. Given its proximity to the wetland, a Permit-By-Rule from DEP has been applied to allow for construction activity up to 25' from a natural resource. See note 17. Staff recommends as a condition of approval that

no permits be issued or construction activity occur on Lot 1 until approval is received from DEP.

- Frontage ROW's provide property owners the ability to create two rear lots without the need to construct a street to city street standards. The provisions in Article XII, Section 10 make it clear that construction, maintenance, and repair of this private driveway/ROW is not the responsibility of the City's. The applicant is aware of this and it has been noted on the plan; notes 15, 19, and 20.
- Prior to any certificates of occupancy being issued for any construction associated with Lots 2 and 3, the frontage ROW must be completed in accordance with the approved plans. The applicant shall be responsible to provide a written statement from a licensed surveyor or engineer that the ROW has been completed accordingly. See plan note 12.

Planning and Code Enforcement recommend approval of the above referenced project, with the following conditions:

- No permits be issued or construction activity occur on Lot 1 until approval is received from DEP.

**ACTIONS NECESSARY:**

Make a motion finding that the application meets all of the necessary criteria contained in the Zoning and Land Use Code, including Article XII, Section 10, Frontage Right-of-way provisions; Article XIII, Section 4 Development Review and Standards, and Section 5 Coordination with state subdivision law and to grant approval to Davis Land Surveying, LLC on behalf of Jesse and Jamie LeBlanc to create a three lot subdivision at 610 Webster Street with two of the lots gaining access from Pagoma Lane (including, if any, specific conditions raised by the Planning Board).

# **LEBLANC SUBDIVISION APPLICATION**

PREPARED FOR:  
**Jesse & Jamie LeBlanc**  
279 Webster St  
Lewiston, Maine 04240

**Regarding property located on**

**610 Webster Street  
Lewiston, Maine 04240**

Prepared by:  
**DAVID LAND SURVEYING**

Stuart A. Davis  
Professional Land Surveyor #2208  
64 Old County Road  
Oxford, Maine 04270

September 24, 2015

## Davis Land Surveying, LLC

64 Old County Road  
Oxford, Maine 04270

(207)345-9991 office

(207) 345-9996 fax

(207) 240-9949 cell

Email: [davissurveying@yahoo.com](mailto:davissurveying@yahoo.com)

[www.davislandsurveying.net](http://www.davislandsurveying.net)

---

September 24, 2015

City of Lewiston  
Planning Board  
27 Pine Street  
Lewiston, Maine 04240

RE: Leblanc Subdivision ~ 3 Lots

Revised 11-2-2015 after City of Lewiston Staff Review - comments and concerns dated 11-2-2015

Dear Planning Board Members,

Enclosed please find an Application (Exhibit 1) with exhibits on behalf of Jesse & Jamie Leblanc who currently live at 279 Webster Street in Lewiston, Maine. The Leblanc's currently own a parcel of land containing 55.4 acres as described in Deed Book 9069, Page 38 (Exhibit 3) and being a portion of Tax Maps 121 & 122 and being Lot 86 (Exhibit 2). The property lies in the Suburban Residential Zone per the City of Lewiston Land Use Code. The property is also being shown on a plan of a "Subdivision Plan – Leblanc Subdivision" for Jesse & Jamie Leblanc dated August 27, 2015" (Exhibit A).

The proposed subdivision consists of 3 lots. Lot 1 has frontage on Webster Street and Lots 2-3 to have frontage on a proposed 50 foot frontage right of way to be known as Fawkes Drive and extending to the property from the end of an existing excepted road named Pagoma Lane. A proposed description of the new right of way is attached (Exhibit 4) along with a proposed Road Maintenance Agreement (Exhibit 8-revised 11-2-15). The proposed 3 Lot Subdivision was designed and to be developed based on the City of Lewiston Land Use Code – Article XII Sections 4 & 5 and XII Section 10. Articles as mentioned included in Exhibit 1 – Application.

The property has had the wetlands delineated and report generated (Exhibit 5-revised 11-2-15) within the building envelope areas as shown and test pits have been done to show the soils to be sustainable for septic designs for each lot. A letter has also been provided from Affordable Well Drilling, Inc acknowledging the fact that there is sufficient water supply for both quality and quantity for the Lots as shown.

The property does not fall with a Federally Designated Flood Hazard Zone as shown on the City of Lewiston Flood Insurance Rate Map – 23001C0333E with an effective date of July 8, 2013 (Exhibit 6).

Respectfully Submitted,

Stuart Davis PLS

**Table of Contents:**

Exhibit 1	Application, Check List & Development Standards
Exhibit 2	Tax Maps 121 & 122
Exhibit 3	Deed Book 9069, Page 38
Exhibit 4	Proposed Right of Way Description from Pagoma Lane to property.
Exhibit 5	Stormwater Report
Exhibit 6	Wetland Report
Exhibit 7	Abutters List
Exhibit 8	Letter from well driller
Exhibit 9	Proposed Road Maintenance Agreement
Exhibit 10	Permit By Rule – Lot 1
Exhibit 10-A	Technical and Financial Capacity

**Project Plans:**

Exhibit A	Leblanc Subdivision Plan
Exhibit B	Stormwater – Plan & Profile – Detail Sheet



### Zoning Summary

1. Property is located in the Suburban Residential zoning district.

2. Parcel Area: 55± acres / 2,413,224 square feet(sf).

Regulations	Required/Allowed	Provided
Min Lot Area	40,000 sq.ft.	See Plan
Street Frontage	125	125' plus
Min Front Yard	25	25'
Min Rear Yard	15	15'
Min Side Yard	15	15'
Max. Building Height	_____	n/a
Use Designation	_____	residential
Parking Requirement	1 space/ per	N/A square feet of floor area
Total Parking:	_____	N/A
Overlay zoning districts (if any):	_____	N/A

Urban impaired stream watershed? YES/NO If yes, watershed name Hart Brook

## DEVELOPMENT REVIEW APPLICATION SUBMISSION

Submission shall include payment of fee and fifteen (15) complete packets containing the following materials:

1. Full size plans containing the information found in the attached sample plan checklist.
2. Application form that is completed and signed.
3. Cover letter stating the nature of the project.
4. All written submittals including evidence of right, title and interest.
5. Copy of the checklist completed for the proposal listing the material contained in the submitted application.

**Refer to the application checklist for a detailed list of submittal requirements.**

L/A's development review process and requirements have been made similar for convenience and to encourage development. Each City's ordinances are available online at their prospective websites:

Auburn: [www.auburnmaine.org](http://www.auburnmaine.org) under City Departments/ Planning and Permitting/Land Use Division/Zoning Ordinance

Lewiston: <http://www.ci.lewiston.me.us/clerk/ordinances.htm> Refer to Appendix A of the Code of Ordinances

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, I certify that the City's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

**This application is for development review only; a Performance Guarantee, Inspection Fee, Building Permit Application and other associated fees and permits will be required prior to construction.**

Signature of Applicant:	Date:
-------------------------	-------

## PROJECT DATA

The following information is required where applicable, in order to complete the application.

### IMPERVIOUS SURFACE AREA/RATIO

Existing Total Impervious Area (existing gravel) off end Pagoda Lane	2,239	sq. ft.
Proposed Total Paved Area	N/A	sq. ft.
Proposed Total Impervious Area – (new road from Pagoda Lane)	21,319	sq. ft.
Proposed Impervious Net Change (new 20' gravel road)	19,080	sq. ft.
Impervious surface ratio existing	N/A	% of lot area
Impervious surface ratio proposed	0.01	% of lot area

### BUILDING AREA/ LOT COVERAGE

Existing Building Footprint	NONE	sq. ft.
Proposed Building Footprint	N/A	sq. ft.
Proposed Building Footprint Net change	N/A	sq. ft.
Existing Total Building Floor Area	N/A	sq. ft.
Proposed Total Building Floor Area	N/A	sq. ft.
Proposed Building Floor Area Net Change	N/A	sq. ft.
New Building	N/A	sq. ft.
Building Area/ Lot coverage existing	N/A	sq. ft.
Building Area/ Lot coverage proposed	N/A	sq. ft.

### ZONING

Existing	SR
Proposed	N/A

### RESIDENTIAL, IF APPLICABLE

Existing Number of Residential Units	NONE
Proposed Number of Residential Units	3
Subdivision, Proposed Number of Lots	3

### PARKING SPACES

Existing Number of Parking Spaces	N/A
Proposed Number of Parking Spaces	N/A
Required Number of Parking Spaces	N/A
Number of Handicapped Parking Spaces	N/A

### ESTIMATED COST OF PROJECT

## DELEGATED REVIEW AUTHORITY CHECKLIST

### SITE LOCATION OF DEVELOPMENT AND STORMWATER MANAGEMENT

Existing Impervious Area	2,239	sq. ft.
Proposed Disturbed Area	42,850	sq. ft.
Proposed Impervious Area (new road)	21,319	sq. ft.

1. *If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with MDEP.*
2. *If the proposed impervious area is greater than one acre including any impervious area created since 11/16/05, then the applicant shall apply for a MDEP Stormwater Management Permit, Chapter 500, with the City.*
3. *If total impervious area (including structures, pavement, etc) is greater than 3 acres since 1971 but less than 7 acres, then the applicant shall apply for a Site Location of Development Permit with the City. If more than 7 acres then the application shall be made to MDEP unless determined otherwise.*
4. *If the development is a subdivision of more than 20 acres but less than 100 acres then the applicant shall apply for a Site Location of Development Permit with the City. If more than 100 acres then the application shall be made to MDEP unless determined otherwise.*



# Development Review Checklist

City of Auburn Planning and Permitting Department  
City of Lewiston Department of Planning and Code Enforcement



**THE FOLLOWING INFORMATION IS REQUIRED WHERE APPLICABLE TO BE SUBMITTED FOR AN APPLICATION TO BE COMPLETE**

PROJECT NAME: LeBlanc Subdivision

PROPOSED DEVELOPMENT ADDRESS and PARCEL #: 610 Webster Street, Lewiston, Maine  
Map 122, Lot 86

Required Information	Check Submitted		Applicable Ordinance	
	Applicant	Staff	Lewiston	Auburn
<b>Site Plan</b>				
	Address Needed			
	Owner's Names/Address			
	Names of Development	X		
	Professionally Prepared Plan	X		
	Tax Map or Street/Parcel Number	X		
	Zoning of Property	X		
	Distance to Property Lines	X		
	Boundaries of Abutting land	X		
	Show Setbacks, Yards and Buffers	X		
	Airport Area of Influence (Auburn only)	N/A		
	Parking Space Calcs	N/A		
	Drive Openings/Locations	N/A		
	Subdivision Restrictions	N/A		
	Proposed Use	X		
	PB/BOA/Other Restrictions	N/A		
	Fire Department Review			
	Open Space/Lot Coverage	N/A		
	Lot Layout (Lewiston only)	X		
	Existing Building (s)	X		
	Existing Streets, etc.	X		
	Existing Driveways, etc.	X		
	Proposed Building(s)	N/A		
	Proposed Driveways	N/A		
<b>Landscape Plan</b>				
	Greenspace Requirements	N/A		
	Setbacks to Parking	N/A		
	Buffer Requirements	N/A		
	Street Tree Requirements	N/A		

	Screened Dumpsters	N/A			
	Additional Design Guidelines	N/A			
	Planting Schedule	N/A			
<b>Stormwater &amp; Erosion Control Plan</b>		N/A			
	Compliance w/ chapter 500	N/A			
	Show Existing Surface Drainage	N/A			
	Direction of Flow	N/A			
	Location of Catch Basins, etc.	N/A			
	Drainage Calculations	N/A			
	Erosion Control Measures	X			
	Maine Construction General Permit	N/A			
	Bonding and Inspection Fees	N/A			
	Post-Construction Stormwater Plan	N/A			
	Inspection/monitoring requirements	N/A			
	Third Party Inspections (Lewiston only)	N/A			
<b>Lighting Plan</b>		N/A			
	Full cut-off fixtures				
	Meets Parking Lot Requirements				
<b>Traffic Information</b>		N/A			
	Access Management				
	Signage				
	PCE - Trips in Peak Hour				
	Vehicular Movements				
	Safety Concerns				
	Pedestrian Circulation				
	Police Traffic				
	Engineering Traffic				
<b>Utility Plan</b>					
	Water	X			
	Adequacy of Water Supply				
	Water main extension agreement				
	Sewer	X			
	Available city capacity				
	Electric				
	Natural Gas				
	Cable/Phone				
<b>Natural Resources</b>					
	Shoreland Zone	X			
	Flood Plain	X			
	Wetlands or Streams	X			
	Urban Impaired Stream	N/A			
	Phosphorus Check	N/A			
	Aquifer/Groundwater Protection	N/A			
	Applicable State Permits	X			

	No Name Pond Watershed (Lewiston only)	N/A			
	Lake Auburn Watershed (Auburn only)	N/A			
	Taylor Pond Watershed (Auburn only)	N/A			
<b>Right Title or Interest</b>					
	Verify	X			
	Document Existing Easements, Covenants, etc.				
<b>Technical &amp; Financial Capacity</b>		N/A			
	Cost Est./Financial Capacity				
	Performance Guarantee				
<b>State Subdivision Law</b>		X			
	Verify/Check				
	Covenants/Deed Restrictions	N/A			
	Offers of Conveyance to City	N/A			
	Association Documents	X			
	Location of Proposed Streets & Sidewalks	X			
	Proposed Lot Lines, etc.	X			
	Data to Determine Lots, etc.	X			
	Subdivision Lots/Blocks	X			
	Specified Dedication of Land	N/A			
<b>Additional Subdivision Standards</b>		N/A			
	Single-Family Cluster (Lewiston only)				
	Multi-Unit Residential Development (Lewiston only)				
	Mobile Home Parks				
	Private Commercial or Industrial Subdivisions (Lewiston only)				
	PUD (Auburn only)				
<b>A jpeg or pdf of the proposed site plan</b>					
<b>Final sets of the approved plans shall be submitted digitally to the City, on a CD or DVD, in AutoCAD format R 14 or greater, along with PDF images of the plans for archiving</b>					

## ARTICLE XIII - DEVELOPMENT REVIEW AND STANDARDS

### Sec. 4; Approval Criteria

**(a) Utilization of the site:**

Lots 1 - 3, road areas, building envelopes and being as shown on said plan were designed and placed within the property taking into consideration as being the most suitable areas for the conditions of development. Lots and improvements were designed to meet the City of Lewiston Land Use Codes for Article XIII - Development Review and Standards -- Section 4 – *Approval Criteria* and Article XII – Performance Standards – Section 10 - *Frontage Right of Way Provisions*

**(b) Traffic movement into and out of the development area:**

Ingress and egress for Lots 2 & 3 will be accessed based on provisions for Frontage Right of Ways from the end of the excepted portion of Pagoma Lane and lying within the proposed 50 foot right of way as shown, being a 20 feet wide gravel road built in accordance with City of Lewiston's Policy for Design and Construction Standards. Applicable Stormwater and Erosion Control information related to said development and road is included within said Planning Board Package for review. Fawkes Drive will service two single family lots with normal daily trips and will not impact traffic flow and or generate any significant additional traffic within the neighborhood, already using Pagoma Lane and beyond. Lot 1 will have access for ingress and egress onto Webster Street.

**(c) Access into the site:**

See (b) above.

**(d) Internal vehicular circulation:**

Fawkes Drive as shown; will provide for safe movement of passenger, service and emergency vehicles servicing Lots 2 & 3.

**(e) Pedestrian circulation:**

N/A

**(f) Stormwater management:**

Stormwater Management report and plans provided in Planning Board Package.

**(g) Erosion control:**

Erosion Control report and plans provided in Planning Board Package.

**(h) Water supply:**

Lots 1- 3 to be serviced by individual wells. See letter from well driller in Planning Board Package.

**(i) Sewage disposal:**

Lots 1 – 3 have been soil tested and have suitable soils to support individual septic systems. See soil test pits within Planning Board Package.

**(j) Utilities:**

Lots 1- 3 utilities to be serviced by themselves and or provided by others, with proper permitting, if necessary.

**(k) Natural features:**

Project was designed as to not disturb any natural features and *preserving in its natural state insofar as practical by minimizing... disturbance during construction.*

**(l) Groundwater protection:**

*The proposed site development and use will not adversely impact either the quality or quality of groundwater available to abutting properties or public water supply systems.* Stormwater Management report and plans provided in Planning Board Package.

**(o) Waste disposal:**

N/A

**(p) Lot layout:**

Lots 1 – 3 meet or exceed the minimum standards as required in the Suburban Residential Zone (SR). See Subdivision Lotting Plan in Planning Board Package.

**(q) Landscaping:**

N/A

**(r) Shoreland relationship:**

N/A

**(s) Open space:**

N/A

**(t) Technical and financial capacity:**

To be provided -SEE EXHIBIT 10-A

**(u) Buffering:**

N/A

**(v) Compliance with district regulations:**

Project was designed in accordance with City of Lewiston's Design Review Standards and guidance from City Planning Staff.

**(w) Design consistent with performance standards:**

Project was designed in accordance with City of Lewiston's Design Review Standards and guidance from City Planning Staff.

**Sec. 5; Coordination with state subdivision law:**

Project was designed in accordance with City of Lewiston's Design Review Standards and in accordance to State of Maine Subdivision Laws under 30-A M.R.S.A., § 4401.

**APPENDIX A – ARTICLE XII -- PERFORMANCE STANDARDS**

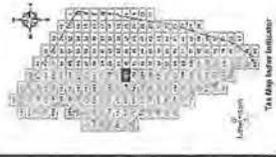
**Sec. 10; Frontage Right of Way Provisions:**

(1) – (17); Project was designed in accordance with Section 10 Frontage Right of Way Provisions

- 1) Project was designed in accordance with Article X111.
- 2) N/A
- 3) Fawkes Drive as shown; will only provide frontage for Lots 2 & 3.
- 4) Fawkes Drive as shown; will be the principle access for Lots 2 & 3.
- 5) Fawkes Drive as shown, right of way area not included in lot areas.
- 6) Fawkes Drive as shown; will not create any nonconformance with respect to required setbacks for existing and or proposed buildings on Lots 1 – 3.
- 7) Fawkes Drive as shown; will be built according to City of Lewiston's Design and Construction of Street and Sidewalk Standards.
- 8) Fawkes Drive provided with hammerhead turnaround.
- 9) Fawkes Drive meets and or exceeds Design and Construction of Street and Sidewalk Standards.
- 10) N/A
- 11) N/A
- 12) N/A
- 13) See Subdivision Lotting Plan in Planning Board Package.
- 14) See Stormwater Management report and plans provided in Planning Board Package.
- 15) See note 15 on Subdivision Lotting Plan in Planning Board Package.
- 16) Final Approved Subdivision Plan to be recorded in the Androscoggin County Registry of Deeds.
- 17) N/A



THE CITY OF LEWIS AND CLARK  
 OFFICE OF THE CITY CLERK  
 1000 W. 10TH AVENUE, SUITE 100  
 HELENA, MONTANA 59601  
 TEL: (406) 521-2000  
 FAX: (406) 521-2001  
 WWW.LEWISANDCLARK.MT.GOV



This City Map Indicator  
 shows the location of the  
 Tax Map Area within the  
 City of Lewis and Clark.

- Legend**
- City Limits
  - Water Line
  - Electric
  - Gas
  - Water at Meter (Meters, L)
  - Fire Hydrant
  - Street Address
  - City Map, Lot 146
  - Lot Dimensions
  - Utility (N27)

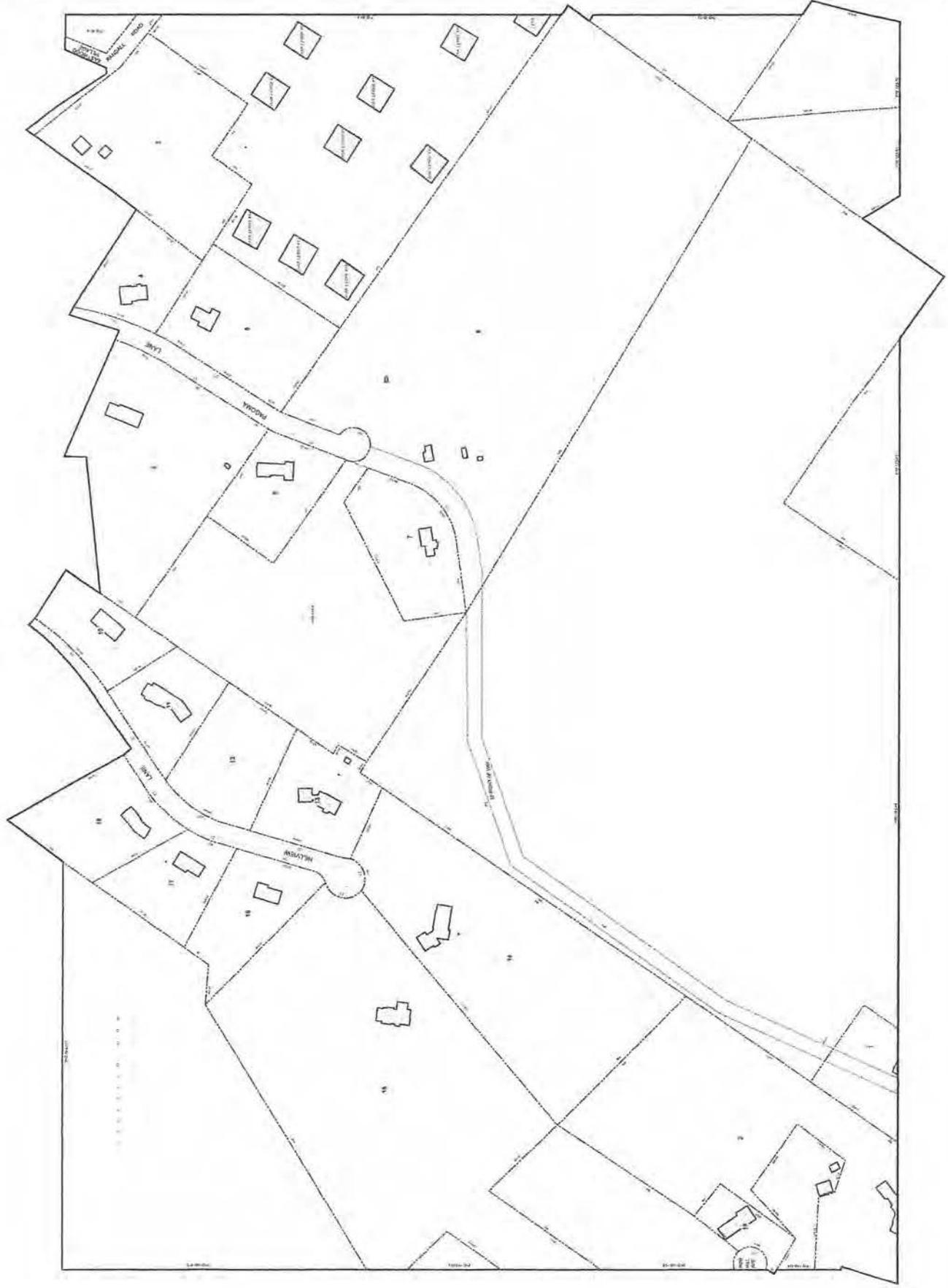
- Platematic Legend:**
- Building Footprint
  - Billings Group
  - Water Lines
  - Electric
  - Gas
  - Water at Meter
  - Fire Hydrant
  - Street Address
  - City Map, Lot 146
  - Lot Dimensions
  - Utility (N27)



City of  
 Lewis and Clark  
**Tax Map**  
 Effective April 1, 2014  
 to March 31, 2015

147	120	91
148	121	92
149	122	93

City of Lewis and Clark  
 Office of the City Clerk  
 1000 W. 10th Avenue, Suite 100  
 Helena, Montana 59601  
 Tel: (406) 521-2000  
 Fax: (406) 521-2001  
 www.lewisandclark.mt.gov





THE CITY OF LEWISVILLE, TEXAS  
 OFFICE OF THE CITY CLERK  
 1000 W. STATE ST., SUITE 1000  
 LEWISVILLE, TEXAS 75040  
 TEL: 972.343.2000  
 FAX: 972.343.2001  
 WWW.LEWISVILLETX.GOV



**Legend**  
 City Limits  
 Precinct Lines  
 Interstate  
 Major Road  
 Minor Road  
 Street Address  
 The Above List Are:  
 Lot Characteristics  
 Lot Area  
 Lot Area (SQ FT)

**Platographic Legend**  
 Building, Utility  
 Street Address  
 Lot Area  
 Lot Area (SQ FT)  
 Lot Characteristics  
 Lot Area  
 Lot Area (SQ FT)  
 Lot Characteristics  
 Lot Area  
 Lot Area (SQ FT)  
 Lot Characteristics  
 Lot Area  
 Lot Area (SQ FT)

City of  
**Tax Map**  
 Effective April 1, 2011  
 to March 31, 2015

121	02
122	93
123	94

Map of Lewisville, Texas  
 1000 W. STATE ST., SUITE 1000  
 LEWISVILLE, TEXAS 75040  
 TEL: 972.343.2000  
 FAX: 972.343.2001  
 WWW.LEWISVILLETX.GOV



MAINE SHORT-FORM DEED OF SALE

By Personal Representative (Testate)

GILES N. LEBLANC of (29 Pagoma Lane) Lewiston, Androscoggin County and State of Maine, duly appointed and acting personal representative of the ESTATE OF JEANNINE R. LEBLANC, a/k/a JANINE M. LEBLANC late of Lewiston, Androscoggin County and State of Maine, deceased testate, whose will was submitted to probate in Androscoggin County Probate Court (Docket No. 2010-112) and transferred to Oxford County Probate Court (Docket No. 2010-0082), and not having given notice to each person succeeding to an interest in the real estate described below at least ten (10) days prior to the conveyance, such notice not being required under the terms of the decedent's will, by the power conferred by the Probate Code, and every other power, for consideration paid, grants to JESSE N. LEBLANC and JAIME L. LEBLANC of (180 Barrows Road) Sumner, Oxford County and State of Maine, as joint tenants, the land with the buildings thereon, situated in Lewiston, Androscoggin County and State of Maine, bounded and described as follows:

BEGINNING at a point in the Northeasterly line of Webster Street, so called, at the Westerly corner of land conveyed to Clarice C. Tapley, Sarah Ann Tapley and Alan Tapley by Clarice C. Tapley deed dated December 7, 2011 and recorded in the Androscoggin County Registry of Deeds in Book 8298, Page 23, thence;

North thirty-eight degrees fifty-eight minutes twenty-eight seconds West (N 38° 58' 28" W) along the Northwesterly line of said Webster Street, a distance of two hundred fifty (250') feet to a point at the Westerly corner of land conveyed to Gordon A. Faunce and Anna M. Faunce by Giles N. LeBlanc, personal representative of the Estate of Jeannine R. LeBlanc, by deed dated August 30, 2013 and recorded in said Registry of Deeds in Book 8764, Page 341, thence;

North forty-seven degrees twenty-five minutes twenty-two seconds East (N 47° 25' 22" E) along the Southeasterly line of said Faunce's land, a distance of three hundred forty-three and ninety-six hundredths (343.96') feet to a point at the Easterly corner of said Faunce's land, thence;

North forty-one degrees fifty-nine minutes and twenty-nine seconds West (N 41° 59' 29" W) along the Northeasterly line of said Faunce's land, a distance of two hundred twenty-eight and sixteen hundredths (228.16') feet to a point in the Southeasterly line of a proposed street known as Blue Heron Lane, thence;

South thirty-six degrees seven minutes sixteen seconds West (S 36° 07' 16" W) along the Southwesterly line of said Blue Heron Lane, a distance of one hundred six and ninety-three hundredths (106.93') feet to a point, thence;

South twenty-eight degrees twenty-seven minutes fifty-six seconds West (S 28° 27' 56" W) along the Southwesterly line of said Blue Heron Lane, a distance of seventy-one and sixty-six hundredths (71.66') feet to a point; thence;

South thirty-nine degrees forty-four minutes forty-four seconds West (S 39° 44' 44" W) along the Southwesterly line of said Blue Heron Lane, a distance of one hundred seven and eighty-five hundredths (107.85') feet to a point, thence;

South fifty-one degrees one minute thirty-two seconds West (S 51° 01' 32" W) along the Southwesterly line of said Blue Heron Lane, a distance of forty-six (46') feet to the point of curvature of a ten (10') foot radius to left, thence in a;

Southwesterly, Southerly and Southeasterly direction along the arc of said radius, a distance of fifteen and seventy-one hundredths (15.71') feet to a point in the Northeasterly line of said Webster Street; thence in a;

MAINE REAL ESTATE TRANSFER TAX PAID

Poor Copy At Time Of Recording Will Not Reproduce Clearly

Northwesterly direction a distance of seventy-two and seventy hundredths (72.70') feet to an existing iron rod, at the Southerly corner of land conveyed to Robert R. Hopkins and Ann G. Hopkins by Jeannine R. LeBlanc by deed dated April 7, 1999 and recorded in said Registry in Book 4207, Page 155, the tie line between the last two points is North fifty-four degrees five minutes fifty-three seconds West (54° 05' 53" W) a distance of seventy two and seventy hundredths (72.70') feet, thence in a;

Southeasterly and Northeasterly direction along the arc of a ten (10') foot radius curve to the left and along a proposed street known as Blue Heron Lane, and along the Southeasterly line of said Hopkins land, a distance of fifteen and seventy-one hundredths (15.71') feet to an existing capped ¾ inch rebar, numbered 492, the point of tangency for said curve, thence;

North fifty-one degrees one minute thirty-two seconds East (N 51° 01' 32" E) along the Northwesterly line of said Blue Heron Lane and along the Southeasterly line of said Hopkins' land, a distance of sixty-five (65') feet to a point, thence;

North thirty-nine degrees forty-four minutes forty-four seconds East (N 39° 44' 44" E) along the Northwesterly line of said Blue Heron Lane and along the Southeasterly line of said Hopkins' land, a distance of eighty-eight and twenty-nine hundredths (88.29) feet to a point, thence;

North twenty-eight degrees twenty-seven minutes fifty-six seconds East (N 28° 27' 56" E) along the Northwesterly line of said Blue Heron Lane and along the Southeasterly line of said Hopkins' land, a distance of seventy-five (75') feet to a point, thence;

North thirty-six degrees seven minutes sixteen seconds East (N 36° 07' 16" E) along the Northwesterly line of said Blue Heron Lane and the Southeasterly line of said Hopkins' land, a distance of one hundred six and ninety-three hundredths (106.93') feet to an existing capped ¾ rebar, numbered 492, at the Southerly corner of land conveyed to Edward D. Poulin and Irene D. Poulin by Jeannine R. LeBlanc, by deed dated March 30, 2005 and recorded in said Registry in Book 6280, Page 75 and by deed dated January 31, 2008 and recorded in said Registry in Book 7361, Page 126, thence;

South twenty-eight degrees twenty-seven minutes forty-five seconds East (S 28° 27' 45" E) along the Northwesterly line of said Blue Heron Lane and along the Southeasterly line of said Poulin's land, a distance of one hundred thirty-three and eighty-one hundredths (133.81') feet to a point at the Easterly corner of said Poulin's land, thence;

North thirty-nine degrees two minutes forty-one seconds West (N 39° 02' 41" W) along the Northwesterly line of said Poulin's land, a distance of one hundred ninety-nine and forty-eight hundredths (199.48') feet to a point in the Southeasterly line of land conveyed to Louis J. Casavant and Joan L. Casavant by Antonio V. Casavant and Alberta C. Casavant by deed dated May 22, 1990 and recorded in said Registry in Book 2577, Page 50, thence;

North fifty degrees twenty-three minutes fifty-six seconds East (N 50° 23' 56" E) along the Southeasterly line of said Casavant's land, a distance of two hundred seventy-eight and fifty-seven hundredths (278.57') feet to a point in the Southwesterly line of land conveyed to Marcel R. Giroux and Jeanne D'Arc Giroux by Jeannine R. LeBlanc by deed dated July 9, 2002 and recorded in said Registry in Book 5426, Page 229, thence;

South thirty-nine degrees seventeen minutes twenty-four seconds East (S 39° 17' 24" E) along the Southwesterly line of said Giroux's land a distance of ten (10') feet to an existing capped ¾ inch rebar, numbered 492, at the Southerly corner of said Giroux's land, thence;

North fifty-degrees forty-one minutes thirty-six seconds East (N 50° 41' 36" E) along the Southeasterly line of said Giroux's land, a distance of three hundred ninety-four and fifty-four hundredths (394.54') feet to an existing capped ¾ rebar, numbered 492 at the Easterly corner of said Giroux's land, thence;

Poor Copy At Time Of Recording  
Will Not Reproduce Clearly

North thirty-nine degrees twenty minutes twenty-three seconds West (N 39° 20' 23" W) along the Northeasterly line of said Giroux's land, a distance of two hundred twelve and ninety-four hundredths (212.94') feet to an existing capped ¾ inch rebar, numbered 492, in the Southeasterly line of land conveyed to Richard R. Bilodeau and Linda Bilodeau by Dominique Bilodeau, Normand P. Bilodeau and Richard R. Bilodeau by deed dated October 21, 1983 and recorded in said Registry in Book 1802, Page 72, thence;

North forty-nine degrees ten minutes twenty-seven seconds East (N 49° 10' 27" E) along the Southeasterly line of said Bilodeau's land and along a stone wall and along the Southeasterly line of land conveyed to Douglas Dwinal and Janis Dwinal by Marc E. Goulet and Maurice Goulet by deed dated July 5, 1990 and recorded in said Registry in Book 2578, Page 260, a distance of eight hundred forty-six and two hundredths (846.02') feet to an existing capped ¾ inch rebar, numbered 492, thence;

North forty-nine degrees fifty-eight minutes thirty-nine seconds East (N 49° 58' 39" E) along the Southeasterly line of said Dwinal's land and along the Southeasterly line of land conveyed to Patricia L. Butler by Norman R. LeBlanc and Jeannine R. LeBlanc by deed dated October 17, 2005 and recorded in said Registry in Book 6553, Page 65, a distance of four hundred sixty-four and thirty-nine hundredths (464.39') feet to a point at a corner of said Butler's land, thence;

South forty-four degrees thirty minutes five seconds East (S 44° 30' 05" E) along the Southwesterly line of said Butler's land a distance of thirty and thirty-nine hundredths (30.39') feet to a corner of said Butler's land, thence;

North forty-five degrees forty-two minutes forty-one seconds East (N 45° 42' 41" E) along the Southeasterly line of said Butler's land, a distance of thirty-three and ninety-one hundredths (33.91') feet to a point at the Westerly corner of land conveyed to Bettleguese, LLC by Alan D. LeBlanc and Giles N. LeBlanc by deed dated October 2, 2007 and recorded in said Registry in Book 7274, Page 332, thence;

South thirty-seven degrees thirty-five minutes twenty-three seconds East (S 37° 35' 23" E) along the Southwesterly line of said Bettleguese, LLC's land, a distance of four hundred sixty-two and one hundredth (462.01') feet to a point at the Southwesterly corner of land conveyed to Giles N. LeBlanc and Claire M. LeBlanc by Normand N. LeBlanc and Jeannine M. LeBlanc by deed dated December 31, 1985 and recorded in said Registry in Book 1894, Page 73, thence;

South forty-one degrees twenty minutes fifty-three seconds East (S 41° 20' 53" E) along the Southwesterly line of said Bettleguese, LLC's land as described in Book 7274, Page 332, a distance of one thousand two hundred eighty (1,280') feet more or less to a point in the Northwesterly line of land conveyed to Reginald W. Mailhot and Anne M. Mailhot by Kenneth P. Wolf and Fredda F. Wolf by deed dated November 16, 1988 and recorded in said Registry in Book 2339, Page 242, thence;

South fifty-one degrees thirty-four minutes forty-five seconds West (S 51° 34' 45" W) along the Northwesterly line of said Wolf's land and along the Northwesterly line of land conveyed to Fredda F. Wolf and along the Southwesterly line of land conveyed to Fredda F. Wolf and Kenneth P. Wolf by Matthew Wolf and Alexandra Wolf by deed dated March 12, 1986 and recorded in said Registry in Book 1908, Page 61, a distance of five hundred twenty-five (525') feet more or less to a point at the Easterly corner of land conveyed to David M. Gendron by Dolard M. Gendron by deed dated February 20, 2006 and recorded in said Registry in Book 6691, Page 141, thence;

North thirty-nine degrees thirty-three minutes thirty-eight seconds West (N 39° 33' 38" W) along the Northeasterly line of said Gendron's land, a distance of six hundred and sixty (660') feet to an existing capped ¾ inch rebar, numbered 492, at the Northerly corner of said Gendron's land, thence;

North fifty-one degrees forty minutes thirteen seconds West (N 51° 40' 13" W) along the Northwesterly line of said Gendron's land, a distance of one thousand one hundred

Poor Copy At Time Of Recording  
Will Not Reproduce Clearly

ninety-nine and seventy-four hundredths (1,199.74') feet to a point at the corner of a stone wall, thence;

South forty-seven degrees six minutes forty-nine seconds West (S 47° 06' 49" W) along the Northwesternly line of said Gendron's land and along a stone wall, a distance of five hundred eighty-eight and sixteen hundredths (588.16') feet to a point at the Easterly corner of said Tapley's land, thence;

North forty-two degrees fifty-three minutes twenty-one seconds West (N 42° 53' 21" W) along the Northeasterly line of said Tapley's land, a distance of one hundred (100') feet to a point at the Northerly corner of said Tapley's land, thence;

South forty-seven degrees six minutes thirty-nine seconds West (S 47° 06' 39" W) along the Northwesternly line of said Tapley's land, a distance of one hundred seventy-three and eighty-seven hundredths (173.87') feet to the point of beginning.

Bearings are magnetic January 1985.

Containing 58 acres, more or less.

Also a right of way along an existing road from Pagoma Lane, so called, Southwesterly to this parcel.

For reference see plan entitled Blue Heron Subdivision dated June 23, 2006 and recorded in the Androscoggin County Registry of Deeds in Book of Plans in Book 45, Page 145.

BEING a portion of the land conveyed to Janine M. LeBlanc by Beecher C. Casson by deed dated September 12, 1979 and recorded in the Androscoggin County Registry of Deeds in Book 1427, Page 13.

EXCEPTING THEREFROM a certain lot or parcel of land situated in Lewiston in Androscoggin County, State of Maine, bounded and described as follows:

BEGINNING at an existing capped rebar, numbered 1126, at the Southwesterly corner of land conveyed to Giles N. LeBlanc and Claire M. LeBlanc by Normand N. LeBlanc and Jeannine M. LeBlanc by deed dated December 31, 1985 and recorded in the Androscoggin County Registry of Deeds in Book 1894 Page 73, also being in the Southwesterly line of land conveyed to Bettlegeuse, LLC by Alan D. Leblanc and Giles N. LeBlanc by deed dated October 2, 2007 and recorded in said Registry in Book 7274, Page 332, thence

North thirty-seven degrees, two minutes and twenty-five seconds West (N 37° 02' 25" W) along the Southwesterly line of said Bettlegeuse's land, a distance of one hundred nine and sixty-one hundredths (109.61') feet to a point in a stone wall, thence;

South thirty-one degrees fifty-two minutes and fifty-four seconds West (S 31° 52' 54" W) along said stone wall, a distance of three hundred eighty-seven and thirty hundredths (387.30') feet, thence;

South seventy-eight degrees fifty-nine minutes and thirty-six seconds East (S 78° 59' 36" E) a distance of three hundred ninety-eight and eight hundredths (398.08') feet to a point, thence;

North fifty-seven degrees forty-seven minutes and thirty-four seconds East (N 57° 47' 34" E) a distance of ninety-six and forty-eight hundredths (96.48') feet to a point, thence;

North twenty-nine degrees thirteen minutes and forty-one seconds East (N 29° 13' 41" E) a distance of thirty-three and six hundredths (33.06') feet to a point in the Southwesterly line of said Bettlegeuse's land, thence;

North forty-one degrees twenty-eight minutes and forty-seven seconds West (N 41° 28' 47" W) along the Southwesterly line of said Bettlegeuse's land, a distance of three hundred fifteen and forty nine hundredths (315.49') feet to the point of beginning.

Containing 2.22 acres.

Poor Copy At Time Of Recording  
Will Not Reproduce Clearly

Bearings are magnetic January 1985.

Also including an easement for ingress and egress and the installation of utilities from the Westerly line of said LeBlanc parcel, along an existing easement from Pagoma Lane to Webster Street as described in a deed recorded in said Registry in Book 972, Page 433, to the Northeasterly line of the above described parcel.

Being a portion of the land conveyed to Janine M. LeBlanc by Beecher C. Casson, Sr. by deed dated September 12, 1979 and recorded in the Androscoggin County Registry of Deeds in Book 1427, Page 13.

ALSO hereby conveying all rights, privileges, and easements pertinent to the aforesaid premises.

WITNESS my hand and seal this thirtieth day of December, 2014

*Paul R. Dionne*

*Estate of Jeannine R. LeBlanc*

*Giles M. LeBlanc*

GILES M. LEBLANC  
Personal Representative

STATE OF MAINE

Androscoggin, ss.

December 30, 2014

Then personally appeared the above-named Giles M. LeBlanc, in his capacity as personal representative of the Estate of Jeannine R. LeBlanc a/k/a Janine M. LeBlanc and acknowledged the foregoing instrument to be his free act and deed.

Before me,

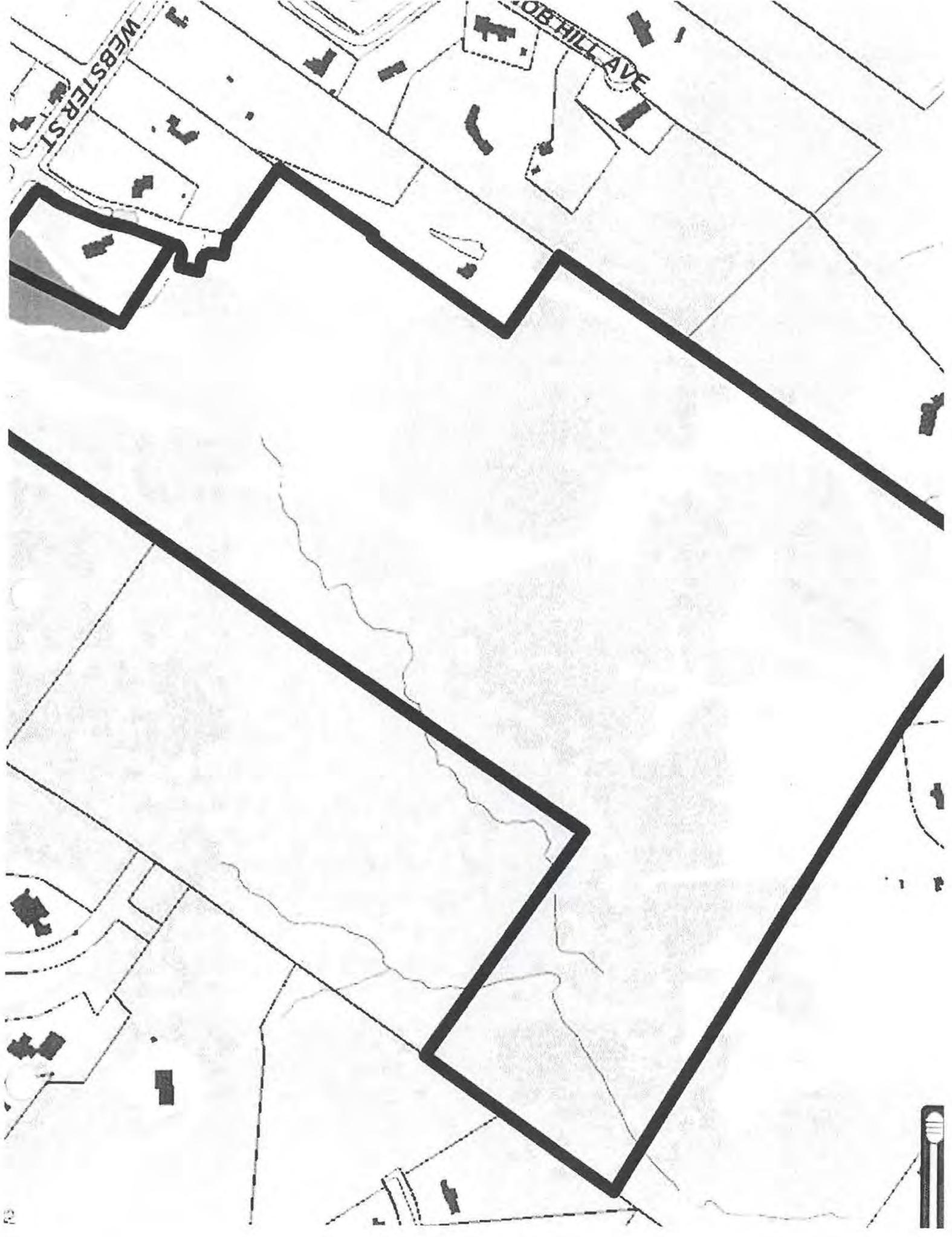
*Beverly T. Parent*

Beverly T. Parent, Notary Public  
My commission expires July 31, 2015

Title Not Searched/Description Not Verified  
(LeBlancJR DOS14/D1/PRD/bp)

SEAL

ANDROSCOGGIN COUNTY  
TINA M CHOUINARD  
REGISTER OF DEEDS



## Frontage Right of Way Description

For:

Giles N. & Claire M. LeBlanc and owners of Lots 2 & 3 of Leblanc Subdivision off Pagoma Lane Extension Lewiston, Maine 04240

A certain right of way situated in the City of Lewiston, in Androscoggin County, State of Maine bounded and described as follows;

Beginning at a point at the southwesterly corner of Pagoma Lane ( Extension ), so called, as described in the City of Lewiston Street Records, dated August 7, 1979, and recorded in Volume 4, Page 28, thence,

1. **South 58°08'06" East** along the existing terminus of said Pagoma Lane ( extension ) a distance of **50.00 feet** to the southeasterly corner of said Pagoma Lane ( extension ), thence;
2. **South 31°51'54" West** a distance of **160.51 feet** to a point, thence;
3. **South 21°36'14" West** a distance of **329.81 feet** to a point, thence;
4. **South 29°13'41" West** a distance of **20.96 feet** to a point in the northeasterly line of land conveyed to Jesse N. LeBlanc and Jaime L. LeBlanc from Giles N. LeBlanc personal representative of the Estate of Jeannine R. LeBlanc. a/k/a Janine M. LeBlanc, by deed dated December 30, 2014 and recorded in said Registry in Book 9369, Page 38, thence;
5. **North 41°20'53" West** along the northeasterly line of said LeBlanc's land a distance of **53.02 feet** to a point, thence;
6. **North 21°36'14" East** a distance of **334.35 feet** to a point, thence;
7. **North 31°51'54" East** a distance of **165.00 feet** to the point of beginning.

Containing 25,181.38 square feet.

Bearings are Magnetic North January 1985.

Being a portion of land conveyed to Beetlegeuse, LLC from Alan D. LeBlanc and Giles N. LeBlanc by deed October 2, 2007, and recorded in the Registry of Deeds for Androscoggin County in Book 7274, Page 332.

## STORMWATER MANAGEMENT PLAN

LeBlanc Subdivision  
Lewiston, Maine

The following Stormwater Management Plan has been prepared for Mr. Jessie LeBlanc to evaluate stormwater runoff and erosion control for Fawkes Drive, a proposed frontage right of way to be located off the end of Pagoma Lane in Lewiston, Maine.

### Table of Contents

- Stormwater Narrative
- U.S.G.S. Quadrangle Map
- Soil Survey Map
- FEMA Flood Map
- HydroCAD Calculations
- Post Development Watershed Map

### Site Calculations

Total Property Area	56.95 Ac (+/-)
Existing Impervious Area	2,239 SF (0.05 Ac)
Total New Impervious Area	19,080 SF (0.44 Ac)
Total Impervious Area	21,319 SF (0.49)
Total Landscaped Area	21,531 SF (0.49 Ac)
Total Developed Area	42,850 SF (0.98 Ac)

### Existing Conditions

The development parcel is approximately 57 acres and is located off the end of Pagoma Drive and is shown as lot 86 on the City of Lewiston Tax Map #122. There is an existing gravel driveway that extends off the end of Pagoma Drive that leads to a single family residence. The residence is surrounded by approximately 10 acres of pasture. The remaining portion of the property is forested. The development is located within the Dill Brook watershed. Dill Brook is classified as an urban impaired stream. The project is not large enough to require MDEP stormwater permitting. A copy of the U.S.G.S. Quadrangle Map (Lewiston) is attached.

### Proposed Development

The applicant proposes to create a 1,000' long frontage right of way. The right of way will contain a 20' wide shared driveway and will feature roadside ditches. The shared driveway will provide access to two new single family house lots. The first 200' of the shared driveway will be constructed overtop of an existing driveway.

The ditches will outlet to a series of level lip spreaders. The level spreaders will allow runoff to leave the road drainage system in a non-erosive manner.

### Flooding

The development area is not located within an area of flood hazard according to the Federal Insurance Rate Map 23001C0333E. See attached map.

### Modeling Assumptions

The onsite stormwater facilities were sized utilizing the USDA Soil Conservation Service (SCS) TR-20 Runoff Simulation Model, as contained in the HydroCAD computer software program (Version 9.0). Runoff curve numbers were determined for each direct watershed by measuring the area of each hydrologic soil group within each type of land cover. Weighted curve numbers were then calculated using curve numbers for various cover types and hydrologic soil groups, assuming "good" conditions as defined in U.S Soil Conservation Service (SCS) publications. Times of concentration and travel times were determined from site topographic maps in accordance with SCS procedures. A maximum length of 150 feet was used for sheet flow.

All of the watersheds' peak runoff rates were analyzed for the 2, 10 and 25-year frequency, 24-hour duration storm events. A Type III rainfall distribution was applied to these storms. The rainfall amounts for Androscoggin County are as follows:

Storm Frequency Precipitation (in./24 hr)	
2-year	3.0
10-year	4.6
25-year	5.4

### Onsite & Offsite Soils

The soils were delineated from the Androscoggin County Medium Intensity Soil Survey as shown on the Soil Data Viewer on the NRCS website (See attached map). The soils are shown on the watershed map. The soils in the watershed were a mix of HSG A, C & D. We assumed that all onsite soils were HSG C in our attached stormwater calculations in order to be conservative.

### Water Quantity (Flooding Standard)

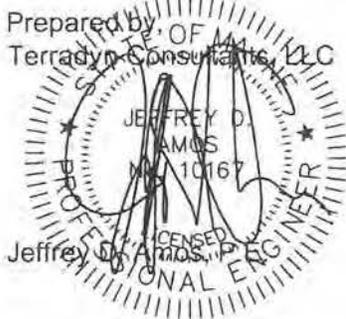
The following table summarizes the results of stormwater calculations for the design storm events for the project areas. Calculations and computer modeling sheets are provided with this report.

Table 1 - Stormwater Runoff Summary Table Pre-Development vs. Post-Development						
Study Point #	2Yr/24Hr (cfs)		10Yr/24Hr (cfs)		25Yr/24Hr (cfs)	
	Pre	Post	Pre	Post	Pre	Post
1	27.7	27.7	62.7	62.7	79.1	79.1

As the above result table shows, the post-development flow rate for the 2, 10 and 25-year/24 hour design storm events are equal to the pre-development condition for the study point.

### Summary

Based on the results of this evaluation, the proposed stormwater design is not expected to cause flooding, erosion or other significant adverse effects downstream of the site.





## Wetland Investigation and Preliminary Soil Report Blue Heron Subdivision, Lewiston, Maine

**Date:** August 25, 2015

**To:** Jesse LeBlanc  
279 Webster Street  
Lewiston, ME 04240

### Wetlands Summary:

Wetlands were found in two areas. Bordering Lot 1 there is a ponded portion of a mapped stream that is a Maine DEP "jurisdictional stream". The easterly wetland/upland boundary of this feature was mapped. This wetland is a Wetland of Special Significance. Site disturbances on Lot 1 should have a 75 foot no-disturbance buffer from the edge of the wetland, although this buffer can be reduced with an *Activity Adjacent to a Protected Resource* Permit-by-Rule approval from Maine DEP.

Wetlands were found bordering a drainage in the vicinity of the lot line between Lots 3 and 4. This wetland and drainage will be crossed by a driveway. The drainage is not a DEP jurisdictional stream and the wetlands are not Wetlands of Special Significance. No-disturbance buffers are not required from the edge of this wetland. The driveway crossing can be done with a *Stream Crossing* Permit by Rule approval from Maine DEP.

### Soil and Wastewater Summary:

Five suitable areas for onsite wastewater disposal were identified, described and located by GPS. These areas meet all soil and setback requirements to water bodies.

**Dates of Investigation:** July and August 2015.

**Location of the Investigation:**

The property investigated is located in an area bounded by Webster Road, Pond Road and Randall Road, Lewiston.

**Purposes of the Investigation:**

The purposes of the wetland investigation are to identify and describe wetlands in several areas of the property (near a proposed driveway crossing and on Lot 1) according to definitions in the Maine Natural Resources Protection Act (N.R.P.A.) to determine if specific alteration and filling permits are required and if there are any setbacks required under the N.R.P.A., and to determine the Maine DEP jurisdictional status of any streams in the wetlands.

The purpose of the soil investigation is to identify, describe and locate representative suitable areas for wastewater disposal to accommodate single family homes on four lots.

**Methods of the Investigation:**

A literature search and on-site investigations were made. The investigations were performed following the guidelines described in the 1987 Corps of Engineers Delineation Manual and the 2009 Interim Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region. This procedure uses a multiple parameter approach that requires the presence of three primary components for an area to be identified as a wetland: 1) hydric soils; 2) predominance of hydrophytic vegetation; and 3) wetland hydrology.

Wetland/upland boundary lines were identified by sequentially numbered flags which were located by a Trimble Geo-XT GPS device, capable of sub meter accuracy.

Soil auger borings were done for the on-site wastewater disposal investigation, were flagged in the field and were located by GPS.

The *Second Revision, Blue Heron Subdivision*, dated June 23, 2015 by A.R.C.C. Land Surveyors, Inc. was used in the field during the investigation.

**Site Location and Description:**

The property is located in a basin bounded by two northeasterly trending ridges. Drainage is southwesterly by way of a mapped stream to Hurt Brook, which flows to the Androscoggin River (see Figure 1).

The area is depicted as deposits of Hollis fine sandy loam, Buxton silt loam, Charlton fine sandy loam, Scarborough fine sandy loam and Seantic silt loam on the *National Cooperative Soil Survey* (see attached photomap and descriptions). These are medium to fine textured soils. On-site soil testing generally agrees with this mapping.

There are Palustrine forested and scrub-shrub wetlands depicted on the property on the *National Wetlands Inventory*, consistent with the results of this investigation (see attached photocopy).

### **Results of the Wetlands Investigation:**

The wetland/upland boundaries were flagged at numbered inflection points along the curved boundary lines. These points were located by the GPS device. The GPS location data was post processed for accuracy and rendered as a CAD drawing and sent to Davis Land Surveying, LLC.

All wetlands on the property are classified as Palustrine, forested and scrub-shrub. Wetlands in two areas were found.

Wetlands conditions exist adjacent to the ponded area along the northwesterly property line of Lot 1. These are Wetlands of Special Significance because they are associated with the mapped stream, which is a DEP jurisdictional stream, and because the wetlands contain more than 20,000 square feet of emergent vegetation.

Wetlands of Special Significance require a no-disturbance buffer of 75 feet, measured from the edge of the wetlands. This buffer can be reduced with an *Activity Adjacent to a Natural Resource* Permit By Rule approval from Maine DEP. The Permit By Rule application is a simple form, with additional documentation about the project and the site. A buffer can be reduced to 25 feet with an approved permit.

Wetlands were also found bordering a drainage on Lot 3 in the vicinity of the LeBlanc driveway crossing. This drainage is not a jurisdictional stream, because it is too minor. The wetlands bordering the drainage are not Wetlands of Special Significance. The wetlands and drainage can be crossed with a driveway with a *Stream Crossing* Permit By Rule Approval.

### **Wetlands Conclusions:**

Wetlands were found on the property and were located by GPS. The wetlands are Palustrine, forested and scrub-shrub type wetlands.

Only the wetlands bordering the ponded area are *Wetlands of Special Significance*. These wetlands are regulated under the N.R.P.A. and a no-disturbance buffer is required

adjacent to the wetland boundary. This 75 foot buffer can be reduced with an approved *Permit-By-Rule* to 25 feet if required.

The wetlands on Lot 3 do not require no-disturbance buffers, but do require a stream crossing permit approval for the driveway.

**Results of the Soil and Wastewater Disposal Investigation:**

The drainage on Lot 3 does not appear as a blue line on the U.S.G.S. topographic sheet. It is classified as a Minor Water Course by the *Maine Subsurface Wastewater Disposal Rules* and requires a wastewater disposal setback of at least 50 feet. The ponded area does appear on the U.S.G.S. topo sheet and is classified as a Major Water Body by the *Rules*. A wastewater disposal site on Lot 1 requires a 100 foot setback to the open water of the pond. Sites investigated meet this criterion.

Soil test logs are attached. The soils were medium textured, fine-sandy loam soils with firm horizons or bedrock in the subsoil. Bedrock is shallow in places. A seasonally high water table was found 12 to 26 inches below the ground surface. The sites are classified as the Medium-Large category for wastewater disposal, according to the *Rules* and are classified as 2AIII, 3AIII, 3C, and 3D. Typical three-bedroom disposal areas are 20' x 45' stone beds. Other disposal system options are available that save space, including plastic chambers and Eljen Indrains. The disposal systems will be mounded 16 to 30 inches above existing grades. A wastewater pump station may be required on Lot 1, depending upon the foundation height.

**Soil Investigation Conclusions:**

There are multiple, suitable locations for wastewater disposal on the proposed lots. Soil logs are enclosed and locations are provided. A setback of a minimum of 50 feet must be maintained from the minor drainage and a setback of at least 100 feet must be maintained from the Major Water Body. Depending upon building locations and foundation height, a wastewater pump stations may be required on Lot 1. All sites are classified as the Medium-Large category for wastewater disposal. Further investigation will be required to design any specific system.



Mark Cenci  
Maine Certified Geologist #467  
Maine Licensed Site Evaluator #262



3 Mill Road • North Yarmouth, Maine 04097  
Cell: 207.329.3524 • mark@markcenci.com  
www.markcenci.com

LEBLANC SUB

NO LOT 4  
LOT 2

LOT 2  
LOT 2

Observation Hole # TR4  Test Pit  Boring

\_\_\_\_\_ " Depth of organic horizon above mineral soil

Texture	Consistency	Color	Mottling
0			
6	FINE	DARK BROWN	
12	SANDY/FRIABLE	RED TO	
18	LOAM	YELLOW BROWN	
24			
30	FIRM	GRAY	Common
36		BEDROCK	
42			
48			

Soil Profile	Classification Condition	Slope Percent	Limiting Factor Depth	<input type="checkbox"/> Groundwater <input type="checkbox"/> Restrictive Layer <input checked="" type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth
3	AIII		30	

Observation Hole # TR5  Test Pit  Boring

\_\_\_\_\_ " Depth of organic horizon above mineral soil

Texture	Consistency	Color	Mottling
0			
6	FINE	DARK BROWN	
12	SANDY/FRIABLE	RED TO	
18	LOAM	YELLOW BROWN	
24			
30			
36			
42			
48			

Soil Profile	Classification Condition	Slope Percent	Limiting Factor Depth	<input type="checkbox"/> Groundwater <input type="checkbox"/> Restrictive Layer <input checked="" type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth
2	AIII		32	

Observation Hole # \_\_\_\_\_  Test Pit  Boring

\_\_\_\_\_ " Depth of organic horizon above mineral soil

Texture	Consistency	Color	Mottling
0			
6			
12			
18			
24			
30			
36			
42			
48			

Soil Profile	Classification Condition	Slope Percent	Limiting Factor Depth	<input type="checkbox"/> Groundwater <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth

Observation Hole # \_\_\_\_\_  Test Pit  Boring

\_\_\_\_\_ " Depth of organic horizon above mineral soil

Texture	Consistency	Color	Mottling
0			
6			
12			
18			
24			
30			
36			
42			
48			

Soil Profile	Classification Condition	Slope Percent	Limiting Factor Depth	<input type="checkbox"/> Groundwater <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth

Mark Cenci  
Site Evaluator Signature

262  
SE #

8-25-15  
Date



Figure 1.

Topographic Locus Map of the Area of Webster Road, Lewiston

Fig. 1. Aerial photograph and topographic map of the study area, showing the location of the study area in the study area.



Map scale: 1:50,000. Contour interval: 10 feet. (1" = 100 feet).  
 Contour interval: 10 feet.  
 Contour interval: 10 feet.  
 Contour interval: 10 feet.

Soil Map—Androscoggin and Sagadahoc Counties, Maine  
(Area of Webster Road, Lewiston)

### MAP LEGEND

#### Area of Interest (AOI)

 Area of Interest (AOI)

#### Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

#### Special Point Features

-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

 Spoil Area

 Stony Spot

 Very Stony Spot

 Wet Spot

 Other

 Special Line Features

#### Water Features

 Streams and Canals

#### Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

#### Background

 Aerial Photography

### MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Androscoggin and Sagadahoc Counties, Maine  
Survey Area Data: Version 15, Sep 13, 2014

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 20, 2010—Aug 29, 2010

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Androscoggin and Sagadahoc Counties, Maine (ME606)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
BuB2	Buxton silt loam, 0 to 8 percent slopes, eroded	3.2	0.8%
BuC2	Buxton silt loam, 8 to 15 percent slopes, eroded	27.4	6.8%
CfB	Charlton fine sandy loam, 0 to 8 percent slopes	7.9	1.9%
ChB	Charlton very stony fine sandy loam, 0 to 8 percent slopes	20.7	5.1%
ChC	Charlton very stony fine sandy loam, 8 to 15 percent slopes	42.8	10.5%
ChD	Charlton very stony fine sandy loam, 15 to 25 percent slopes	2.7	0.7%
GP	Sand and gravel pits	7.5	1.9%
HkB	Hinckley gravelly sandy loam, 0 to 8 percent slopes	4.7	1.2%
HkC	Hinckley gravelly sandy loam, 8 to 15 percent slopes	6.2	1.5%
HrB	Hollis fine sandy loam, 0 to 8 percent slopes	27.7	6.8%
HrC	Hollis fine sandy loam, 8 to 15 percent slopes	62.3	15.3%
HrD	Hollis fine sandy loam, 15 to 45 percent slopes	18.1	4.5%
HsC	Hollis very rocky fine sandy loam, 8 to 15 percent slopes	8.7	2.2%
HsD	Hollis very rocky fine sandy loam, 15 to 45 percent slopes	2.9	0.7%
Lc	Leicester fine sandy loam	6.7	1.7%
Pa	Peat and Muck	2.4	0.6%
PbB	Paxton loam, 2 to 8 percent slopes	5.7	1.4%
PbC	Paxton loam, 8 to 15 percent slopes	31.9	7.9%
PfD	Paxton very stony loam, 15 to 30 percent slopes	5.9	1.5%
ScA	Scantic silt loam, 0 to 3 percent slopes	35.2	8.7%
So	Scarboro fine sandy loam	7.1	1.7%
SuC2	Suffield silt loam, 8 to 15 percent slopes, eroded	1.9	0.5%
SxB	Sutton loam, 0 to 8 percent slopes	10.6	2.6%

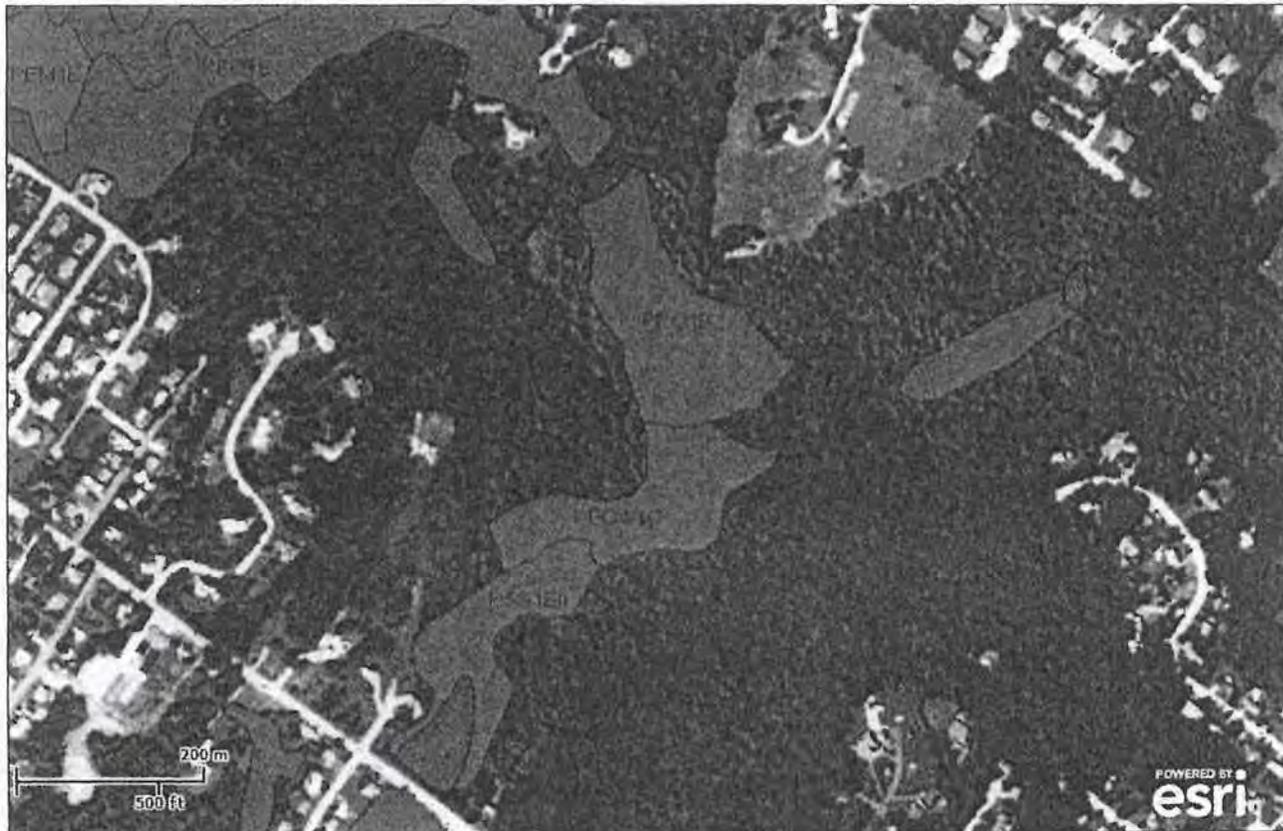
Androscoggin and Sagadahoc Counties, Maine (ME606)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
SyB	Sutton very stony loam, 0 to 8 percent slopes	32.4	8.0%
SyC	Sutton very stony loam, 8 to 15 percent slopes	2.5	0.6%
Wa	Walpole fine sandy loam	18.2	4.5%
WrB	Woodbridge loam, 0 to 8 percent slopes	2.6	0.6%
<b>Totals for Area of Interest</b>		<b>406.0</b>	<b>100.0%</b>



U.S. Fish and Wildlife Service  
**National Wetlands Inventory**

Area of Webster  
Road, Lewiston

Jul 20, 2015



**Wetlands**

-  Freshwater Emergent
-  Freshwater Forested/Shrub
-  Estuarine and Marine Deepwater
-  Estuarine and Marine
-  Freshwater Pond
-  Lake
-  Riverine
-  Other

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

User Remarks:

Address	Map-Lot	Book and Page	Owner 1	Owner Address 1	Owner City State Zip
29 SHEFFIELD AVE	122-62	7967-211	BISSON MICHAEL D	29 SHEFFIELD AVE	LEWISTON ME 04240
281 RANDALL RD	93-53	960-643	BERNIER LIONEL	120 POND RD	LEWISTON ME 04240
3 JAN'S BLVD	122-11	8125-180	LONG RICHARD W	3 JAN'S BLVD	LEWISTON ME 04240
607 WEBSTER ST	122-12	3493-279	GAGNE DAVID G	607 WEBSTER ST	LEWISTON ME 04240
38 HILLVIEW LANE	121-13	3317-284	BUTLER PATRICIA L	38 HILLVIEW LANE	LEWISTON ME 04240
582 WEBSTER ST	149-139	2577-50	CASAVANT LOUIS J	30 ARKWRIGHT AVE	LEWISTON ME 04240
34 HILLVIEW LANE	121-12	3317-283	BUTLER PATRICIA L	38 HILLVIEW LANE	LEWISTON ME 04240
42 HILLVIEW LANE	121-14	2578-60	DWINAL DOUGLAS	P O BOX 261	AUBURN ME 04212
30 SHEFFIELD AVE	122-60	8792-223	KENFRED ENTERPIRSES LLC	249 MAIN ST	LEWISTON ME 04240
25 NOB HILL AVE	121-2	1802-72	BILODEAU RICHARD	25 NOB HILL AVE	LEWISTON ME 04240
27 NOB HILL AVE	148-224	7510-24	PAQUETTE DENISE	27 NOB HILL AVE	LEWISTON ME 04240
31 SHEFFIELD AVE	122-61	2339-242	MAILHOT REGINALD W	31 SHEFFIELD AVE	LEWISTON ME 04240
590 WEBSTER ST REAR	121-1	2470-114	GIROUX MARCEL R	590 WEBSTER ST REAR	LEWISTON ME 04240
29 PAGOMA LANE	121-7	1891-73	LEBLANC GILES N	29 PAGOMA LANE	LEWISTON ME 04240
28 PAGOMA LANE	121-6	7274-332	BEETLEGEUSE LLC	25 PAGOMA LANE	LEWISTON ME 04240
628 WEBSTER ST	122-16	8298-23	TAPLEY CLARICE C	628 WEBSTER ST	LEWISTON ME 04240
632 WEBSTER ST	122-17	6691-141	GENDRON DAVID M	P O BOX 1913	LEWISTON ME 04241
325 ALFRED A PLOURDE PRKWY	123-23	1761-114	GENDRON DOLARD	P O BOX 1913	LEWISTON ME 04241
623 WEBSTER ST	122-4		MAINE DEPT OF TRANS	STATE HOUSE STATION 16	AUGUSTA ME 04333
4 JAN'S BLVD	122-6	6790-150	WAGNER ROBERT D	4 JAN'S BLVD	LEWISTON ME 04240
2 JAN'S BLVD	122-5	7239-136	STACHOWIAK MARGARET	2 JAN'S BLVD	LEWISTON ME 04240
610 WEBSTER ST	122-15	8764-341	FAUNCE GORDON A	610 WEBSTER ST	LEWISTON ME 04240
599 WEBSTER ST	122-13	8675-102	MCEACHERN FRANK M	599 WEBSTER ST	LEWISTON ME 04240
610 WEBSTER ST	122-86	2010-112	LEBLANC GILES N P/R	28 PAGOMA LANE	LEWISTON ME 04240
600 WEBSTER ST	122-83	4207-155	HOPKINS ROBERT R	600 WEBSTER ST	LEWISTON ME 04240
592 WEBSTER ST	122-14	1404-122	POULIN EDWARD P	592 WEBSTER ST	LEWISTON ME 04240
12 RIDGE RD	122-28	6691-141	GENDRON DAVID M	1290 LISBON ST	LEWISTON ME 04240

*Affordable Well Drilling, Inc.*

*28 Bowdoinham Rd*

*Sabattus, ME 04280*

*Phone: 207-375-7204 Fax: 207-375-7205*

*email: affordablewelldrillinginc@gmail.com*

To Whom it May Concern;

I have reviewed our well records and information published by the Maine Geological Survey with respect to the availability of water to serve the needs for the wells proposed off Pagoma Ln. & Webster St.( LeBlanc Sub Division) in Lewiston. Wells in this area obtain drinking water from fractured bedrock aquifers. Based on my research, knowledge and experience of drilling wells in this area, it is my opinion that ground water should be sufficient in both quantity and quality to serve the needs of the proposed subdivision. Treatment, however, in some cases is needed for excessive mineral content. Accordingly, my opinion that groundwater should be available in adequate supply should not be considered a guarantee by Affordable Well Drilling, Inc.

Sincerely,

*James R Bisson*

James Bisson  
DL# 0014

## ROAD MAINTENANCE AGREEMENT

This Agreement is made this \_\_\_\_ day of \_\_\_\_\_, 2015

AMONG Jesse and Jamie LeBlanc, with an address at 279 Webster Street, Lewiston, Maine 04240;

AND Lucas Mawhinney, with an address at 10320 Sabattus Street, Lewiston, Maine 04240.

AND Giles N. and Claire M. Leblanc, with an address at 29 Pagoma Lane, Lewiston, Maine 04240.

### RECITALS

1. Giles N. and Claire M. LeBlanc are the owners of certain real property identified on a plan for LeBlanc Subdivision dated August 27, 2015, prepared by Davis Land Surveying, LLC, which plan is to be recorded in the Androscoggin County Registry of Deeds as Plan File # \_\_\_\_\_ (hereinafter the "Plan"), and which property abuts a portion of Fawkes Drive and being real property described in a deed recorded in the Androscoggin County Registry of Deeds in Book 1891, Page 73.

2. Jesse and Jamie LeBlanc are the owners of certain real property identified as Lot 2, on a plan for LeBlanc Subdivision dated August 27, 2015, prepared by Davis Land Surveying, LLC, which plan is to be recorded in the Androscoggin County Registry of Deeds as Plan File # \_\_\_\_\_ (hereinafter the "Plan"), and which Lot is made part of that real property described in a deed recorded in the Androscoggin County Registry of Deeds in Book 9155, Page 171.

3. Lucas Mawhinney is to be conveyed of certain real property in Lewiston, Maine, identified as Lot 3 on the "Plan", and which Lot 3 is described in a deed to be recorded in the Androscoggin County Registry. Said Lot 3 and shall hereinafter be referred to collectively as the "Lot".

4. Each of said Lots uses, or may use, Fawkes Drive to the end of the current traveled way, as shown on said Plan, and also including the 50' Frontage Right of Way as depicted on said Plan (hereinafter "LeBlanc Subdivision") for ingress and egress from and to Pagoma Lane, so called.

5. The parties hereto have reached an agreement with respect to the maintenance and repair of said Fawkes Drive.

6. The parties wish to subject their respective Lots to this Agreement in conjunction with the other current or future owners of any lots that are, or become part of, LeBlanc Subdivision and which lots are accessed via Fawkes Drive, and to confirm the rights and obligations arising from and related to the maintenance and repair of said Fawkes Drive as set forth herein.

## AGREEMENT

**NOW, THEREFORE**, for valuable consideration, the receipt and adequacy of which each of the parties does hereby acknowledge, the parties, intending to be legally bound, agree as follows:

**Section 1: Recitals.** The recital clauses set forth above are true and correct and are incorporated herein by reference as though set forth verbatim herein.

**Section 2: Easement.** The parties to this Agreement, owners of the respective Lots, have and hold certain rights in and to Fawkes Drive and the use thereof in accordance with their respective deeds conveying ownership of said Lots.

**Section 3: Maintenance.** The parties to this Agreement, owners of the Lots, shall share equally in the cost of ordinary and necessary maintenance of Fawkes Drive, including drainage easements for proposed Level Lip Spreaders outside right of way limits for Fawkes Drive and also including removal of snow and ice, except that the cost of construction, maintenance, repair or replacement of a utility service that serves only one of said Lots, shall be assumed by the owner(s) of said Lot. The owner(s) of any Lot shall be entitled to contribution from the owner(s) of the other Lots for the reasonable cost of such ordinary and necessary maintenance expended by said owner(s), including reasonable attorneys' fees and costs incurred in enforcing this provision.

**Section 4: Improvements.** The owner(s) of any of the Lots may, in their respective discretion, complete construction, maintenance, or repair that is not considered ordinary and necessary, which shall include, without limitation, construction, maintenance, or repair related to or arising from utility services to and for the respective owner's Lot, at their own expense, following thirty (30) days' written notice to the owner(s) of the other Lots of the intent to complete said construction, maintenance, or repair, without the aforementioned right of contribution. Any said construction, maintenance, or repair shall be performed in a good, workmanlike manner and will be of good quality, using materials suitable for the intended purpose. The foregoing notwithstanding, except as may be reasonably necessary in the proper exercise of the rights granted herein relative to Fawkes Drive, Fawkes Drive shall remain free of obstruction that may impede the free access of the owners of the Lots or their licensees or invitees.

The owners of the various Lots shall indemnify the other(s) and hold them harmless from all claims, demands, or suits arising from any work performed by or on behalf of said owner(s). In addition, said owner(s) shall promptly cause to be discharged any so-called mechanics' liens and the like placed on the other owners' Lots as a result of said work.

**Section 5: Successors and Assigns.** This Agreement and the rights and obligations set forth herein, shall be binding upon the respective parties' representatives, heirs, devisees, successors, and assigns, and shall be appurtenant to and run with the respective Lots.

**Section 6: Headings.** Section headings are for convenience only. They are not intended to expand or restrict the scope or the substance of the provisions of this Declaration.

**Section 7: Gender, Etc.** Wherever used in this Agreement, the singular shall include the plural, the plural shall include the singular, and pronouns shall be read as masculine, feminine or neuter as the context requires.

**Section 8: Governing Law.** This Agreement and the matters set forth herein shall be governed by the laws of the State of Maine.

**Section 9: Amendment.** This Agreement may not be amended, modified, or revoked, except by a writing signed by the party against whom enforcement of the amendment, modification, or revocation is sought.

**Section 10: Entire Agreement.** This is the entire agreement among the parties. There is no other agreement, oral or written, relating to this Agreement.

**Section 11: Severability.** If any provision of this Agreement shall be determined to be invalid or unenforceable in any respect or in any jurisdiction, the remaining provisions of this Declaration shall remain in full force and effect and shall be enforceable to the maximum extent permitted by applicable law.

**Section 12: Counterparts.** This Agreement may be signed on any number of counterparts with the same effect as if the signatures were on the same instrument.

OWNERS LOT 2

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Jesse LeBlanc

Witness

Jamie LeBlanc

-4-

OWNER LOT 3

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Lucas Mawhinney

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Giles LeBlanc

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Claire LeBlanc

**STATE OF MAINE  
ANDROSCOGGIN, SS.**

\_\_\_\_\_, 2015

Then personally appeared Jesse and Jamie LeBlanc and acknowledged the foregoing instrument to be their free act and deed.

Before me,

\_\_\_\_\_  
Notary Public/Attorney at Law

Printed Name: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

**STATE OF MAINE  
ANDROSCOGGIN, SS.**

\_\_\_\_\_, 2015

Then personally appeared Lucas Mawhinney and acknowledged the foregoing instrument to be his free act and deed.

Before me,

\_\_\_\_\_  
Notary Public/Attorney at Law

Printed Name: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

DEPARTMENT OF ENVIRONMENTAL PROTECTION  
**NRPA PERMIT BY RULE NOTIFICATION FORM**  
 (For use with DEP Regulation, Natural Resources Protection Act-Permit by Rule Standards, Chapter 305)

PLEASE TYPE OR PRINT IN BLACK INK ONLY

Name of Applicant: (owner)	Jesse & Jamie Leblanc	Name of Agent:	Stuart Davis
Applicant Mailing Address:	279 Webster Street	Agent Phone # (include area code):	207 240-9949
Town/City:	Lewiston	PROJECT Information Name of Town/City:	Lewiston
State and Zip code:	Maine 04240	Name of Wetland or Waterbody:	Hart Brook Watershed
Daytime Phone # (include area code):	207 245-6411	Map #:	121 & 122
		Lot #:	86

Detailed Directions to Site: Lewiston Exit I-95, north on Alfred Plourd Pkwy to Webster Street, left on Webster Street ±750' to project site on right.

UTM Northing: (if known)	44°05'24"N	UTM Easting: (if known)	70°10'34"W
-----------------------------	------------	----------------------------	------------

Description of Project: Upgrade and existing woods road with a gravel drive to access Lot 1 as shown on project plans as provided. Looking for reduction of 75' to 25' from wetland of special significance.

Part of a larger project? (check one) →	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	After the Fact? (check one) →	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Check one → This project <input type="checkbox"/> does (or) <input checked="" type="checkbox"/> does not involve work below mean low water (average low water).
--	--	----------------------------------	--	---

**NRPA PERMIT BY RULE (PBR) SECTIONS: (Check at least one)**

I am filing notice of my intent to carry out work which meets the requirements for Permit By Rule (PBR) under DEP Rules, Chapter 305. I and my agents, if any, have read and will comply with all of the standards in the Sections checked below.

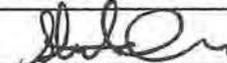
- |  |   |  |
|--|---|--|
| <input checked="" type="checkbox"/> Sec. (2) Act. Adj. to Protected Natural Res. | <input type="checkbox"/> Sec. (10) Stream Crossing                                | <input type="checkbox"/> Sec. (17) Transfers/Permit Extension  |
| <input type="checkbox"/> Sec. (3) Intake Pipes                                   | <input type="checkbox"/> Sec. (11) State Transportation Facil.                    | <input type="checkbox"/> Sec. (18) Maintenance Dredging  |
| <input type="checkbox"/> Sec. (4) Replacement of Structures                      | <input type="checkbox"/> Sec. (12) Restoration of Natural Areas                   | <input type="checkbox"/> Sec. (19) Activities in/on/over significant vernal pool habitat   |
| <input type="checkbox"/> Sec. (5) REPEALED                                       | <input type="checkbox"/> Sec. (13) F&W Creation/Enhance/Water Quality Improvement | <input type="checkbox"/> Sec. (20) Activities located in/on/over high or moderate value inland water-fowl & wading bird habitat or shore-bird feeding & roosting areas |
| <input type="checkbox"/> Sec. (6) Movement of Rocks or Vegetation                | <input type="checkbox"/> Sec. (14) REPEALED                                       |  |
| <input type="checkbox"/> Sec. (7) Outfall Pipes                                  | <input type="checkbox"/> Sec. (15) Public Boat Ramps                              |  |
| <input type="checkbox"/> Sec. (8) Shoreline stabilization                        | <input type="checkbox"/> Sec. (16) Coastal Sand Dune Projects                     |  |
| <input type="checkbox"/> Sec. (9) Utility Crossing                               |   |  |

**NOTIFICATION FORMS CANNOT BE ACCEPTED WITHOUT THE NECESSARY ATTACHMENTS:**

- Attach** a check for the correct fee, payable to: "Treasurer, State of Maine". The current fee for NRPA PBR Notifications can be found at the Department's website: <http://www.maine.gov/dep/feesched.pdf>
- Attach** a U.S.G.S. topo map or Maine Atlas & Gazetteer map with the project site clearly marked.
- Attach** Proof of Legal Name if applicant is a corporation, LLC, or other legal entity. Provide a copy of Secretary of State's registration information (available at <http://icrs.informe.org/nei-sos-icrs/ICRS?MainPage=x>). Individuals and municipalities are not required to provide any proof of identity.
- Attach** photos of the proposed site where activity will take place as required in PBR Sections checked above.
- Attach** all other required submissions as outlined in the PBR Sections checked above.

I authorize staff of the Departments of Environmental Protection, Inland Fisheries & Wildlife, and Marine Resources to access the project site for the purpose of determining compliance with the rules. I also understand that this permit is not valid until approved by the Department or 14 days after receipt by the Department, whichever is less.

By signing this Notification Form, I represent that the project meets all applicability requirements and standards in the rule and that the applicant has sufficient title, right, or interest in the property where the activity takes place.

Signature of Agent or Applicant:	Date:
	9-24-15

**Keep a copy as a record of permit.** Send the form with attachments via certified mail or hand deliver to the Maine Dept. of Environmental Protection at the appropriate regional office listed below. The DEP will send a copy to the Town Office as evidence of the DEP's receipt of notification. No further authorization by DEP will be issued after receipt of notice. Permits are valid for two years. Work carried out in violation of any standard is subject to enforcement action.

- |  |   |   |   |
|--|---|---|---|
| AUGUSTA DEP<br>17 STATE HOUSE STATION<br>AUGUSTA, ME 04333-0017<br>(207)287-3901 | PORTLAND DEP<br>312 CANCO ROAD<br>PORTLAND, ME 04103<br>(207)822-6300 | BANGOR DEP<br>106 HOGAN ROAD<br>BANGOR, ME 04401<br>(207)941-4570 | PRESQUE ISLE DEP<br>1235 CENTRAL DRIVE<br>PRESQUE ISLE, ME 04769<br>(207)764-0477 |
|--|---|---|---|

OFFICE USE ONLY	Ck.#	Date	Staff	Staff	After Photos
PBR #	FP		Acc. Date	Def. Date	

**Longchamps & Sons, Inc.**

**15 Lisbon St.**

**Lisbon, ME 04250**

**207-353-2349**

**Lewiston, city of**

**Pine St.**

**Lewiston, ME 04250**

**11-02-15**

**To whom this may concern:**

**Jaime & Jesse Leblanc have an on-going line of credit with Longchamps & Sons, Inc. They are completely capable of completing the quoted construction costs for Fawkes Drive in Lewiston. The estimated cost for this construction is estimated at \$24,560.00**

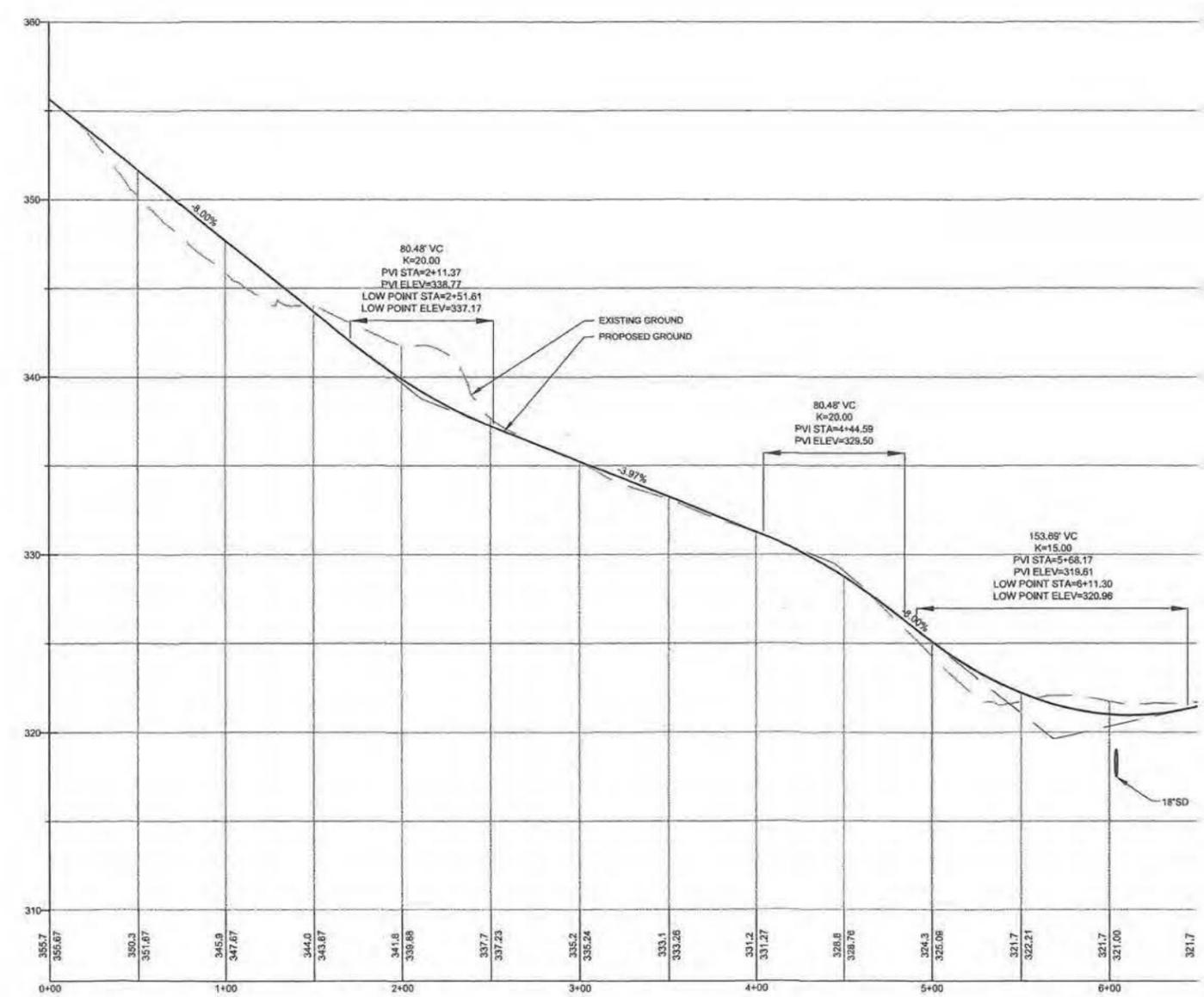
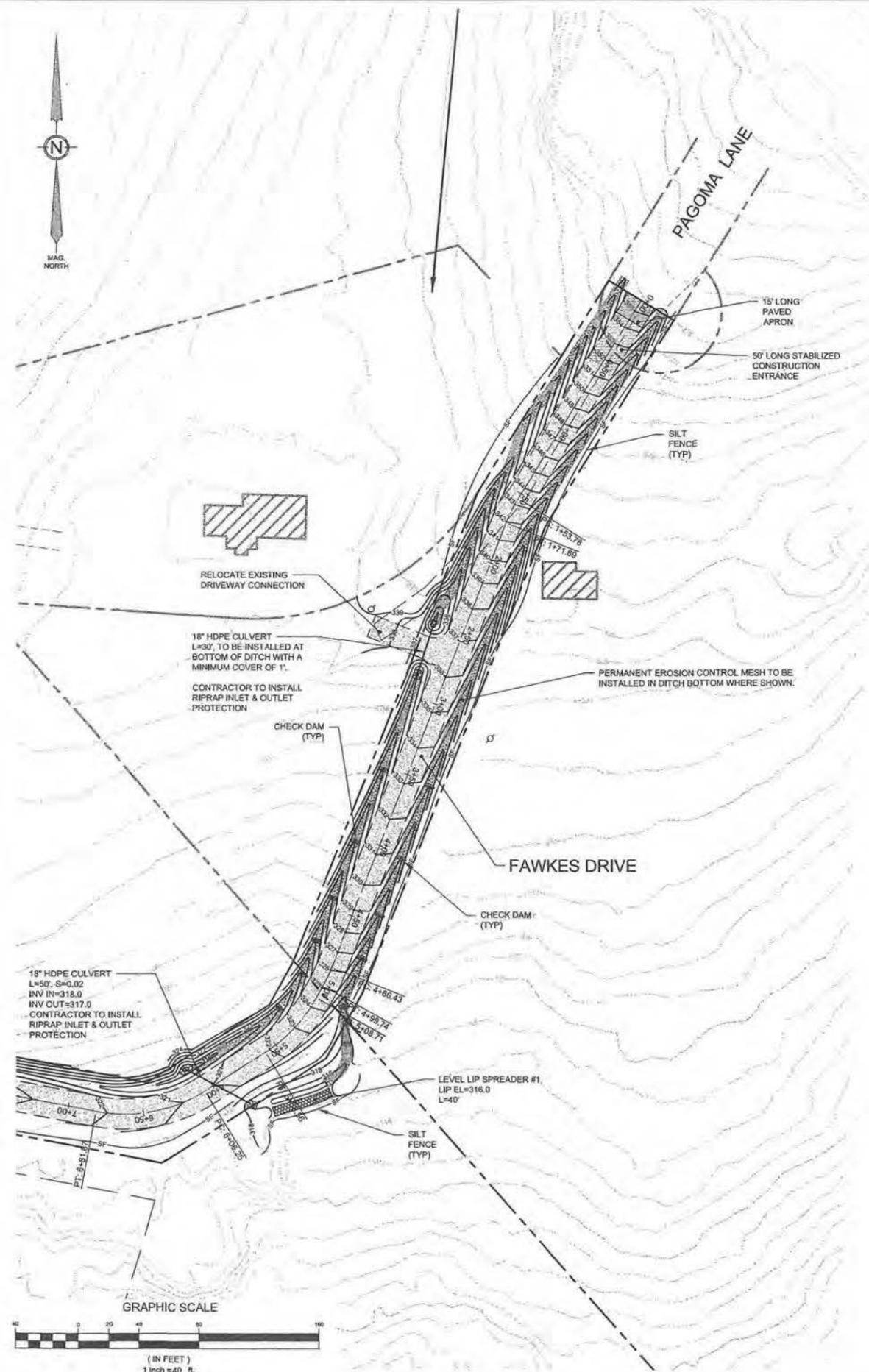
**Sincerely,**

**Longchamps & Sons, Inc.**

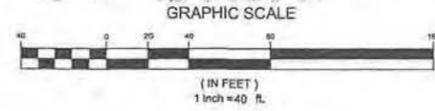




- LEGEND**
- EXISTING PROPERTY LINE
  - PROPOSED PROPERTY LINE
  - ROAD CENTERLINE
  - EXISTING MINOR CONTOUR
  - EXISTING MAJOR CONTOUR
  - PROPOSED CONTOUR
  - EXISTING STORMDRAIN
  - PROPOSED STORMDRAIN
  - EXISTING EDGE OF PAVEMENT
  - PROPOSED EDGE OF PAVEMENT
  - EXISTING EDGE OF GRAVEL
  - PROPOSED EDGE OF GRAVEL
  - SF SILT FENCE
  - EXISTING UTILITY POLE
  - PROPOSED SIGN
  - PROPOSED TRANSFORMER
  - EXISTING BUILDING
  - PROPOSED PAVEMENT
  - RIPRAP
  - FORESTED BUFFER AREA
  - WETLAND AREA
  - PERMANENT EROSION CONTROL FABRIC



**PROFILE OF FAWKES DRIVE: STATION 0+00 - 6+50**  
 SCALE: 1"=40' HORIZONTAL  
 1"=4' VERTICAL



NO.	DATE	REVISIONS
1	10/23/2015	REVISED PER CITY REVIEW COMMENTS

P.O. Box 339  
 111 Elderberry Lane  
 New Gloucester, ME 04260  
 Office: (207) 926-5111  
 Fax: (207) 221-1317  
 www.terradync consultants.com

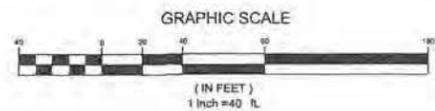
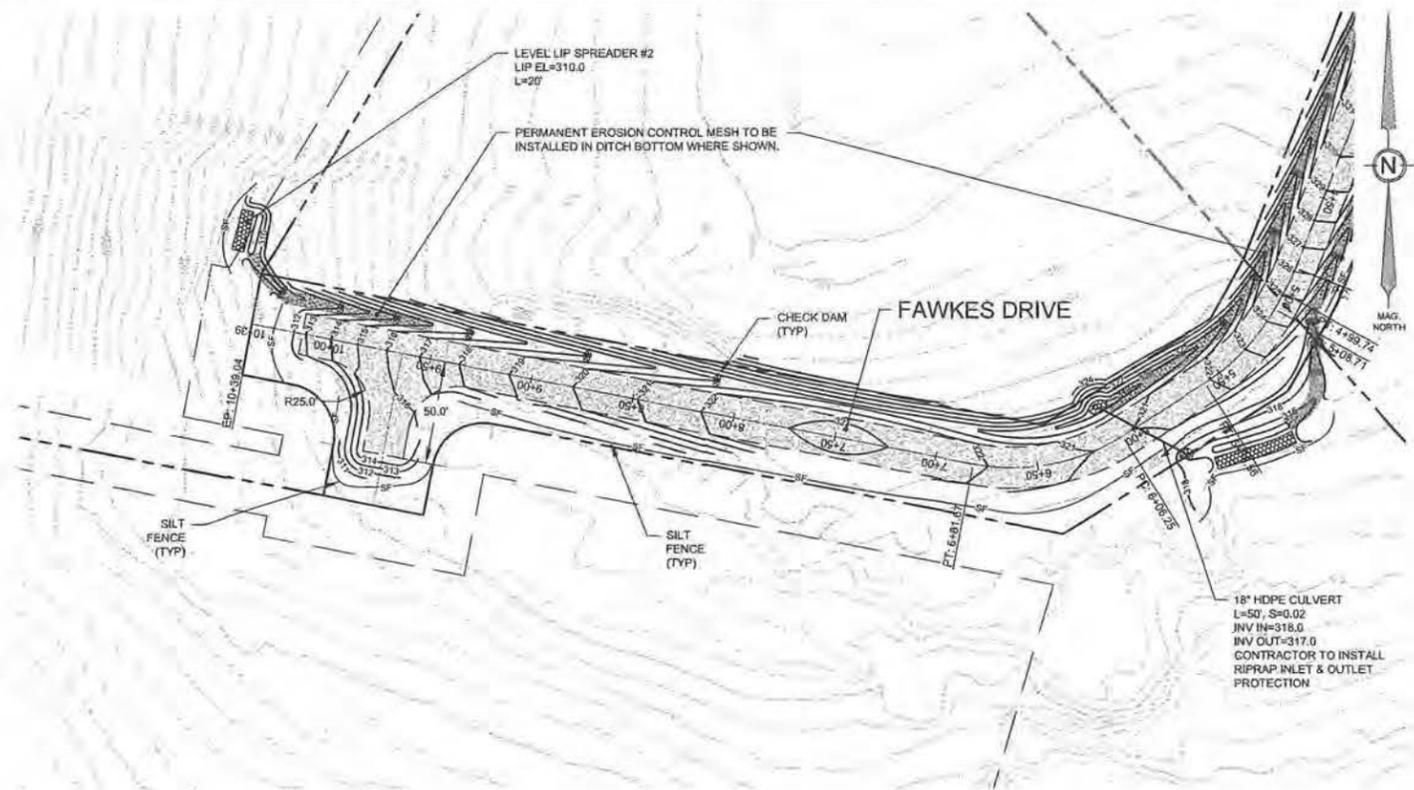
**TERRADYN**  
 CONSULTANTS, LLC

Civil Engineering - Land Planning - Stormwater Design - Environmental Permitting

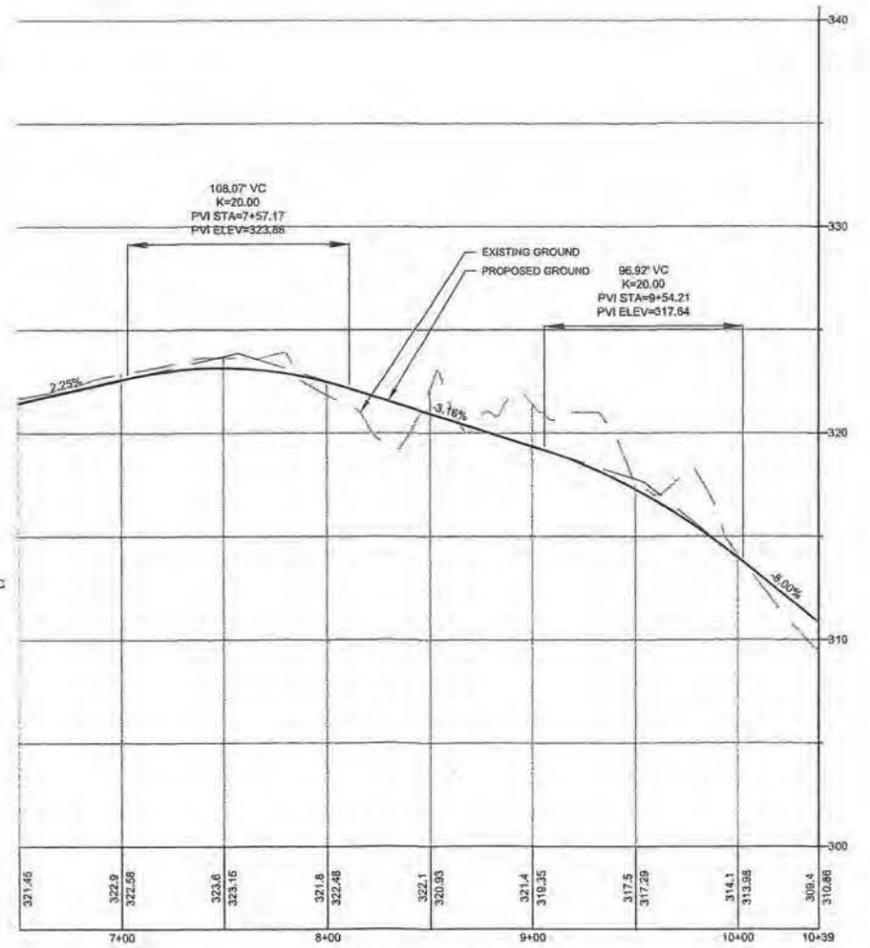
SHEET DESCRIPTION	LEBLANC SUBDIVISION
JOB NO.	1549
DATE	10/23/2015
SCALE	1"=40'
PREPARED FOR	MR. JESSIE LEBLANC
P.O. BOX 351	TURNER, MAINE 04282
SHEET	1
OF	3

**CONSTRUCTION NOTES**

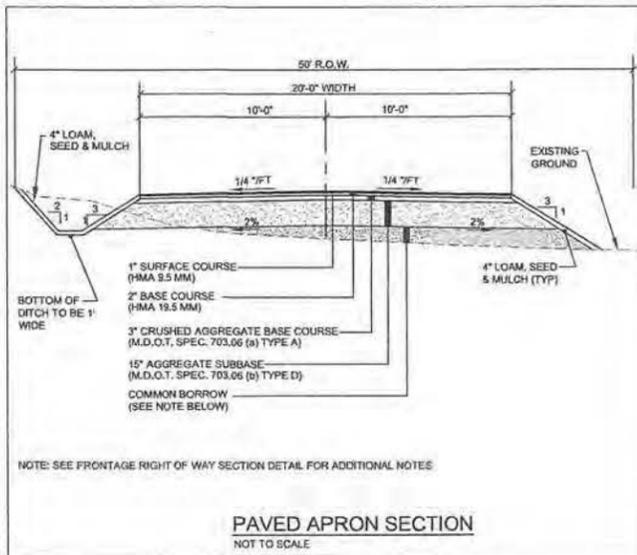
- All work shall conform to the applicable codes and ordinances.
- Contractor shall visit the site and familiarize him or herself with all conditions affecting the proposed work and shall make provisions as to the cost thereof. Contractor shall be responsible for familiarizing him or herself with all contract documents, field conditions and dimensions and confirming that the work may be accomplished as shown prior to proceeding with construction. Any discrepancies shall be brought to the attention of the engineer prior to the commencement of work.
- Contractor shall notify engineer of all products or items noted as "existing" which are not found in the field.
- Install all equipment and materials in accordance with manufacturer's recommendations and owner's requirements unless specifically otherwise indicated or where local codes or regulations take precedence.
- Contractor shall verify all dimensions and conditions in the field prior to fabrication and erection of any material. Any unusual conditions shall be reported to the attention of the engineer.
- Contractor shall clean and remove debris and sediment deposited on public streets, sidewalks, adjacent areas, or other public ways due to construction.
- Contractor shall incorporate provisions as necessary in construction to protect existing structures, physical features, and maintain site stability during construction. Contractor shall restore all areas to original condition and as directed by design drawings.
- Site contractor shall obtain all required permits prior to construction.
- All erosion and sediment control measures shall be installed in accordance with "maine erosion and sedimentation control handbook for construction: best management practices" published by the Cumberland county soil and water conservation district and maine department of environmental protection, march 2004 or latest edition. It shall be the responsibility of the contractor to possess a copy of the erosion control plan at all times.
- The contractor is hereby cautioned that all site features shown hereon are based on field observations by the surveyor and by information provided by utility companies. The information is not to be relied on as being exact or complete. The contractor shall contact dig safe (1-888-digsafe) at least three (3) but not more than thirty (30) days prior to commencement of excavation or demolition to verify horizontal and vertical location of all utilities.
- Contractor shall be aware that dig safe only notifies its "member" utilities about the dig. When notified, dig safe will advise contractor of member utilities in the area. Contractor is responsible for identifying and contacting non-member utilities directly. Non-member utilities may include town or city water and sewer districts and small local utilities, as well as underground utility systems.
- Contractors shall be responsible for compliance with the requirements of 23 mrsa 3360-a. It shall be the responsibility of the contractor to coordinate with the appropriate utilities to obtain authorization prior to relocation of any existing utilities which conflict with the proposed improvements shown on these plans. If a utility conflict arises, the contractor shall immediately notify the owner, the municipality and appropriate utility company prior to proceeding with any relocation.
- All pavement markings and directional signage shown on the plan shall conform to the manual of uniform traffic control devices (mutcd) standards.
- All pavement joints shall be sawcut prior to paving to provide a durable and uniform joint.
- No holes, trenches or structures shall be left open overnight in any excavation accessible to the public or in public rights-of-way.
- All work within the public right-of-way shall require a M.D.O.T. Permit as well as permits from the town as applicable.
- The proposed limits of clearing shown hereon are approximate based upon the proposed limits of site grading. The applicant reserves the right to perform normal forest management activities outside of the clearing limit as shown. Tree removal outside of the limits of clearing may be necessary to remove dead or dying trees or tree limbs. This removal is due to potential safety hazards and to promote proper forest growth.
- Immediately upon completion of cuts/fills, the contractor shall stabilize disturbed areas in accordance with erosion control notes and as specified on plans.
- The contractor shall be fully and solely responsible for the removal, replacement and rectification of all damaged and defective material and workmanship in connection with the contract work. The contractor shall replace or repair as directed by the owner all such damaged or defective materials which appear within a period of one year from the date of substantial completion.
- All work performed by the general contractor and/or trade subcontractor shall conform to the requirements of local, state or federal laws, as well as any other governing requirements, whether or not specified on the drawings.
- Where the terms "approved equal", "other approved", "equal to", "acceptable" or other general qualifying terms are used in these notes, it shall be understood that reference is made to the ruling and judgment of terradyne consultants, llc.
- The general contractor shall provide all necessary protection for the work until turned over to the owner.
- The general contractor shall maintain a current and complete set of construction drawings on site during all phases of construction for use of all trades.
- The contractor shall take full responsibility for any changes and deviation of approved plans not authorized by the architect/engineer and/or client/owner.
- Details are intended to show and result of design. Any modification to suit field dimension and condition shall be submitted to the engineer for review and approval prior to any work.
- Before the final acceptance of the project, the contractor shall remove all equipment and materials, repair or replace private or public property which may have been damaged or destroyed during construction, clean the areas within and adjacent to the project which have been obstructed by his/her operations, and leave the project area neat and presentable.



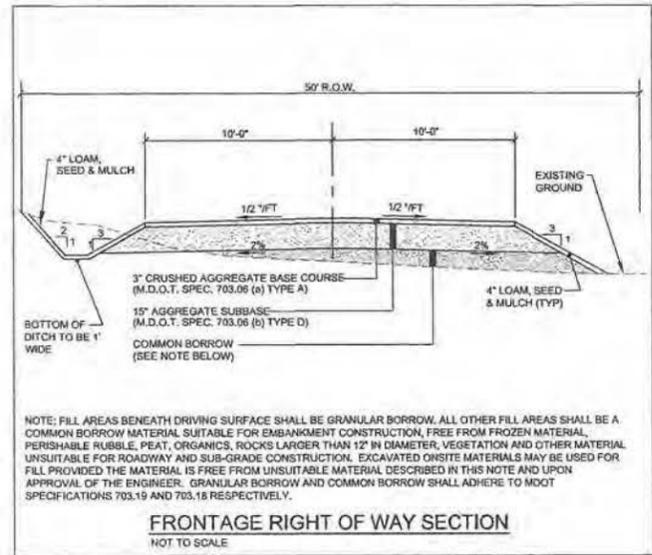
- LEGEND**
- EXISTING PROPERTY LINE
  - PROPOSED PROPERTY LINE
  - ROAD CENTERLINE
  - EXISTING MINOR CONTOUR
  - EXISTING MAJOR CONTOUR
  - PROPOSED CONTOUR
  - EXISTING STORMDRAIN
  - PROPOSED STORMDRAIN
  - EXISTING EDGE OF PAVEMENT
  - PROPOSED EDGE OF PAVEMENT
  - EXISTING EDGE OF GRAVEL
  - PROPOSED EDGE OF GRAVEL
  - SF SILT FENCE
  - EXISTING UTILITY POLE
  - PROPOSED SIGN
  - PROPOSED TRANSFORMER
  - EXISTING BUILDING
  - PROPOSED PAVEMENT
  - RIPRAP
  - FORESTED BUFFER AREA
  - WETLAND AREA
  - PERMANENT EROSION CONTROL FABRIC



**PROFILE OF FAWKES DRIVE: STATION 6+50 - END**  
 SCALE: 1"=40' HORIZONTAL  
 1"=4' VERTICAL



**PAVED APRON SECTION**  
 NOT TO SCALE



**FRONTAGE RIGHT OF WAY SECTION**  
 NOT TO SCALE



NO.	DATE	REVISIONS
1	10/23/2015	REVISED PER CITY REVIEW COMMENTS

P.O. Box 339  
 111 Elderberry Lane  
 New Gloucester, ME 04260  
 Office: (207) 926-5111  
 Fax: (207) 221-1317  
 www.terradyneconsultants.com

**TERRADYNE CONSULTANTS, LLC**  
 Civil Engineering - Land Planning - Stormwater Design - Environmental Permitting

SHEET DESCRIPTION	
LEBLANC SUBDIVISION PLAN & PROFILE SHEET	
PREPARED FOR	MR. JESSIE LEBLANC
JOB NO.	1549
DATE	10/23/2015
SCALE	1"=40'
SHEET	2
OF	3

# EROSION AND SEDIMENT CONTROL PLAN

## Pre-Construction Phase

A person who conducts, or causes to be conducted, an activity that involves filling, displacing or exposing soil or other earthen materials shall take measures to prevent unreasonable erosion of soil or sediment beyond the project site or into a protected natural resource as defined in 38 MRS § 440-b. Erosion control measures must be in place before the activity begins. Measures must remain in place and functional until the site is permanently stabilized. Adequate and timely temporary and permanent stabilization measures must be taken. This site must be maintained to prevent unreasonable erosion and sedimentation. Minimize disturbed areas and protect natural down-gradient buffer areas to the extent practicable.

## BMP Construction Phase

A. Sediment barriers. Prior to the beginning of any construction, properly install sediment barriers at the edge of any down-gradient disturbed area and adjacent to any drainage channels within the proposed disturbed area. Maintain the sediment barriers until the disturbed area is permanently stabilized.

B. Construction entrance: Prior to any clearing or grubbing, a construction entrance shall be constructed at the intersection with the proposed access drive and the existing roadway to avoid tracking of mud, dust and debris from the site.

C. Riprap: Since riprap is used where erosion potential is high, construction must be sequenced so that the riprap is put in place with the minimum delay. Disturbance of areas where riprap is to be placed should be undertaken only when final preparation and placement of the riprap can follow immediately behind the initial disturbance. Where riprap is used for outlet protection, the riprap should be placed before or in conjunction with the construction of the pipe or channel so that it is in place when the pipe or channel begins to operate. Maintain temporary riprap, such as temporary check dams until the disturbed area is permanently stabilized.

D. Temporary stabilization. Stabilize with temporary seeding, mulch, or other non-erodible cover any exposed soils that will remain unworked for more than 14 days except, stabilize areas within 100 feet of a wetland or waterbody within 7 days or prior to a predicted storm event, whichever comes first. If hay or straw mulch is used, the application rate must be 2 bales (70-90 pounds) per 1000 sq ft or 1.5 to 2 tons (80-100 bales) per acre to cover 75 to 80% of the ground surface. Hay mulch must be kept moist or anchored to prevent wind blowing. An erosion control blanket or mat shall be used at the base of graded waterways, steep slopes (15% or greater) and on any disturbed soil within 100 feet of lakes, streams and wetlands. Grading shall be planned so as to minimize the length of time between initial soil exposure and final grading. On large projects this should be accomplished by phasing the operation and completing the first phase up to final grading and seeding before starting the second phase, and so on.

E. Vegetated waterway. Upon final grading, the disturbed areas shall be immediately seeded to permanent vegetation and mulched and will not be used as outdoor storage until a dense, vigorous vegetative cover has been obtained. Once soil is exposed for waterway construction, it should be immediately shaped, graded and stabilized. Vegetated waterways need to be established early during the growing season (prior to September 15). If final seeding of waterways is delayed post September 15, emergency provisions such as sod or riprap may be required to stabilize the channel. Waterways should be fully stabilized prior to directing runoff to them.

## Permanent stabilization defined

A. Seeded areas. For seeded areas, permanent stabilization means an 90% cover of the disturbed area with mature, healthy plants with no evidence of washing or rilling of the topsoil.

B. Sodded areas. For sodded areas, permanent stabilization means the complete binding of the sod roots into the underlying soil with no slumping of the sod or die-off.

C. Permanent mulch. For mulched areas, permanent stabilization means total coverage of the exposed area with an approved mulch material. Erosion control mat may be used as mulch for permanent stabilization according to the approved application rates and limitations.

D. Riprap. For areas stabilized with riprap, permanent stabilization means that slopes stabilized with riprap have an appropriate backing of a well-graded gravel or approved geotextile to prevent soil movement from behind the riprap. Stone must be sized appropriately. It is recommended that angular stone be used.

E. Agricultural use. For construction projects on land used for agricultural purposes (e.g., pipelines across crop land), permanent stabilization may be accomplished by returning the disturbed land to agricultural use.

F. Paved areas. For paved areas, permanent stabilization means the placement of the compacted gravel subbase is completed.

G. Ditches, channels, and swales. For open channels, permanent stabilization means the channel is stabilized with mature vegetation or least three inches in height, with well-graded riprap, or with another non-erodible lining capable of withstanding the anticipated flow velocities and flow depths without reliance on check dams to slow flow. There must be no evidence of slumping of the lining, undercutting of the banks, or down-cutting of the channel.

## General Construction Phase

The following erosion control measures shall be followed by the contractor throughout construction of this project.

A. All topsoil shall be collected, stockpiled, seeded with rye at 3 pounds/1,000 sq ft and mulched, and reused as required. Soil lending shall be placed down gradient from the stockpiled loam. Stockpile to be located by designation of the owner and inspecting engineer.

B. The inspecting engineer at his/her discretion, may require additional erosion control measures and/or supplemental vegetative provisions to maintain stability of earthworks and finish graded areas. The contractor shall be responsible for providing and installing any supplemental measures as directed by the inspecting engineer. Failure to comply with the engineer's directions will result in discontinuation of construction activities.

C. Erosion control mesh shall be applied in accordance with the plans over all finish seeded areas as specified on the design plans.

D. All graded or disturbed areas including slopes shall be protected during clearing and construction in accordance with this approved erosion and sediment control plan until they are adequately stabilized.

E. All erosion and sediment control practices and measures shall be constructed, applied and maintained in accordance with the approved erosion and sediment control plan.

F. Areas to be filled shall be cleared, grubbed and stripped of topsoil to remove trees, vegetation, roots or other objectionable materials.

G. Areas shall be scarified to a minimum depth of 3 inches prior to placement of topsoil.

H. All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures and conduits, etc., shall be compacted in accordance with local requirements or codes.

I. All fills shall be placed and compacted in layers not to exceed 6 inches in thickness.

J. Except for approved landfill or non-structural fills, fill material shall be free of brush, rubbish, rocks, logs, stumps, building debris and other objectionable materials that would interfere with or prevent construction of satisfactory fills.

K. Frozen material or soft, muddy or highly compressible materials shall not be incorporated into fill slopes or structural fills.

L. Fill shall not be placed on a frozen foundation.

M. Slopes or springs encountered during construction shall be handled appropriately.

N. All graded areas shall be permanently stabilized immediately following finished grading.

O. Remove any temporary control measures, such as silt fence, within 30 days after permanent stabilization is attained. Remove any accumulated sediments and standing.

## Permanent vegetation

Permanent vegetative cover should be established on disturbed areas where permanent, long lived vegetative cover is needed to stabilize the soil, to reduce damages from sediment and runoff, and to enhance the environment.

## Seeded preparation

A. Grade as feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application and anchoring, and maintenance.

B. Apply limestone and fertilizer according to soil tests such as those offered by the university of Maine soil testing laboratory. Soil sample matters are available from the local cooperatives extension service office. If soil testing is not feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 600 pounds per acre or 18.4 pounds per 1,000 square feet (using 10-20-20 (N-P2O5-K2O) or equivalent. Apply ground limestone (equivalent to 50% calcium plus magnesium oxide) at a rate of 3 tons per acre (138 lb. Per 1,000 sq. Ft.)

C. Work lime and fertilizer into the soil as nearly as practical to a depth of 4 inches with a disc, spring tooth harrow or other suitable equipment. The final harrowing operation should be on the general contour. Continue tillage until a reasonably uniform, fine seedbed is prepared. All but clay or silty soils and coarse sands should be rolled to firm the seedbed wherever feasible. D. Remove from the surface all stones 2 inches or larger in any dimension. Remove all other debris, such as wire, cable, tree roots, concrete, clots, lumps or other unsuitable material.

E. Insect seedbed just before seeding. If traffic has left the soil compacted, the area must be filled and firmed as above.

F. Permanent seeding should be made 45 days prior to the first killing frost or as a dormant seeding with mulch after the first killing frost and before snowfall. When crown vetch is seeded in later summer, at least 35% of the seed should be hard seed (unscarified). If seeding cannot be done within the seeding dates, mulch according to the temporary mulching map and overwinter stabilization and construction to protect the site and delay seeding until the next recommended seeding period.

G. Following seed bed preparation, swale areas, fill areas and back slopes shall be seeded at a rate of 3 lbs./1,000 sq. Ft. With a mixture of 35% creeping red f. Fescue, 6% red top, 24% Kentucky bluegrass, 10% perennial ryegrass, 20% annual ryegrass and 5% white Dutch clover.

I. Areas which have been temporarily or permanently seeded shall be mulched immediately following seeding.

J. Areas which cannot be seeded within the growing season shall be mulched for over-winter protection and the area should be seeded at the beginning of the growing season.

## Winter construction phase

If an area is not stabilized with temporary or permanent measures by November 15, then the site must be protected with additional stabilization measures.

A. Permanent stabilization consists of at least 80% vegetation, pavement/gravel base or riprap.

B. Do not expose slopes or leave slopes exposed over the winter or for any other extended time of work suspension unless fully protected with mulch.

C. Apply hay mulch at twice the standard rate (150 lbs. Per 1,000 sq. Ft.) The mulch must be thick enough such that the ground surface will not be visible and must be anchored.

D. Use mulch and mulch netting or an erosion control mulch blanket on all slopes greater than 2% or other areas exposed to direct wind.

E. Install an erosion control blanket in all drainageways (bottom and sides) with a slope greater than 3%.

F. See the vegetation measures for more information on seeding dates and types.

G. Winter excavation and earthwork shall be completed so that no more than 1 acre of the site is without stabilization at any one time.

H. An area within 100 feet of a protected natural resource must be protected with a double row of sediment barrier.

I. Temporary mulch must be applied within 7 days of soil exposure or prior to any storm event, but after every workday in areas within 100 feet from a protected natural resource.

J. Areas that have been brought to final grade must be permanently mulched that same day.

K. If snowfall is greater than 1 inch (fresh or cumulative), the snow shall be removed from the areas due to be seeded and mulched.

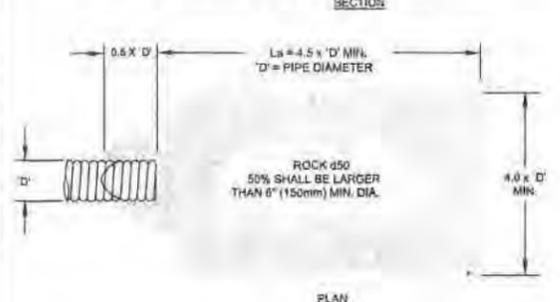
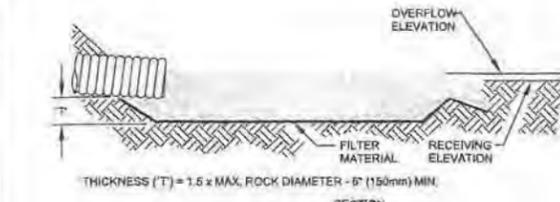
L. Loam shall be free of frozen clumps before it is applied.

M. All vegetated ditch lines that have not been stabilized by November 1, or will be worked during the winter construction period, must be stabilized with an appropriate stone lining backed by an appropriate gravel bed or geotextile unless specifically released from this standard by the department.

## Maintenance and inspection phase

A. Contractor shall inspect disturbed and impervious areas, and erosion and stormwater control measures, areas used for storage that are exposed to precipitation, and locations where vehicles enter or exit the parcel at least once a week and before and after a storm event, prior to completion of permanent stabilization. A person with knowledge of erosion and stormwater must conduct the inspection. This person must be identified in the inspection log. If best management practices (bmps) need to be modified or if additional bmps are necessary, implementation must be completed within 7 calendar days and prior to any storm event (rainfall). All measures must be maintained in effective operating condition until areas are permanently stabilized.

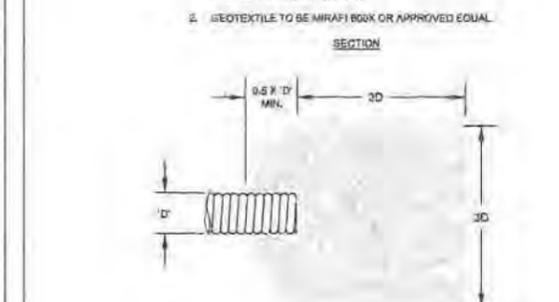
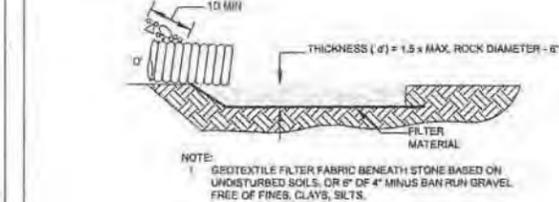
B. A log (report) must be kept summarizing the scope of the inspection, name(s) and qualifications of the personnel making the inspection, the date(s) of the inspection, and major observations relating to operation of erosion and sedimentation controls and pollution prevention measures. Major observations must include: bmps that need to be maintained; location(s) of bmps that failed to operate as designed or proved inadequate for a particular location; and location(s) where additional bmps are needed that did not exist at the time of inspection. Follow-up to correct deficiencies or enhance controls must also be indicated in the log and dated, including what action was taken and when.



PIPE SIZE (IN)	LENGTH (FT)	WIDTH (FT)
6	2.5	2.0
8	3.0	2.0
12	5.0	4.0
15	6.25	5.0
18	7.5	6.0
24	10.0	8.0
30	13.0	10.0
36	15.0	12.0
42	17.5	14.0
48	20.0	16.0
60	25.0	20.0

- NOTES:
1. "Ls" = LENGTH OF APRON, DISTANCE "Ls" SHALL BE OF SUFFICIENT LENGTH TO DISSIPATE ENERGY.
  2. APRON SHALL BE SET AT A ZERO GRADE AND ALIGNED STRAIGHT.
  3. FILTER MATERIAL SHALL BE FILTER FABRIC (MIRAFI 600X OR APPROVED EQUAL) OR 6" (150mm) THICK MINIMUM GRADED GRAVEL LAYER.

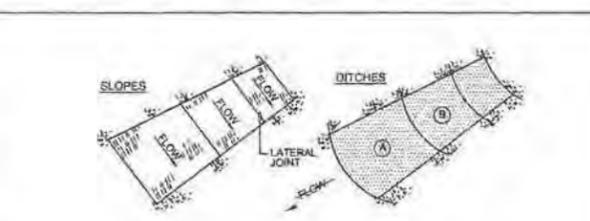
PIPE OUTLET PROTECTION  
NOT TO SCALE



PIPE SIZE (IN)	LENGTH (FT)	WIDTH (FT)
6	1.5	1.5
8	3.0	3.0
12	4.5	3.75
15	5.25	4.5
24	7.0	6.0
30	8.75	7.5
36	10.5	9.0
42	12.25	10.5
48	14.0	12.0
60	17.5	15.0

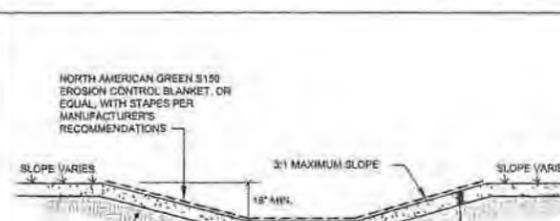
- NOTES:
1. IN DEFINED CHANNELS, APRON SHALL EXTEND FULL WIDTH OF BOTTOM AND ONE FOOT ABOVE MAX. HEADWATER OR UP TO BANK FULL, WHICHEVER IS LESS.

PIPE INLET PROTECTION  
NOT TO SCALE



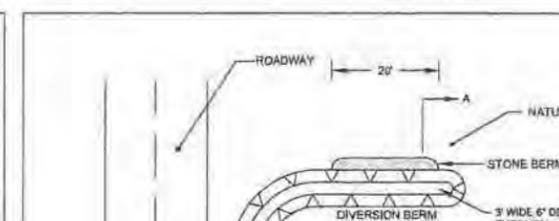
- NOTES:
1. BURY THE TOP END OF THE MESH MATERIAL IN A 6" TRENCH AND BACKFILL AND TAMP TRENCHING SECURE END WITH STAPLES AT 6" SPACING, 4" DOWN FROM EXPOSED END.
  2. FLOW DIRECTION JOINTS TO HAVE UPPER END OF LOWER STRIP BURIED WITH UPPER LAYERS OVERLAPPED 4" AND STAPLED, OVERLAP B OVER A.
  3. LATERAL JOINTS TO HAVE 4" OVERLAP OF STRIPS, STAPLE 18" ON CENTER.
  4. STAPLE OUTSIDE LATERAL EDGE 2" ON CENTER.
  5. WIRE STAPLES TO BE MIN. OF #11 WIRE, 6" LONG & 1-1/2" WIDE.
  6. USE NORTH AMERICAN GREEN DS 150 (OR APPROVED EQUAL) ON SLOPES BETWEEN 4:1-2:1. USE NORTH AMERICAN GREEN VMAX SC250 PERMANENT TURF REINFORCEMENT MAT (OR APPROVED EQUAL) ON SLOPES 2:1 AND STEEPER.

EROSION CONTROL BLANKET  
NOT TO SCALE

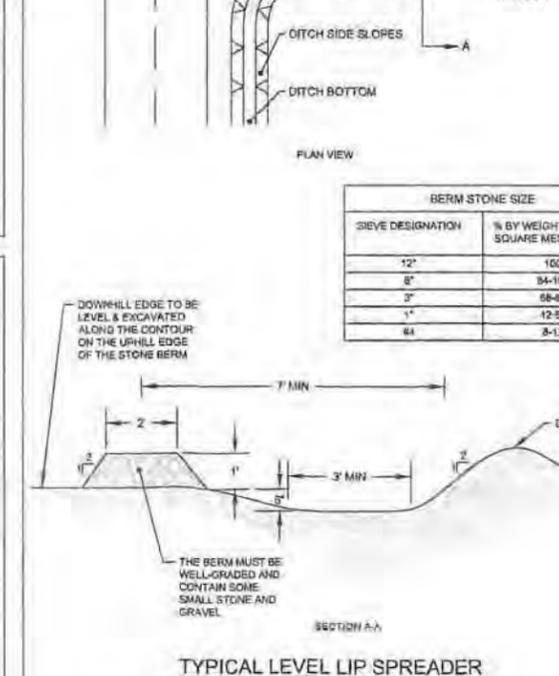


- NOTE: REFER TO GRADING PLAN FOR DITCH WIDTH AND SIDE SLOPES

GRASSED SWALE  
NOT TO SCALE

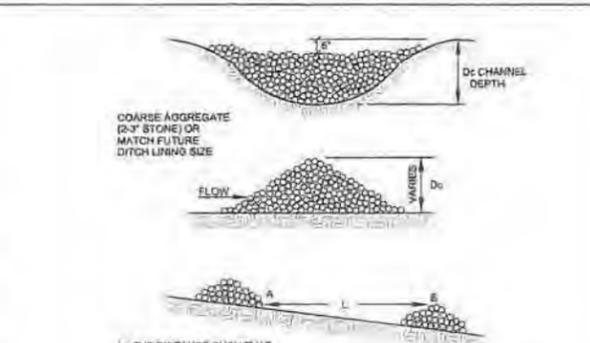


BERM WIDTH	% BY WEIGHT PASSING SQUARE MESH SIEVES
12'	100
8'	84-100
3'	66-83
1'	12-58
6"	8-12



- NOTES: CULVERT TO BE INSTALLED WITH A MINIMUM COVER OF 12"

DRIVEWAY CULVERT  
NOT TO SCALE



STONE CHECK DAM  
NOT TO SCALE



NO.	DATE	REVISIONS	APPROVED BY
1	10/23/2015	REVISED PER CITY REVIEW COMMENTS	JDA

P.O. Box 339  
111 Eberberry Lane  
New Gloucester, ME 04260  
Office: (207) 926-5111  
Fax: (207) 221-1317  
www.terradynconsultants.com



SHEET DESCRIPTION		JOB NO.	
LEBLANC SUBDIVISION		1549	
DETAILS & NOTES		SHEET	
		3	
		DATE	
		10/23/2015	
		SCALE	
		AS SHOWN	
		MR. JESSIE LEBLANC	
		P.O. BOX 351 TURNER, MAINE 04252	