

**CITY OF LEWISTON**  
**PLANNING BOARD MEETING**  
Monday, December 8, 2014 – 5:30 P.M.  
City Council Chambers – First Floor  
Lewiston City Building  
27 Pine Street, Lewiston

## **AGENDA**

**I. ROLL CALL**

**II. ADJUSTMENTS TO THE AGENDA**

**III. CORRESPONDENCE**

**IV. PUBLIC HEARINGS:**

- a) A request by Eben Dingman and Adam B Cox to amend the Zoning and Land Use Code, Article II. Definitions and Article XI. District Regulations, to allow light industrial uses limited to food and/or beverage facilities with restrictions as a permitted use in the Centreville (CV) district.
- b) An amendment to the Zoning and Land Use Code, Article XII, Section 17. Off-street Parking and Loading, to waive the parking requirements for nonresidential uses and reduce the number of parking spaces required for residential uses in the Riverfront (RF), Mill (M), and Centreville (CV) districts.

**V. OTHER BUSINESS:**

- a) Transfer Development Right: presentation by Bates College Students
- b) Residential Downtown Parking Requirement.
- c) Update on Simard Payne Park improvements.
- d) Any other business Planning Board Members may have relating to the duties of the Lewiston Planning Board.

**VI. READING OF THE MINUTES:** Motion to adopt the October 27, 2014, November 10, 2014 and November 24, 2014 draft minutes

**VII. ADJOURNMENT**

## Economic and Community Development



**To:** Planning Board Members  
**From:** Misty Parker, Economic Development Specialist  
**RE:** Food and/or Beverage Facility Amendment  
**Date:** December 4, 2014

Based on feedback from the Planning Board, staff has worked with the owners of Bear Bones Beer to develop an ordinance amendment to permit small breweries in the Centreville (CV) district. In doing so, the owners Eben Dingman and Adam B Cox have submitted a petition pursuant to Article XVII, Section 5 of the Zoning and Land Use Code to amend the Zoning and Land Use Code, Article II. Definitions and Article XI. District Regulations, to allow light industrial uses limited to food and/or beverage facilities with restrictions as a permitted use in the CV district.

The Planning Board agreed small operations like breweries, distilleries, or coffee roasters would be appropriate uses in the Centreville district as long as they were limited in size and standards were appropriate to reduce their impact. The proposed recommendation provides a food and beverage category that would allow small businesses within this realm to be permitted. Planning Board also suggested addressing such uses on a conditional basis as an approach to permitting them.

Currently permitted in the Centreville district are commercial bakeries and printing facilities (i.e. the Sun Journal), both considered industrial uses, and the only conditional use permitted in this district is for power transmission lines, substations, and other public or communication utilities. Staff felt with appropriate definition and a restriction, including limiting the size to what is currently leased by Bear Bones, allowing small specialty food/beverage facilities would serve the district appropriately and minimize potential negative impacts.

Additionally, language was recommended that clearly defines the operation of microbrewery to specifically differentiate it from drinking establishments. One requirement will be that the only alcohol served shall be what is produced on site.

It is at the Planning Board's discretion what you feel is most appropriate for how to permit this small brewery. Staff has reviewed the proposed language and is in support of the proposal.

## **ACTIONS NECESSARY**

1. Make a motion to consider a petition submitted by Eben Dingman and Adam B Cox to amend the Zoning and Land Use Code, Article II. Definitions and Article XI. District Regulations, to allow light industrial uses limited to food and/or beverage facilities with restrictions as a permitted use in the Centreville (CV) district;
2. Obtain input on the petition;
3. Make a motion pursuant to Article VII, Section 4 and Article XVII, Section 5 of the Zoning and Land Use Code to send a favorable recommendation for the City Council's consideration to amend Zoning and Land Use Code, Article II. Definitions and Article XI. District Regulations, to allow light industrial uses limited to food and/or beverage facilities with restrictions as a permitted use in the Centreville (CV) district (subject to any concerns raised by the Planning Board or staff).

# BEAR BONES BEER

@ 43 Lisbon Street, Lewiston ME

Monday, December 8th 2014

Dear Planning Board Members,

We at Bear Bones Beer continue to pursue an amendment to the zoning laws to expand the opportunities for small artisanal companies to grow and develop in the heart of Lewiston's downtown. The current zoning of the downtown bans outright all light industry and we would like to petition an amendment in this zoning law to allow for small storefront retail oriented businesses to be able to operate in this burgeoning downtown environment.

We will maintain an attractive storefront, keeping window spaces unobstructed and visible. This is to ensure even if light industrial activities are occurring they are contributing to the pedestrian oriented commercial downtown. Another key feature of the amendment is the limiting size of the space, having a cap on 8,000 sq ft ensures the city that no single business will dominate the area.

Bear Bones Beer will be open to all ages of the public to come see the craft and purchase our merchandise. Those of age, after providing sufficient identification, would be able to purchase tastings and or sealed bottles for off premise consumption. Due to our diminutive size (nano brewery), we would not be seeing heavy traffic for deliveries to or from the brewery, although we do expect to see an increase in foot traffic from customers excited for a new local tasting room. We have also been in communication with brew bus tours, who are looking forward to increasing their Lewiston tour to 2 stops. To be clear we are not a bar. We are not exclusionary to minors, would be closed by 10pm, and our core offering will be off premise consumables.

We have canvassed the downtown area, and received great support for our project and the proposed change zoning amendment.

Sincerely,

Adam B Cox and Eben Dingman

AN ORDINANCE PERTAINING TO MINCROBWERIES IN THE  
CENTREVILLE DISTRICT

THE CITY OF LEWISTON HEREBY ORDAINS:

Appendix A of the Code of Ordinances of the City of Lewiston, Maine is hereby amended as follows:

APPENDIX A

ZONING AND LAND USE CODE

Article II. Definitions.

Sec. 2. Definitions.

Unless otherwise expressly stated, the following words shall, for the purpose of this Code, have the meaning herein indicated:

Microbrewery means a limited-production brewery, typically producing specialty beers and often selling its products only locally or regionally.

Food and/or Beverage Facility means a facility wherein food and/or beverage is produced, sold on a wholesale or retail basis, distributed, and/or consumed on the premises as may be permitted by State of Maine law. This may include, but not be limited to, a microbrewery, coffee roaster and/or other facilities producing crafted alcoholic or non-alcoholic beverages and/or artisan food.

Article XI. District Regulations

(c) *Land Use Table* – uses appearing in the table are part of this Code and set forth the uses allowed in all district. (SEE TABLE: Light Industrial, CV)

*Land Use Table Notes*

(9) Must be fully enclosed with no exterior storage.

(38) Limited to Food and/or Beverage Facilities. These facilities shall be restricted to 8,000 gross square feet. All store front windows at street level shall remain unobstructed and provide two-way visibility. If facility is in the business of producing alcohol, sales of alcohol for consumption on site shall be limited to what is produced on site. Facilities shall contain a retail component open to all ages.

### **Reason for proposed amendment**

Microbreweries are currently classified as light industrial. Many home brewing operations are beginning to grow beyond home hobbies and looking for start-up opportunities to introduce their product to the general public. The opportunity to produce a product, share the process with customers, and sell directly to the public is a growing business model helping launch successful start-ups. Based on the size of many start-up businesses in the artisanal food and beverage craft, small commercial spaces where they can easily manufacture, market, and sell direct to consumers in thriving downtowns are ideal. Encompassing microbreweries within the category of food and/or beverage facility permits other appropriately similar businesses to be located in the Centreville district as well.

The proposed amendment:

- Restricts light industrial uses in the Centreville District to food and/or beverage facilities, including microbreweries.
- Requires storefront windows where food and/or beverage facilities in the Centreville District are located to remain unobstructed and visible; ensuring storefronts continue contributing to walkable commercial downtown areas.
- Directs facilities to be fully enclosed with no exterior storage.
- Limits the light industrial component of food and/or beverage facilities to 8,000 gross square feet.
- Only permits alcohol produced on site can be served on site. The establishment must contain a retail component and cannot restrict visitors based on age. State law permits only those of legal drinking age to consume alcohol.
- Noise, odor, and other potential impacts of concern are regulated through the existing Article XII, Section 19, Environmental Performance Standards.

### **Conformance with Comprehensive Plan**

- Review permitting and licensing policies and practices to see where they can be streamlined in order to better service the development community. . . (see Economy, Policy 1, Strategy C, p 39).
- Ensure that there are adequate land/buildings for expanding firms and entrepreneurial start-ups within Lewiston... (Economy, Policy 4, A, p40)
- Transform the downtown into a unique cultural and business district (Historic Preservation, Policy 1, Strategy B.1, p56)
- Encourage the orderly growth and development of the appropriate areas of the City while making efficient use of public services ... (Land Use, Goals, #1, page 123).

**PETITION TO AMEND THE CITY OF LEWISTON  
ZONING AND LAND USE CODE**

13

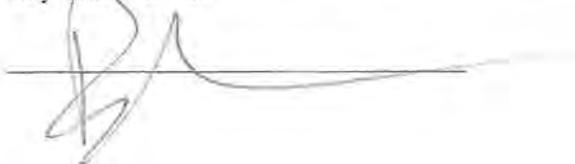
Pursuant to Appendix A, Article XVII, Section 5 "Amendments" of the City of Lewiston Zoning and Land Use Code, we the undersigned residents of the City of Lewiston, being eighteen (18) year of age or older, do hereby petition the City of Lewiston to amend the Centreville District to permit Light Industrial uses limited to food and/or beverage facilities as described in the exhibits attached hereto:

|    | SIGNATURE | PRINTED NAME                                   | PHYSICAL STREET ADDRESS (No PO Boxes) | DATE       |
|----|-----------|--|---------------------------------------|------------|
| 1  |           | Adam B Cox                                     | 48 Holland St. Apt 1                  | 11/23/14   |
| 2  |           | Tonya Jewell                                   | 48 Holland Apt #2                     | 11/23/14   |
| 3  |           | Dyllan A Jewell                                | 48 Holland St #2                      | 11/23/14   |
| 4  |           | Nicole <del>Ducharme</del> <sup>DUCHARME</sup> | 711 Lisbon St, Lewiston               | 11/23/14   |
| 5  |           | KEVIN ST. ONGE                                 | 126 POND RD<br>LEWISTON, ME 04240     | 11-23-2014 |
| 6  |           | Devan Irish                                    | 148 Golfer rd<br>Lewiston, ME         | 11/23/14   |
| 7  |           | RUSSELL CHARMA                                 | #645<br>Rudville Rd                   | 11-23-14   |
| 8  |           | Janet Verrill                                  | 400 Old Greene Rd<br>Lewiston         | 11/23/14   |
| 9  |           | Lou MAURICE                                    | 32 LAFAYETTE RD                       | 11/23/14   |
| 10 |           | Christine Doucette                             | 45 Wood St                            | 11/18/14   |
| 11 |           | STEVE DUSSAULT                                 | 12 MARGUERIT<br>ST                    | 11/23/14   |
| 12 |           | Ian MacMunn                                    | 150 college st.<br>Apt. 3             | 11/24/14   |
| 13 |           | Zachery Breaud                                 |                                       |            |
| 14 |           | Cari Jolin                                     | 84 Cumberland Ave<br>Apt 1            | 11/24/14   |
| 15 |           | Gerald Pulish                                  | 88 Howe St Apt 1                      | 11/24/14   |
| 16 |           | Shane Belmont                                  | 88 Howe St Apt 1                      | 11/24/14   |
| 17 |           | Audrey Chapman                                 | 10 Perrier St. <sup>Lewiston</sup> ME | 11/24/14   |

|    |                   |                   |              |          |
|----|-------------------|-------------------|--------------|----------|
| 18 | Sadie Lander      | Sadie Lander      | 435 East Ave | 11-23-14 |
| 19 | Mary Ellen Sheehy | MARY ELLEN SHEEHY | 75 Wood St   | 11/24/14 |
| 20 | Tyler Dault       | Tyler Dault       | 10 Libby Ave | 11/24/14 |

**CIRCULATOR=S VERIFICATION**

I hereby verify that I am the Circulator of this petition that all the signatures to this petition were made in my presence, at the best of my knowledge and belief, each signature is that of the person it purports to be, and each person is a resident of City of Lewiston.



Signature of Circulator



EBEN DZINGMAI  
Adam B Cox

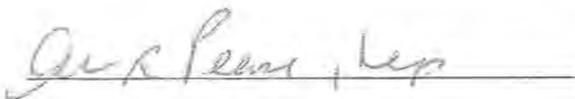
Printed Name of Circulator

Date 11/23-24/14

**REGISTRAR=S CERTIFICATION**

I hereby certify and verify that the names of all of the petitioners listed as valid appear on the voting list as registered voters in the City of Lewiston.

Total Valid: 13 Total Invalid: 6



Signature of Registrar/Deputy Registrar

11/24/14 Date: \_\_\_\_\_

| Land Use Table: All Zoning Districts<br>10.17.13   | Rural<br>Agricultural<br>(RA) | Low<br>Density<br>Residential<br>(LDR) | Suburban<br>Residential<br>(SR) | Medium<br>Density<br>Residential<br>(MDR) | Riverfront<br>(RF) | Neighborhood<br>Conservation<br>on "A"<br>(NCA) | Neighborhood<br>Conservation<br>on "B"<br>(NCB) | Office<br>Residential<br>(OR) | Downtown<br>Residential<br>(DR) | Institutional<br>Office (IO) | Community<br>Business<br>(CB) | Highway<br>Business<br>(HB) | Centreville<br>(CV) <sup>(26)</sup> | Office<br>Service<br>(OS) | Industrial<br>(I) | Urban<br>Enterprise | Mill (M) | Resource<br>Conservation<br>(RC) <sup>(18)</sup> | Groundwater<br>conservation<br>overlay<br>district<br>(GC) <sup>(22)</sup> | No Name<br>Pond<br>Conservation<br>Overlay<br>District<br>(NNP) <sup>(25)</sup> | Mobile<br>Home Park<br>overlay<br>district<br>(MH) <sup>(20)</sup> |
|--|-------------------------------|--|---------------------------------|---|--------------------|---|---|-------------------------------|---------------------------------|------------------------------|-------------------------------|-----------------------------|-------------------------------------|---------------------------|-------------------|---------------------|----------|--|--|---|--|
| <b>USES(15)(33)</b>  |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Accessory use or structure   | P                             | P                                      | P                               | P   | P                  | P   | P   | P                             | P                               | P                            | P                             | P                           | P                                   | P                         | P                 | P                   | P        | P  |  |   |  |
| <b>Commercial-Service</b>  |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Veterinary facilities excluding kennels and humane societies   |                               |  |                                 |   |                    |   |   | P                             |                                 | P                            | P                             | P                           |                                     |                           |                   |                     |          |  |  |   |  |
| Veterinary facilities including kennels and humane societies   | C                             |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     | P                         |                   | P                   |          |  |  |   |  |
| Small day care facilities  | C                             | P(22)                                  | P(22)                           | P(22)                                     |                    | P(22)   | P   | P                             | P                               | P                            | P                             | P                           |                                     | P                         | P                 | P                   |          |  |  |   |  |
| Day care centers   | C                             |  |                                 |   | P                  |   |   | P                             | P                               | P                            | P                             | P                           | P                                   | P                         | P                 | P                   | P        |  |  |   |  |
| Day care centers accessory to public schools, religious facilities, multifamily or mixed res. developments, and mobile home parks                |                               | C(22)                                  | C(22)                           | C(22)                                     |                    | C(22)   | C(22)   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Business and professional offices including research, experimental, testing laboratories, engineering, research, management and related services |                               |  |                                 |   | P(9)               |   | C(31)   | P(9)                          | P(9)                            | P                            | P(9)                          | P                           | P(9)                                | P                         | P                 | P                   | P        | P(6)   |  |   |  |
| Restaurants  |                               |  |                                 |   | P(1)               |   |   |                               | P(1)                            | P(5)                         | P(26)                         | P(26)                       | P(1)                                | P                         | P(6)              | P                   | P        | P(1)   |  |   |  |
| Drinking places  |                               |  |                                 |   | P                  |   |   |                               |                                 |                              | C                             | C                           | P                                   |                           | P(6)              |                     | P        |  |  |   |  |
| Adult business establishments  |                               |  |                                 |   |                    |   |   |                               |                                 |                              | C                             |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Hotels, motels, inns   |                               |  |                                 |   | P                  |   |   |                               | C                               | P(4)                         | P                             | P                           | P                                   | P                         |                   | P                   | P        |  |  |   |  |
| Movie theaters except drive-in theaters  |                               |  |                                 |   | P                  |   |   |                               | P                               |                              | P                             | P                           | P                                   | P                         |                   | P                   | P        |  |  |   |  |
| Places of indoor assembly, amusement or culture  |                               |  |                                 |   | P                  |   |   |                               |                                 |                              | P                             | P                           | P                                   | P                         |                   | P                   | P        |  |  |   |  |
| Art and crafts studios   |                               |  |                                 |   | P                  |   | C   |                               | P                               | C                            | P                             | P                           | P                                   | P                         |                   | P                   | P        |  |  |   |  |
| Personal Services  |                               |  |                                 |   | P                  |   | P   | P                             | P                               | P                            | P                             | P                           | P                                   | P                         | P(6)              | P                   | P        |  |  |   |  |
| Retail stores  |                               |  |                                 |   | P                  |   |   |                               | P                               |                              | P                             | P                           | P                                   | P                         | P(6)              | P                   | P        |  |  |   |  |
| Neighborhood retail stores   |                               |  |                                 | C(21)                                     |                    |   | P   |                               |                                 | C                            |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Lumber and building materials dealer   |                               |  |                                 |   |                    |   |   |                               |                                 |                              | C                             | P                           |                                     |                           |                   | P                   | P        |  |  |   |  |
| Gasoline service stations  |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               | P                           |                                     |                           |                   | P                   |          |  |  |   |  |
| Gasoline service stations which are a part of and subordinate to a retail use  |                               |  |                                 |   |                    |   |   |                               |                                 |                              | P                             | P                           |                                     |                           |                   |                     |          |  |  |   |  |
| New and used car dealers   |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               | P                           |                                     |                           |                   | P (8,17)            |          |  |  |   |  |
| Recreational vehicle, mobile home dealers  |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               | P                           |                                     |                           |                   | P                   |          |  |  |   |  |
| Equipment dealers and equipment repair   |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               | C                           |                                     |                           | P                 | P                   |          |  |  |   |  |
| Automotive services including repair   |                               |  |                                 |   |                    |   |   |                               |                                 |                              | P(9)                          | P                           |                                     |                           |                   | P                   | C(9)     |  |  |   |  |
| Registered dispensary(27)  |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               | C                           |                                     | C                         | C                 | C                   |          |  |  |   |  |
| Registered primary caregivers engaged in the cultivations of medical marijuana for two to five registered patients.                              |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               | P                           |                                     | P                         | P                 | P                   |          |  |  |   |  |
| <b>Industrial</b>  |                               |  |                                 |   |                    |   |   |                               |                                 |                              | C                             | C                           |                                     |                           |                   |                     |          |  |  |   |  |
| Light industrial uses  |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               | P(9)                        | P(9,38)                             | P                         | P                 | P                   | P        |  |  |   |  |
| Industrial uses  |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             | P(16)                               |                           | P                 | C                   | C        |  |  |   |  |
| Building and construction contractors  |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               | P(6)                        |                                     | P(6)                      | P(6,7)            | P(6,7)              | P(6,7)   |  |  |   |  |
| Fuel oil dealers and related facilities  |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           | P                 | P(6,7)              |          |  |  |   |  |
| Wholesale sales, warehousing and distribution facilities and self-storage facilities   |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               | P                           |                                     | P                         | P                 | P                   | P        |  |  |   |  |
| Self storage facilities  |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     | P                         |                   | P                   | P        |  |  |   |  |
| Commercial solid waste disposal facilities   |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           | C                 |                     |          |  |  |   |  |
| Junkyards and auto graveyards  |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           | C                 |                     |          |  |  |   |  |
| Recycling and reprocessing facilities  |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           | C                 | C                   | P(9)     |  |  |   |  |
| Private industrial/commercial developments(23)   |                               |  |                                 |   |                    |   |   |                               |                                 |                              | P                             | P                           |                                     | C                         | P                 | P                   | P        |  |  |   |  |
| <b>Transportation</b>  |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Airports or heliports  | C                             |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Commercial parking facilities  |                               |  |                                 |   | P                  |   | C   |                               | C(3)                            | C                            | C                             | P                           | P                                   |                           |                   | P                   | P        |  |  |   |  |
| Transit and ground transportation facilities   |                               |  |                                 |   | P                  |   |   |                               | C                               |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Transportation facilities  |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               | P                           |                                     | C                         | P                 | P                   | P(10)    |  |  |   |  |
| <b>Public and Utility</b>  |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Pumping stations, standpipes or other water supply uses involving facilities located on or above the ground surface and towers for municipal use | P                             | P                                      | P                               | P   | P                  | P   | P   | P                             | P                               | P                            | P                             | P                           | P                                   | P                         | P                 | P                   | P        | P  |  |   |  |
| Power transmission lines, substations, telephone exchanges, microwave towers or other public utility or communications use                       | C                             | C                                      | C                               | C   | C                  | C   | C   | C                             | C                               | C                            | C                             | C                           | C                                   | C                         | C                 | C                   | C        | C  |  |   |  |
| Municipal buildings and facilities   | C                             | C                                      | C                               | C   | P                  | C   | C   | C                             | P                               | C                            | P                             | P                           | P                                   | P                         | P                 | P                   | P        | C  |  |   |  |
| Preservation of historic areas; emergency and fire protection activities; bridges and public roadways  |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     |          | P  |  |   |  |
| Dams   |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     |          | C  |  |   |  |

| Land Use Table: All Zoning Districts<br>10.17.13  | Rural<br>Agricultural<br>(RA) | Low<br>Density<br>Residential<br>(LDR) | Suburban<br>Residential<br>(SR) | Medium<br>Density<br>Residential<br>(MDR) | Riverfront<br>(RF) | Neighborhood<br>Conservation<br>on "A"<br>(NCA) | Neighborhood<br>Conservation<br>on "B"<br>(NCB) | Office<br>Residential<br>(OR) | Downtown<br>Residential<br>(DR) | Institutional<br>Office (IO) | Community<br>Business<br>(CB) | Highway<br>Business<br>(HB) | Centreville<br>(CV) <sup>(26)</sup> | Office<br>Service<br>(OS) | Industrial<br>(I) | Urban<br>Enterprise | Mill (M) | Resource<br>Conservation<br>(RC) <sup>(18)</sup> | Groundwater<br>conservation<br>overlay<br>district<br>(GC) <sup>(22)</sup> | No Name<br>Pond<br>Conservation<br>Overlay<br>District<br>(NPN) <sup>(23)</sup> | Mobile<br>Home Park<br>overlay<br>district<br>(MH) <sup>(20)</sup> |
|---|-------------------------------|--|---------------------------------|---|--------------------|---|---|-------------------------------|---------------------------------|------------------------------|-------------------------------|-----------------------------|-------------------------------------|---------------------------|-------------------|---------------------|----------|--|--|---|--|
| <b>Institutional</b>  |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Religious facilities  | P                             | P                                      | P                               | P   | P                  | P   | P   | P                             | P                               | P                            | P                             | P                           | P                                   | P                         |                   | P                   | P        |  |  |   |  |
| Cemeteries  | P                             | P                                      | P                               | P   |                    | P   | P   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Congregate care/assisted living facilities, institutions for the handicapped, nursing or convalescent homes, group care facilities  |                               |  |                                 | C   | P                  |   | C   | P                             | P                               | P                            | P                             | P                           | P                                   | P                         |                   | P                   | P        |  |  |   |  |
| Hospitals, medical clinics,   |                               |  |                                 |   | P                  |   | C   | P                             | C                               | P                            | P                             | P                           | P                                   | P                         |                   | P                   | P        |  |  |   |  |
| Museums, libraries, and non-profit art galleries and theaters   |                               |  |                                 |   | P                  |   |   |                               | P                               | P                            |                               |                             | P                                   |                           |                   |                     | P        |  |  |   |  |
| Academic institutions, including buildings or structures for classroom, administrative, laboratory, dormitories, art, theater, dining services, library, bookstores, athletic facilities and student recreational uses, together with buildings accessory to the foregoing permitted principal buildings or structures, |                               |  |                                 | C(13)                                     | P                  |   | C(13)   | C                             | P                               | P(12)(24)                    | P                             | P                           | P                                   | P                         | P                 | P                   | P        |  |  |   |  |
| Civic and social organizations  |                               |  |                                 |   |                    |   | C   | P                             |                                 | C                            |                               |                             | P                                   |                           |                   |                     |          |  |  |   |  |
| Public community meeting and civic function buildings including auditoriums   |                               |  |                                 |   | P                  |   |   |                               | P                               | P                            |                               |                             | P                                   |                           |                   |                     | P        |  |  |   |  |
| <b>Residential(8)</b>   |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Single-family detached dwellings on individual residential lots   | P                             | P                                      | P                               | P   |                    | P   | P(2)  | P                             | P(11)                           | P(2)                         |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Mobile homes on individual residential lots   | P                             |  |                                 | P(35)                                     |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Two-family dwellings  |                               |  |                                 | P   |                    | P(37)   | P   | P                             | P(11)                           |                              |                               | P(14)                       |                                     |                           |                   |                     |          |  |  |   |  |
| Multifamily dwellings in accordance with the standards of Article XIII  |                               |  |                                 | P(34)                                     | P(11)              |   | P   | P                             | P(11)                           | P                            | P                             |                             | P                                   |                           |                   | P                   | P        |  |  |   |  |
| Single-Family attached dwelling in accordance with the standards of Article XIII  | C                             |  |                                 | P(34)                                     | P(11)              |   | P   | P                             | P(11)                           | P                            |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Mixed single-family residential developments in accordance with the standards of Article XIII   | C                             | P                                      |                                 | P   |                    |   | P   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Mixed residential developments in accordance with the standards of Article XIII   |                               | P                                      |                                 | P   |                    |   | P   | P                             |                                 |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Mixed use structures  |                               |  |                                 |   | P(11)              |   | P   | P                             | P(11)                           | P                            | P                             | P                           | P                                   |                           |                   | P                   | P        |  |  |   |  |
| Lodging houses  |                               |  |                                 |   |                    |   | P   |                               | P(11)                           |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Home occupations  | P                             | P                                      | P                               | P   |                    | P   | P   | P                             | P                               |                              | P                             |                             |                                     |                           |                   | C                   |          |  |  |   |  |
| Bed and breakfast establishments as a home occupation   | P                             | P                                      | P                               | P   | P                  | P   | P   | P                             | P                               | P                            | P                             | P                           | P                                   | P                         |                   | P                   | P        |  |  |   |  |
| In-law apartments in accordance with the standards of Article XII   | P                             | P                                      | P                               | P   |                    | P   | P   | P                             | P                               |                              |                               |                             | P                                   |                           |                   |                     |          |  |  |   |  |
| Single family cluster development   | P                             | P                                      | P                               | P   |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Family day care home  | P                             | P                                      | P                               | P   | P                  | P   | P   | P                             | P                               | P                            | P                             | P                           | P                                   | P                         | P                 | P                   | P        |  |  |   |  |
| Shelters  |                               |  |                                 |   |                    |   | C   |                               | C                               |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| <b>Natural Resource</b>   |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Agriculture   | P(8)                          |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   | P  |
| Farm Stands   | P                             |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Forest management and timber harvesting activities in accordance with the standards of Article XIII   | P                             | P                                      | P                               | P   |                    | P   | P   | P                             |                                 |                              | P                             | P                           |                                     | P                         | P                 | P                   |          |  |  |   | P  |
| Earth material removal  | C                             |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     | C                         | C                 |                     |          |  |  |   |  |
| Community gardens(20)   | P                             | P                                      | P                               | P   | P                  | P   | P   | P                             | P                               | P                            | P                             | P                           | P                                   | P                         | P                 | P                   | P        |  |  |   |  |
| Water dependent uses, e.g. docks and marinas  |                               |  |                                 |   | P                  |   |   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     | P        |  |  |   | C  |
| Non-residential structures for educational, scientific or nature interpretation purposes, containing a maximum floor area of not more than ten thousand (10,000) square feet  |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   | C  |
| <b>Recreation</b>   |                               |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   |  |
| Campgrounds   | C                             |  |                                 |   |                    |   |   |                               |                                 |                              |                               |                             |                                     |                           |                   |                     |          |  |  |   | C  |
| Public or private facilities for nonintensive outdoor recreation  | C                             | C                                      | C                               | C   | P                  | C   | C   | C                             | C                               |                              |                               |                             |                                     |                           |                   |                     | P        | P  |  |   |  |
| Commercial outdoor recreation and drive-in theaters   |                               |  |                                 |   | P                  |   |   |                               |                                 |                              | C                             | C                           |                                     | C                         |                   |                     |          |  |  |   | P(32)  |
| Fitness and recreational sports centers as listed under NAICS Code 713940   |                               |  |                                 |   |                    |   |   | C                             |                                 |                              |                               |                             |                                     |                           | P                 |                     |          |  |  |   |  |



## CITY OF LEWISTON

### Department of Planning & Code Enforcement



**TO:** Planning Board  
**FROM:** David Hediger, City Planner  
**DATE:** December 4, 2014  
**RE:** December 8, 2014 Planning Board Agenda Item IV(b)

**An amendment to the Zoning and Land Use Code, Article XII, Section 17. Off-street Parking and Loading, to remove the parking requirements for nonresidential uses and reduce the number of parking spaces required for residential uses in the Riverfront (RF), Mill (M), and Centreville (CV) districts.**

Lewiston's off-street parking requirements, specifically in the greater downtown area have been called into question for many years. The current provisions provide a significant barrier to developing downtown Lewiston in a traditional way where investment and development occur incrementally over a period of time. The existing requirements increase the density of both parking spaces and cars. More cars create more traffic congestion, which in turn incites the need for more local remedies, such as street widening, additional turning lanes, traffic signal improvements, etc. The requirement for additional parking also results in excessive land requirements, requiring property owners to purchase additional land, potentially resulting in new development locating where land is cheaper and driving is required. The costs associated with providing off-street parking are rarely charged to the users motorists for parking (there are exceptions with some private lots and garages). This results in the cost of parking spaces being added to the cost of development.

Staff discussed the parking requirements in these districts with the Planning Board on November 10<sup>th</sup> and the City Council on December 2<sup>nd</sup>. Both groups seemed supportive of removing the parking standards for nonresidential uses, but questioned whether residential units should still have parking requirements. The Board directed staff to prepare an amendment for their review and recommendation for the City Council's consideration.

The proposed amendment will eliminate the need for off-street parking for nonresidential uses located in the Centreville, Mill, or Riverfront districts. Residential uses in these districts shall be required to provide one space per dwelling unit, except as provided for nonconforming buildings, structures, or uses. The current ordinance makes the adaptive reuse of structures more difficult and restricts development for occurring in its current pattern. All three districts have municipal parking garages with excess capacity within walking distance (i.e. ¼ mile). The amendment will facilitate and stimulate development, allowing business and property owners to determine their parking demand without overbuilding. Other benefits of relaxed parking provisions include the support of walking, cycling and transit use; reduced stormwater management costs and water pollution; and, support the creation of a more attractive urban environment.

The proposed amendment also designates the appropriate reviewing authority (i.e. the planning board or staff review committee) the ability to authorize required or provided off-street parking, serving permitted or conditional uses, to be located off the site, provided it is located within 500 feet of the principal building or use and cannot reasonably be provided on the same lot.

Currently, the board of appeals has this authority. Enabling the appropriate reviewing authority this ability provides the applicant to make their request at the same time to the same committee or board that is reviewing and approving their project.

#### **ACTIONS NECESSARY**

- Make a motion pursuant to Article VII, Section 4 and Article XVII, Section 5 of the Zoning and Land Use Code to send a favorable recommendation for the City Council's consideration to amend Article XII, Section 17. Off-street parking and loading, to remove the parking requirements for nonresidential uses and reduce the number of parking spaces required for residential uses in the Riverfront (RF), Mill (M), and Centreville (CV) districts and designates the appropriate reviewing authority (i.e. the planning board or staff review committee) the ability to authorize required or provided off-street parking, serving permitted or conditional uses, to be located off the site, provided it is located within 500 feet of the principal building or use and cannot reasonably be provided on the same lot (subject to any concerns raised by the Planning Board or staff).

## AN ORDINANCE PERTAINING TO OFF-STREET PARKING

### THE CITY OF LEWISTON HEREBY ORDAINS:

Appendix A of the Code of Ordinances of the City of Lewiston, Maine is hereby amended as follows:

#### APPENDIX A

#### ZONING AND LAND USE CODE

#### ARTICLE XII. PERFORMANCE STANDARDS

##### Sec. 17. Off-street parking and loading.

(d) *Off-street parking required.* The following minimum off-street parking shall be provided and maintained for each situation identified in subsection (a). In computing the number of spaces required, lots with two or more uses shall meet the combined requirement for all of the uses. In calculating the parking requirement, major fractional spaces (0.5 or greater) shall be rounded up to the next whole space. Employee parking is based on the largest shift.

|  |  |
|--|--|
| Single-family detached dwellings                     | two spaces per dwelling unit   |
| Two-family dwellings                                 | two spaces per dwelling unit   |
| Single-family attached or multifamily dwellings with | two spaces per dwelling unit with three or more bedrooms, one and one-half spaces per dwelling unit with one or two bedrooms, one space per efficiency dwelling unit; plus 0.2 spaces per dwelling unit for visitor parking for all single-family attached or multi-family dwellings |
| Housing for the elderly                              | one-half space per dwelling unit   |
| Types "A" and "B" group care facilities              | one space per three bedrooms, plus one space per employee  |
| Tourist homes  | two spaces plus one space per lodging unit   |
| Motels, hotels and inns                              | three spaces plus one space per sleeping room (accessory eating and drinking establishments or other facilities shall provide additional parking as required).   |
| Rooming houses, boarding houses, lodging houses      | one space per three bedrooms   |
| Bed and breakfast establishments                     | one space per guest sleeping room and two spaces per dwelling unit plus one space per every two employees on the largest shift; establishments approved by   |

|   |   |
|---|---|
|   | development review pursuant to article XIII for meeting facilities for non-guests or for special outdoor functions shall provide one space per two seats in any meeting facilities and one space per two special outdoor function guests based on the approved capacity; if such additional off-street parking is provided off the site, it shall comply with the requirements of article XII section 17.e except that, notwithstanding the provisions of subsection e, the planning board shall have the authority to approve such off-site parking. |
| Hospitals   | one space per patient bed plus one space per three employees  |
| Medical clinics   | two spaces per treatment room or patient bed, whichever is greater  |
| Nursing or convalescent homes   | one parking space per five resident beds and one space per employee   |
| Schools   |   |
| Elementary schools  | one and a half spaces per classroom   |
| Secondary schools   | five spaces per classroom   |
| Residential colleges, universities and institutions of higher education, including accessory facilities athletic and assembly facilities designed primarily for student use | one space per 7 seats in classroom facilities   |
| Business colleges and schools   | one space per 4 seats in classroom facilities   |
| Retail and personal service establishments  | one space per two hundred fifty square feet of gross floor area. For retail stores which are part of a gasoline service station complex, one-half of the service spaces at the pump islands may be applied to meet not more than one-half of the required parking demand  |
| Eating and drinking establishments  | one space per three seats   |
| Drive-in restaurants  | ten spaces plus one additional space per one hundred feet of gross floor area   |
| Professional and business offices   | one space per 300 square feet of gross floor area   |
| Construction contractors, tradesman, offices, laboratories and similar uses   | one space per 500 square feet of gross floor area   |
| Adult business establishments, drinking place   | one space per 3 seats or 200 square feet of gross floor area, whichever is greater  |
| New and used car dealers  | five spaces plus one space per 3,000 square feet of display area (indoor and outdoor)   |
| Auto repair garages and gasoline service  | two spaces per service bay plus one space   |

|  |   |
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| stations   | per employee  |
| Light industrial uses, industrial uses, wholesale, storage and distribution facilities   | one space per 500 square feet of gross floor area up to 3,000 sq. ft. plus one space for each 1,000 sq. ft. of gross floor area in excess of 3,000 square feet  |
| Community centers, libraries, museums, civic clubs, theatres, places of indoor assembly, amusement or culture, religious facilities, and similar uses  | one space per 4 seats where fixed seating is provided plus 1 space per 200 square feet of area otherwise available for assembly   |
| Auditoriums, stadiums, sport arenas, race tracks, skating rinks, gymnasiums, convention halls or similar uses  | one space per each 4 seats; where individual seats are not provided, each 24 inches of bench or other similar seating, or eight sq. ft. of seating or standing space shall be considered as one seat for the purpose of determining requirements thereof  |
| Self storage facilities  | five spaces   |
| Uses not specifically listed or able to be placed into one of the above categories, or listed uses which can be clearly shown to have a differing parking need (either fewer or greater) than otherwise required | Sufficient spaces to accommodate the normal parking demand of the use without requiring on-street parking. The number of required spaces shall be determined by the planning board for major project development review or by the staff review committee for minor project development review or by the planning director if no review is required in accordance with accepted standards. |

(e) *Location of off-street parking facilities.* Required or provided off-street parking in all districts shall be located on the same lot as the principal building or use, except as may be allowed by the board of appeals on the basis of an appeal as provided below:

- (1) In residential districts except as provided for in subsection (e)(4) the appropriate reviewing authority (i.e. the planning board or staff review committee) ~~board of appeals~~ may authorize required or provided off-street parking, serving permitted or conditional uses, to be located off the site, provided it is located within 500 feet of the principal building or use and cannot reasonably be provided on the same lot. Such off-street parking shall be held in fee simple by the owner of the principal use served, or in such other tenure as assures continued availability for parking as long as the particular land will be needed for such use, provided that if tenure is other than ownership in fee simple, the form of tenure shall be approved by the planning director before the request is considered by the reviewing authority ~~board of appeals~~. Evidence of fee simple ownership or approved tenure shall be required.
- (2) In all zones other than residential except as provided for in subsections (e)(3), (4), and (5), required or provided off-street parking shall be located on the same lot with the principal building or use, or within 500 feet measured along lines of public access, except that where off-street parking cannot be provided within these limits, the appropriate reviewing

authority (i.e. the planning board or staff review committee) ~~board of appeals~~ may permit such off-street parking to be located a reasonable distance from the principal buildings or use, measured along lines of access if such off-lot parking areas shall be held in fee simple by the owner of the use served, or in such other tenure as assures continued availability for parking as long as the particular land will be needed for such use, provided that if tenure is other than ownership in fee simple, the form of tenure shall be approved by the planning director before the request is considered by the reviewing authority ~~board of appeals~~. Evidence of fee simple ownership or approved tenure shall be required, and such lots shall be located within nonresidential districts.

- (3) Required off-street parking in all districts except as provided for in subsection (e)(5) other than residential may be substituted by parking facilities which, in the public's interest, may be provided by the municipality. Such substitution shall be shown to be representative of the off-street parking turnover or requirements of the particular use in question and shall take into consideration the needs of other uses with similar demands upon such public space. No such public off-street parking spaces shall be considered as a substitute unless located within 500 feet of the principal building or use measured along lines of public access.
- (4) No additional parking spaces shall be required for any structure that has been designated as significant for historic preservation under article XV, section 3 of this Code that is proposed for reuse. Any expansion to the building will need to provide the required additional parking. All modifications to the building must be done in accordance with the criteria established under article XV, section 5 of this Code.
- (5) No off-street parking is required for nonresidential uses located in the Centreville, Mill, or Riverfront districts. Residential uses in these districts shall be required to provide one space per dwelling unit, except as provided for nonconforming buildings, structures, or uses in accordance with Article VI, Section 7 of this Code.

#### **REASON FOR PROPOSED AMENDMENT**

Lewiston's off-street parking requirements, specifically in the greater downtown area have been called into question for many years. The current provisions provide a significant barrier to developing downtown Lewiston in a traditional way where investment and development occur incrementally over a period of time. The existing requirements increase the density of both parking spaces and cars. More cars create more traffic congestion, which in turn incites the need for more local remedies, such as street widening, additional turning lanes, traffic signal improvements, etc. The requirement for additional parking also results in excessive land requirements, requiring property owners to purchase additional land, potentially resulting in new development locating where land is cheaper and driving is required. The costs associated with providing off-street parking are rarely charged to the users motorists for parking (there are exceptions with some private lots and garages). This results in the cost of parking spaces being added to the cost of development.

The proposed amendment will eliminate the need for off-street parking for nonresidential uses located in the Centreville, Mill, or Riverfront districts. Residential uses in these districts shall be required to provide one space per dwelling unit, except as provided for nonconforming buildings, structures, or uses. The current ordinance makes the adaptive reuse of structures more difficult and restricts development for occurring in its current pattern. All three districts have municipal parking garages with excess capacity within walking distance (i.e. ¼ mile). The amendment will facilitate and stimulate development, allowing business and property owners to determine their parking demand without overbuilding.

The proposed amendment also designates the appropriate reviewing authority (i.e. the planning board or staff review committee) the ability to authorize required or provided off-street parking, serving permitted or conditional uses, to be located off the site, provided it is located within 500 feet of the principal building or use and cannot reasonably be provided on the same lot. Currently, the board of appeals has this authority. Enabling the appropriate reviewing authority this ability provides the applicant to make their request at the same time to the same committee or board that is reviewing and approving their project.

### **CONFORMANCE WITH COMPREHENSIVE PLAN**

- Work with downtown property owners to develop flexible regulations with respect to development review, signage standards, parking and vehicular and pedestrian access . . . (see Downtown, Goals, #8, p. 22.)
- Review permitting and licensing policies and practices to see where they can be streamlined in order to better service the development community. . . (see Economy, Policy 1, Strategy C, p. 38.)
- Land conservation rather than land consumption practices should be encouraged in residential development. The City should explore and encourage rehabilitation or adaptive re-use of existing buildings, and should explore techniques which encourage development where public services already exist. . . (see Housing, Recommendations of the Housing Sub-Committee, #8, p. 67.)
- Encourage orderly growth and development in appropriate areas of the City, while protecting the City's rural character, making efficient use of public services and preventing development sprawl. . . (see Land Use, Goals, #1, p. 122.)

### OAK STREET GARAGE

Total of 706 structured and surface spaces for use.

As of June 2014 there were 550 passes issued.

|        | Time Interval | Transient | Monthly Passes | Total Cars In Garage | Monthly Passes % | Transient Parkers % | Peak Utilization % |
|--------|---------------|-----------|----------------|----------------------|------------------|---------------------|--------------------|
| Dec-13 | 10:00-11:00   | 17        | 147            | 164                  | 90%              | 10%                 | 23%                |
| Jan-14 | 11:00-12:00   | 42        | 178            | 220                  | 81%              | 19%                 | 31%                |
| Feb-14 | 10:00-11:00   | 25        | 145            | 170                  | 85%              | 15%                 | 24%                |
| Mar-14 | 9:00-10:00    | 47        | 190            | 237                  | 80%              | 20%                 | 34%                |
| Apr-14 | 11:00-12:00   | 21        | 216            | 237                  | 91%              | 9%                  | 34%                |

### CENTREVILLE PARKING GARAGE

Total of 365 structured spaces for use.

As of June 2014 there were 206 passes issued.

|        | Time Interval | Transient | Monthly Passes | Total Cars In Garage | Monthly Passes % | Transient Parkers % | Peak Utilization % |
|--------|---------------|-----------|----------------|----------------------|------------------|---------------------|--------------------|
| Dec-13 | 10:00-11:00   | 10        | 132            | 142                  | 93%              | 7%                  | 39%                |
| Jan-14 | 11:00-12:00   | 24        | 126            | 150                  | 84%              | 16%                 | 41%                |
| Feb-14 | 11:00-12:00   | 19        | 105            | 124                  | 85%              | 15%                 | 34%                |
| Mar-14 | 11:00-12:00   | 23        | 128            | 151                  | 85%              | 15%                 | 41%                |
| Apr-14 | 10:00-11:00   | 7         | 133            | 140                  | 95%              | 5%                  | 38%                |

### CHESTNUT STREET GARAGE

Total of 610 structured spaces for use.

As of June 2014 there were 631 passes issued.

|        | Time Interval | Transient | Monthly Passes | Total Cars In Garage | Monthly Passes % | Transient Parkers % | Peak Utilization % |
|--------|---------------|-----------|----------------|----------------------|------------------|---------------------|--------------------|
| Dec-13 | 10:00-11:00   | 24        | 345            | 369                  | 93%              | 7%                  | 60%                |
| Jan-14 | 10:00-11:00   | 28        | 368            | 396                  | 93%              | 7%                  | 65%                |
| Feb-14 | 10:00-11:00   | 20        | 290            | 310                  | 94%              | 6%                  | 51%                |
| Mar-14 | 10:00-11:00   | 24        | 369            | 393                  | 94%              | 6%                  | 64%                |
| Apr-14 | 10:00-11:00   | 9         | 384            | 393                  | 98%              | 2%                  | 64%                |

### SOUTHERN GATEWAY GARAGE

Total of 360 structured spaces for use.  
As of June 2014 there were 225 passes issued.

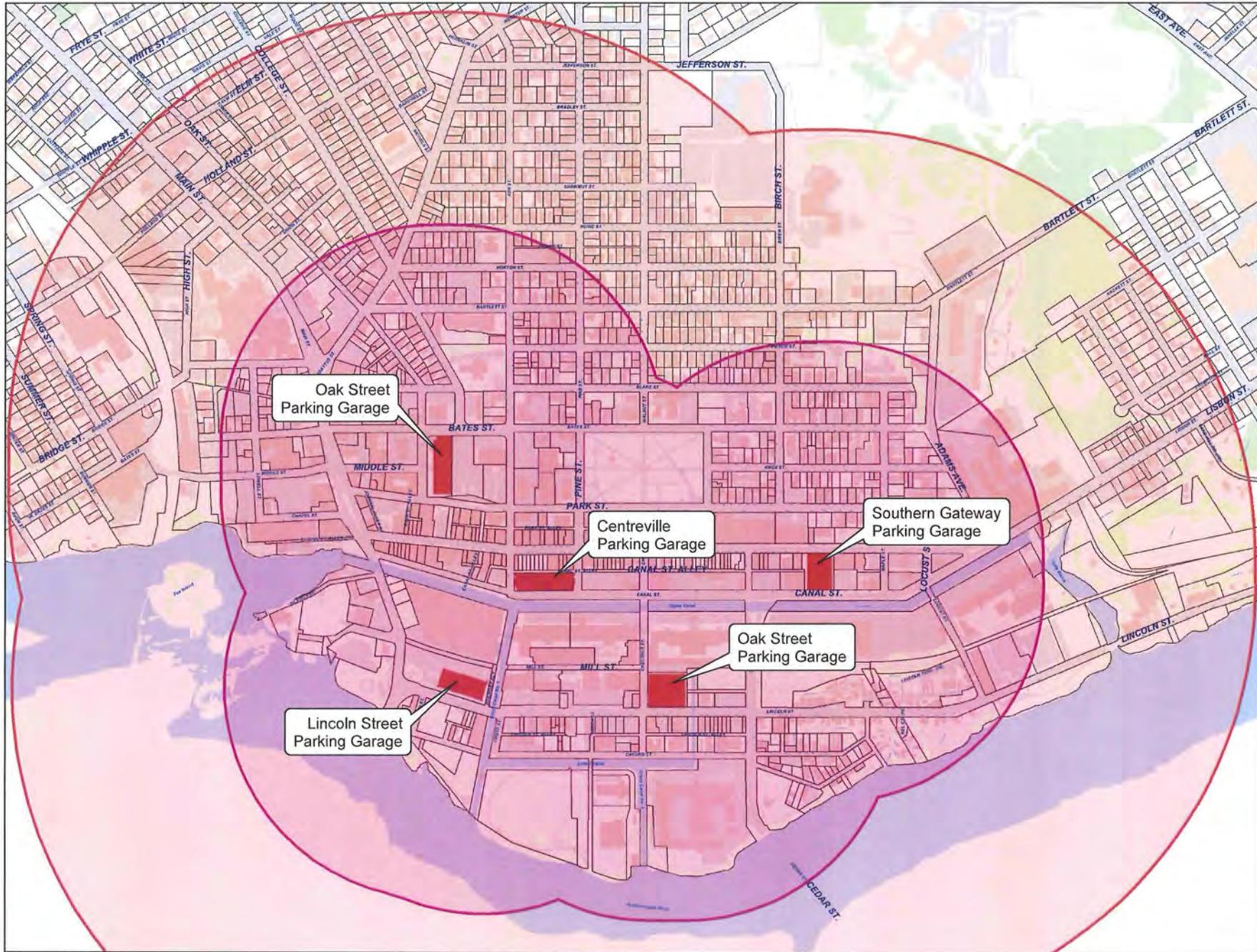
|        | Time Interval | Transient | Monthly Passes | Total Cars In Garage | Monthly Passes % | Transient Parkers % | Peak Utilization % |
|--------|---------------|-----------|----------------|----------------------|------------------|---------------------|--------------------|
| Dec-13 | 12:00-1:00    | 4         | 81             | 85                   | 95%              | 5%                  | 24%                |
| Jan-14 | 9:00-10:00    | 1         | 74             | 75                   | 99%              | 1%                  | 21%                |
| Feb-14 | 11:00-12:00   | 14        | 68             | 82                   | 83%              | 17%                 | 23%                |
| Mar-14 | 10:00-11:00   | 2         | 71             | 73                   | 97%              | 3%                  | 20%                |
| Apr-14 | 10:00-11:00   | 8         | 77             | 85                   | 91%              | 9%                  | 24%                |

### LINCOLN STREET GARAGE

Total of 460 structured and surface spaces for use.  
As of June 2014 there were 320 passes issued.

|        | Time Interval | Transient | Monthly Passes | Total Cars In Garage | Monthly Passes % | Transient Parkers % | Peak Utilization % |
|--------|---------------|-----------|----------------|----------------------|------------------|---------------------|--------------------|
| Dec-13 | 10:00-11:00   | 43        | 223            | 266                  | 84%              | 16%                 | 58%                |
| Jan-14 | 10:00-11:00   | 66        | 217            | 283                  | 77%              | 23%                 | 62%                |
| Feb-14 | 11:00-12:00   | 48        | 183            | 231                  | 79%              | 21%                 | 50%                |
| Mar-14 | 10:00-11:00   | 78        | 199            | 277                  | 72%              | 28%                 | 60%                |
| Apr-14 | 10:00-11:00   | 6         | 226            | 232                  | 97%              | 3%                  | 50%                |





Map is provided for informational purposes only and does not constitute a contract. The City of Lewiston, Maine, is not responsible for any errors or omissions. The City of Lewiston, Maine, is not responsible for any damages or losses resulting from the use of this map. The City of Lewiston, Maine, is not responsible for any changes to the map or for any updates. The City of Lewiston, Maine, is not responsible for any updates to the map or for any changes to the map. The City of Lewiston, Maine, is not responsible for any updates to the map or for any changes to the map.

November 2010  
Scale 1" = 50'





## CITY OF LEWISTON

### Department of Planning & Code Enforcement



**TO: Planning Board**  
**FROM: David Hediger, City Planner**  
**DATE: December 4, 2014**  
**RE: December 8, 2014 Planning Board Agenda Item V(a)**

#### **Transfer Development Rights: presentation by Bates College Students.**

Staff was approached by Bates students enrolled in the Environmental Studies course to research a component of the draft comprehensive plan. Staff suggested they investigate the details of developing a transfer development rights (TDR) program. A typical TDR program protects open space and agricultural areas from development by transferring development potential to designated growth zones where additional development rights can help meet a community's goal of investing in areas deemed appropriate for higher density. The goal of establishing a TDR program would allow Lewiston landowners the opportunity to transfer the right to develop from one property to another in order to protect the City's rural character and enable higher density development in the downtown and along commercial corridors.

Reference to implement a TDR program exists in the current comprehensive plan. However, the draft plan makes numerous references to developing a TDR program as well as developing subdivision provisions, which would provide opportunities to protect the City's rural character and enable a higher density development where appropriate.

Bates students will present their research, including an overview of TDR programs, recommendations for successful implementation in Lewiston, and why TDR's may not be successful in Lewiston, and what other options may exist to assist in protecting the City's rural character.



## CITY OF LEWISTON

### Department of Planning & Code Enforcement



**TO:** Planning Board  
**FROM:** David Hediger, City Planner  
**DATE:** December 4, 2014  
**RE:** December 8, 2014 Planning Board Agenda Item V(b)

#### **Parking Requirements in the Downtown Residential (DR) and Neighborhood Conservation "B" (NCB) districts.**

Discussions with the Planning Board and Council seemed generally supportive of providing some flexibility with the parking standards for nonresidential uses, but questioned whether residential units should still have parking requirements. The Board directed staff to provide some additional alternatives before scheduling a public hearing

The elimination of the overnight winter parking ban in the city has greatly increased the availability of year round on-street parking in these districts. Given that change, relaxing off-street standards would allow for on-street parking to occur when there is excess demand (i.e. family gatherings, special events or sales, etc.). Staff is suggesting a lesser parking standard be considered for select uses. Managing parking effectively in this area is supported by the Third Place Downtown Neighborhood Action Plan and is referenced in the draft comprehensive plan.

Staff suggests the following amendments be considered in the DR and NCB district:

- Single family, two family, single-family attached or multifamily dwellings: one space per unit.
- Any other allowed permitted or conditional use not exceeding 1,000 gross square feet: no off- street parking required.
- Any other allowed permitted or conditional use greater than 1,000 but not exceeding 5,000 gross square feet: 50% of the off-street parking that would otherwise be required.
- Any other allowed permitted or conditional use 5,000 gross square feet or greater: maintain the current off-street parking requirements.
- Increase the distance that required or provided off-street parking shall be located on the same lot with the principal building or use, or within from 500 feet to 1,320 feet (i.e. ¼ mile) measured along lines of public access.
- Allow for use of a municipal parking facility if within 1,320 feet (currently 500 feet) measured along lines of public access.

Staff believes establishing more realistic parking standards will help assist in the redevelopment of Lewiston's urban residential areas by reducing site costs for property owners and developers. Instead of investing in a vacant lot for parking, that lot could be used for additional future development or open space. It could be an incentive for property owners to invest in new construction or the rehabilitation of existing structures versus additional site costs. Other benefits of relaxed parking provisions include supporting walking, cycling and transit use; reduced stormwater management costs and water pollution; and the maintenance or creation of a more interesting and attractive urban environment.

Staff is looking to discuss options toward relaxing the current parking provisions with the Planning Board to learn of any concerns or suggestions prior to developing any specific amendment.

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Below are Lewiston's existing parking requirements taken from Article XII, Section 17:

**Sec. 17. Off-street parking and loading.**

(a) *Applicability.* The following minimum off-street parking and loading requirements except as provided for in subsections (e)(3) and (e)(4) shall be met for:

- (1) The use of any parcel of land;
- (2) The construction of any building or structure;
- (3) The conversion of an existing building, structure or portion thereof to a new use;
- (4) The enlargement of an existing building or structure; or
- (5) The modification of an existing building or structure to create additional floor area, dwelling units, seats or similar measures of parking demand set out in the standards of subsection (d).

Modifications, enlargements or conversions of buildings or structures or the change in or intensification of use shall not be permitted unless off-street parking and loading is provided for an additional number of spaces representing the difference between what this Code requires for the existing building or structure and what this Code requires for the proposed building or structure.

(b) *Classification of use.* Off-street parking or loading which is provided to serve an allowed use or legally existing nonconforming use shall be considered to be an accessory use if it is provided on the same lot or on another lot in the same zoning district in accordance with the standards of this section.

Off-street parking provided in one zoning district to serve a use in another zoning district or off-street parking not associated with a particular use shall not be considered to be an accessory use and shall be permitted only in those zoning districts where commercial parking facilities are allowed as a principal use.

(c) *Parking facilities.* Parking required by this section may be provided in open air parking spaces or by spaces located in a garage. Parking spaces shall be so arranged so that each space can be used without another vehicle having to be moved except for single-family detached and two-family detached dwellings and for assigned parking for an individual dwelling unit in an attached single-family or multifamily dwelling, or assigned employee parking in nonresidential projects that are classified as minor developments under this code when reviewed in connection with development review pursuant to article XIII hereof.

(d) *Off-street parking required.* The following minimum off-street parking shall be provided and maintained for each situation identified in subsection (a). In computing the number of spaces required, lots with two or more uses shall meet the combined requirement for all of the uses. In calculating the parking requirement, major fractional spaces (0.5 or greater) shall be rounded up to the next whole space. Employee parking is based on the largest shift.

|  |   |
|--|---|
| Single-family detached dwellings                     | two spaces per dwelling unit  |
| Two-family dwellings                                 | two spaces per dwelling unit  |
| Single-family attached or multifamily dwellings with | two spaces per dwelling unit with three or more bedrooms, one and one-half spaces per dwelling unit with one or two bedrooms, one space per efficiency dwelling unit; plus 0.2 spaces per dwelling unit for visitor parking for all single-family attached or multifamily dwellings |
| Housing for the elderly                              | one-half space per dwelling unit  |
| Types "A" and "B" group care facilities              | one space per three bedrooms, plus one space per employee   |
| Tourist homes  | two spaces plus one space per lodging unit  |
| Motels, hotels and inns                              | three spaces plus one space per sleeping room (accessory eating and drinking establishments or other facilities shall provide additional parking as required).  |
| Rooming houses, boarding houses, lodging houses      | one space per three bedrooms  |
| Bed and breakfast establishments                     | one space per guest sleeping room and two spaces per dwelling unit plus one space per every two employees on the largest shift; establishments approved by  |

|  |   |
|--|---|
|  | development review pursuant to article XIII for meeting facilities for non-guests or for special outdoor functions shall provide one space per two seats in any meeting facilities and one space per two special outdoor function guests based on the approved capacity; if such additional off-street parking is provided off the site, it shall comply with the requirements of article XII section 17.e except that, notwithstanding the provisions of subsection e, the planning board shall have the authority to approve such off-site parking. |
| Hospitals  | one space per patient bed plus one space per three employees  |
| Medical clinics  | two spaces per treatment room or patient bed, whichever is greater  |
| Nursing or convalescent homes  | one parking space per five resident beds and one space per employee   |
| Schools  |   |
| Elementary schools   | one and a half spaces per classroom   |
| Secondary schools  | five spaces per classroom   |
| Residential colleges, universities and institutions of higher education, including accessory facilities athletic and assembly facilities designed primarily for student use                                      | one space per 7 seats in classroom facilities   |
| Business colleges and schools  | one space per 4 seats in classroom facilities   |
| Retail and personal service establishments   | one space per two hundred fifty square feet of gross floor area. For retail stores which are part of a gasoline service station complex, one-half of the service spaces at the pump islands may be applied to meet not more than one-half of the required parking demand  |
| Eating and drinking establishments   | one space per three seats   |
| Drive-in restaurants   | ten spaces plus one additional space per one hundred feet of gross floor area   |
| Professional and business offices  | one space per 300 square feet of gross floor area   |
| Construction contractors, tradesman, offices, laboratories and similar uses  | one space per 500 square feet of gross floor area   |
| Adult business establishments, drinking place  | one space per 3 seats or 200 square feet of gross floor area, whichever is greater  |
| New and used car dealers   | five spaces plus one space per 3,000 square feet of display area (indoor and outdoor)   |
| Auto repair garages and gasoline service stations  | two spaces per service bay plus one space per employee  |
| Light industrial uses, industrial uses, wholesale, storage and distribution facilities   | one space per 500 square feet of gross floor area up to 3,000 sq. ft. plus one space for each 1,000 sq. ft. of gross floor area in excess of 3,000 square feet  |
| Community centers, libraries, museums, civic clubs, theatres, places of indoor assembly, amusement or culture, religious facilities, and similar uses  | one space per 4 seats where fixed seating is provided plus 1 space per 200 square feet of area otherwise available for assembly   |
| Auditoriums, stadiums, sport arenas, race tracks, skating rinks, gymnasiums, convention halls or similar uses  | one space per each 4 seats; where individual seats are not provided, each 24 inches of bench or other similar seating, or eight sq. ft. of seating or standing space shall be considered as one seat for the purpose of determining requirements thereof  |
| Self storage facilities  | five spaces   |
| Uses not specifically listed or able to be placed into one of the above categories, or listed uses which can be clearly shown to have a differing parking need (either fewer or greater) than otherwise required | Sufficient spaces to accommodate the normal parking demand of the use without requiring on-street parking. The number of required spaces shall be determined by the planning board for major project development review or by the staff review committee for minor project development review or by the planning director if no review is required in accordance with accepted  |

standards.

(e) *Location of off-street parking facilities.* Required or provided off-street parking in all districts shall be located on the same lot as the principal building or use, except as may be allowed by the board of appeals on the basis of an appeal as provided below:

- (1) In residential districts, the board of appeals may authorize required or provided off-street parking, serving permitted or conditional uses, to be located off the site, provided it is located within 500 feet of the principal building or use and cannot reasonably be provided on the same lot. Such off-street parking shall be held in fee simple by the owner of the principal use served, or in such other tenure as assures continued availability for parking as long as the particular land will be needed for such use, provided that if tenure is other than ownership in fee simple, the form of tenure shall be approved by the planning director before the request is considered by the board of appeals. Evidence of fee simple ownership or approved tenure shall be required.
- (2) In all zones other than residential, required or provided off-street parking shall be located on the same lot with the principal building or use, or within 500 feet measured along lines of public access, except that where off-street parking cannot be provided within these limits, the board of appeals may permit such off-street parking to be located a reasonable distance from the principal buildings or use, measured along lines of access if such off-lot parking areas shall be held in fee simple by the owner of the use served, or in such other tenure as assures continued availability for parking as long as the particular land will be needed for such use, provided that if tenure is other than ownership in fee simple, the form of tenure shall be approved by the planning director before the request is considered by the board of appeals. Evidence of fee simple ownership or approved tenure shall be required, and such lots shall be located within nonresidential districts.
- (3) Required off-street parking in all districts other than residential may be substituted by parking facilities which, in the public's interest, may be provided by the municipality. Such substitution shall be shown to be representative of the off-street parking turnover or requirements of the particular use in question and shall take into consideration the needs of other uses with similar demands upon such public space. No such public off-street parking spaces shall be considered as a substitute unless located within 500 feet of the principal building or use measured along lines of public access.
- (4) No additional parking spaces shall be required for any structure that has been designated as significant for historic preservation under article XV, section 3 of this Code that is proposed for reuse. Any expansion to the building will need to provide the required additional parking. All modifications to the building must be done in accordance with the criteria established under article XV, section 5 of this Code.

(f) *Design of off-street parking facilities.*

(1) Parking space dimensions.

- a. Except as provided below, each parking space shall contain a rectangular area at least 18 feet long and nine feet wide. Lines demarcating parking spaces may be drawn at various angles in relation to curbs or aisles, so long as the parking spaces so created contain within them the rectangular area required by this section.
- b. Up to 40 percent of required parking spaces need contain a rectangular area of only eight feet in width by 15 feet in length. If such spaces are provided, they shall be conspicuously designated as reserved for small or compact cars only.
- c. Wherever parking areas consist of spaces set aside for parallel parking, the dimensions of such parking spaces shall be not less than 22 feet by nine feet.

(2) *Parking aisle and driveway dimensions.*

- a. Parking area aisle widths shall conform to the following table, which varies the width requirement according to the angle of parking.

| Aisle Width     | Parking Angle (in degrees) |    |    |    |    |
|-----------------|----------------------------|----|----|----|----|
|                 | 0                          | 30 | 45 | 60 | 90 |
| One-Way Traffic | 12                         | 10 | 12 | 16 | 22 |
| Two-Way Traffic | 18                         | 19 | 20 | 22 | 22 |

- b. Driveways providing access to parking aisles shall be not less than ten feet in width for one-way traffic and 18 feet in width for two-way traffic, except that ten-foot-wide driveways are permissible for two-way traffic when; (i) the driveway is not longer than 50 feet; (ii) it provides access to not more than six spaces; and (iii) sufficient turning space is provided so that vehicles need not back into a public street.

(3) *Design requirements.*

- a. Unless no other practicable alternative is available, parking areas shall be designed so that, without resorting to extraordinary movements, vehicles may exit such areas without backing onto a public street. This requirement does not apply to parking areas consisting of driveways that serve one- or two-family dwellings, although backing onto arterial streets is discouraged.
- b. Parking areas of all developments shall be designed so that sanitation, emergency, and other public service vehicles can serve such developments without the necessity of backing unreasonable distances or making other dangerous or hazardous turning movements.
- c. Every parking area shall be designed so that vehicles cannot extend beyond the perimeter of such area onto adjacent properties or public rights-of-way. Such areas shall also be designed so that vehicles do not extend over sidewalks or tend to bump against or damage any wall, vegetation or other obstruction.
- d. Circulation areas shall be designed so that vehicles can proceed safely without posing a danger to pedestrians or other vehicles and without interfering with parking areas.
- e. The standards of the City of Lewiston's Site Plan Review and Design Guidelines shall apply to design and layout of parking areas.
- f. Parking space and aisle and driveway dimensions for nonresidential projects that are classified as minor developments under this Code may be modified in connection with development review pursuant to article XIII hereof if no practicable alternative is available and all other provisions of this subsection are met.

(g) *Construction of off-street parking facilities.*

- (1) Parking areas that; (a) include lanes for drive-in windows; or (b) are required to have more than six parking spaces and that are used regularly at least five days per week shall be graded and surfaced with asphalt, concrete or other material that will provide equivalent protection against potholes, erosion and dust. The base of parking areas and driveways shall consist of a minimum of 12 inches of gravel. If bituminous surfacing is used, it shall consist of one and one-half inches of B mix and one inch of C mix laid in two courses or equivalent as approved by the city engineer.
- (2) Parking areas that are not provided with the type of surface specified in subsection (g)(1) shall be graded and surfaced with crushed stone, gravel, or other suitable material to provide a surface that is stable and will help to reduce dust and erosion. The perimeter of such parking areas shall be defined by bricks, stones, railroad ties, or other similar devices. In addition, whenever such a parking area abuts a paved street, the driveway leading from such street to such area shall be paved as provided in subsection (1) for a distance of 15 feet back from the edge of the paved street. This subsection shall not apply to single-family or two-family dwellings or other uses that are required to have only one or two parking spaces.
- (3) Parking spaces in areas surfaced in accordance with subsection (g)(1) shall be appropriately demarcated with painted lines or other markings. Parking spaces in areas surfaced in accordance with subsection (g)(2) shall be demarcated whenever practicable.
- (4) Parking areas shall be properly maintained in all respects. In particular, and without limiting the foregoing, parking area surfaces shall be kept in good condition (free from potholes, etc.) and parking space lines or markings shall be kept clearly visible and distinct.
- (5) When it has been determined under article XII, section 17(d) that a specific use requires less parking spaces than otherwise required, the additional parking spaces based on the listed use may be just shown as reserved on the plans. In addition, a developer may implement transportation demand management programs to reduce the need for off-street parking. The programs could involve strategies to involve more interurban transit use, car and van pooling, employee pick-up plans, flexible workhour schedules, subscription bus service and other similar incentives. These programs must be approved by the reviewing body prior to implementation and may not reduce the number of required spaces by more than 25 percent.  
For projects classified as major under this Code utilizing the transportation demand management program provisions, or projects classified as minor under this Code that are proposing expansion, the reduced number of spaces must also be shown as reserved on the plans. Reserved parking spaces for all projects shall not be used for any purpose other than open space, and the reserved area may not be used to meet the minimum open space ratio. If the use changes with respect to the need for the additional spaces, or if the transportation demand management program is not successfully implemented, the additional number of spaces shall be constructed in accordance with the applicable design standards within 60 days of the change of use or determination that the transportation demand management program has not been successfully implemented. For projects classified as minor under this Code utilizing the transportation demand management program, but not proposing any expansion, the occupancy permit shall be contingent on the satisfactory implementation of

program. The required additional spaces shall be provided within 60 days of a determination that the program has not been successfully implemented. Otherwise, the use must cease or be converted to one that meets the required parking standards.

(h) *Joint use of parking facilities.*

- (1) One parking area may contain required spaces for several different uses, but except as otherwise provided in this section, the required space assigned to one use may not be credited to any other use.
- (2) To the extent that developments that wish to make joint use of the same parking spaces operate at different times, the same spaces may be credited to both uses. For example, if a parking lot is used in connection with an office building on Monday through Friday but is generally 90 percent vacant on weekends, another development that operates only on weekends could be credited with 90 percent of the spaces on that lot. Or, if a church parking lot is generally occupied only to 50 percent of capacity on days other than Sunday, another development could make use of 50 percent of the church lot's spaces on those other days.

(i) *Other use of parking facilities.* Parking areas shall be used for automobile parking only, with no sales, dead storage, repair work, dismantling or servicing of any kind. The required parking areas shall be permanently available for use by patrons and employees of establishments providing such space.

(j) *Off-street loading.*

- (1) Subject to subsection (5), whenever the normal operation of any development requires that goods, merchandise or equipment be routinely delivered to or shipped from that development, a sufficient off-street loading and unloading area must be provided in accordance with this section to accommodate the delivery or shipment operations in a safe and convenient manner.
- (2) The loading and unloading area must be of sufficient size to accommodate the numbers and types of vehicles that are likely to use this area, given the nature of the development in question. The following table indicates the number and size of spaces that, presumptively, satisfy the standard set forth in this subsection. However, the planning board may require more or less loading and unloading area if reasonably necessary to satisfy the foregoing standard.

| <i>Gross Leasable Area of Building</i> | <i>Number of spaces*</i> |
|--|--------------------------|
| 5,000--79,999                          | 1                        |
| 80,000--127,999                        | 2                        |
| 128,000--191,999                       | 3                        |
| 192,000--255,999                       | 4                        |
| 256,000--319,999                       | 5                        |
| 320,000--391,999                       | 6                        |

Plus one space for each additional 72,000 square feet or fraction thereof.

\*Minimum distance of 12 feet times 55 feet and overhead clearance of 14 feet from street grade required.

- (3) Loading and unloading areas shall be so located and designed that the vehicles intended to use them can; (a) maneuver safely and conveniently to and from a public right-of-way; and (b) complete the loading and unloading operations without obstruction or interfering with any public right-of-way or any parking space or parking lot aisle.
- (4) No area allocated to loading and unloading facilities may be used to satisfy the area requirements for off-street parking, nor shall any portion of any off-street parking area be used to satisfy the area requirements for loading and unloading facilities.
- (5) Whenever; (a) there exists a lot with one or more structures on it constructed before the effective date of this Code; and (b) a change in use that does not involve any enlargement of a structure is proposed for such lot; and (c) the loading area requirements of this section cannot be satisfied because there is not sufficient area available on the lot that can practicably be used for loading and unloading, then the developer need only comply with this section to the extent reasonably possible, except as provided for in the district regulations of the urban enterprise district.

# City of Lewiston Riverfront Improvements: **Riverfront Amphitheatre**

City of Lewiston  
Lewiston, ME



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### Contact for City of Lewiston:

David Hediger, Project Manager  
City of Lewiston

**Richardson & Associates, Landscape Architects** / 11 Middle Street Saco, Maine 04072 | 207 286-5291 | 207 286-9650 mail@richardsonassociates.com

David Maynes, Project Manager  
Todd Richardson, Principal

**ISSUE FOR BID**

Date: November 2014



- GENERAL NOTES:**
- CONTRACTOR TO COORDINATE WITH ENVIRONMENTAL MANAGEMENT CONSULTANT ONSITE TO CONFIRM AND REVIEW ANY SPECIFIC CONDITIONS AND PROTOCOLS NECESSARY BEFORE BEGINNING SITE WORK.
  - CONFIRM LOCATION OF ALL SURVEYED TREES. ANY DISCREPANCIES (I.E. EXISTING TREES NOT APPEARING ON SURVEY) SHALL BE REPORTED IMMEDIATELY TO LANDSCAPE ARCHITECT.
  - THIS IS NOT A BOUNDARY SURVEY. ALL SITE SURVEY INFORMATION WAS PROVIDED BY THE CITY OF LEWISTON, FOR THE SOLE PURPOSE OF DESIGN DEVELOPMENT & DOCUMENTATION FOR THE PROPOSED RIVERFRONT AMPHITHEATRE. ALL EXISTING ITEMS NOTED ON SHEET L-1 SHOULD BE CONFIRMED FOR ACCURACY BY GENERAL CONTRACTOR PRIOR TO BEGINNING WORK. ANY INACCURACIES AND/OR DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT AND THE CITY OF LEWISTON.
  - THE EXISTENCE, LOCATION, DEPTH, AND SIZE OF ALL UNDERGROUND UTILITY LINES, TANKS, AND/OR STRUCTURES WAS NOT DETERMINED BY THIS SURVEY. CONTRACTOR SHALL CONTACT DIG-SAFE/DN-TARGET PRIOR TO ANY EXCAVATION TO VERIFY THE LOCATION OF ALL PUBLIC AND PRIVATE UNDERGROUND UTILITIES.
  - TOPOGRAPHIC INFORMATION WAS OBTAINED BY A FIELD SURVEY PERFORMED BY SEBAGO TECHNICS, INC. IN SEPTEMBER 2009. BENCHMARK IS A P.K.M.I. IN THE CENTER OF A S.I.S. AERIAL TARGET LOCATED ON THE SOUTHEASTERLY SIDE OF A PAVED PEDESTRIAN FOOTPATH ON THE LEWISTON SIDE OF THE GRAND TRUNK RAILROAD TRESTLE BRIDGE OVER THE ANDROSCOGGIN RIVER. ELEVATION=143.10. ADDITIONAL SPOT ELEVATIONS WERE PROVIDED BY THE ENGINEERING DEPARTMENT, CITY OF LEWISTON.
  - TEMPORARY BENCHMARK:
    - TOP OF 1" BOLT LOCATED IN A RAILROAD TIE ON THE SOUTHEASTERLY SIDE OF AN OLD PAVED RAMP USED TO LOAD RAIL CARS. ELEVATION=143.90
  - THE PARCEL IS LOCATED WITHIN THE RIVERFRONT ZONING DISTRICT.

**TREE PROTECTION NOTES**

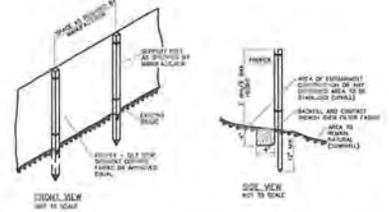
- Consult City Arborist on best management practices for tree protection.
- Significant trees within reach zone of construction to be protected by the following:
- Slab-wrapping protection of trunks to prevent girdling or damage.
  - Filter fabric and 12" min. bark mulch to be applied to all ground areas within noled tree-drip-line zones.
  - Neon snow fencing and 2" x 2" wood stake posts, set at 6' max. intervals, to protect root zones set at the outer limits of tree drip-line.

**EROSION AND SEDIMENTATION CONTROL MEASURES**

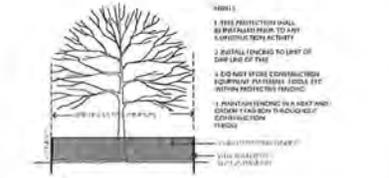
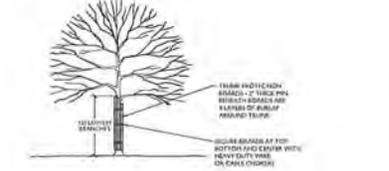
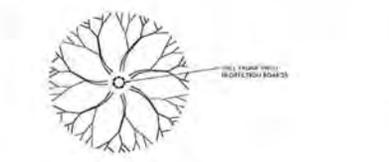
- A continuous contained berm of organic filtration materials (course erosion control mix) placed in a synthetic tubular netting. Erosion control mix can be manufactured on or off the project site. It must consist primarily of organic material, separated at the point of generation, and may include: shredded bark, stump grindings, composted bark, or acceptable manufactured products. Wood and bark chips, ground construction debris or reprocessed wood products will not be acceptable as the organic component of the mix.
- The barrier must be placed along a relatively level contour.
- The barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. They shall be repaired immediately if there are signs of sediment erosion below the barrier.

**Notes:**

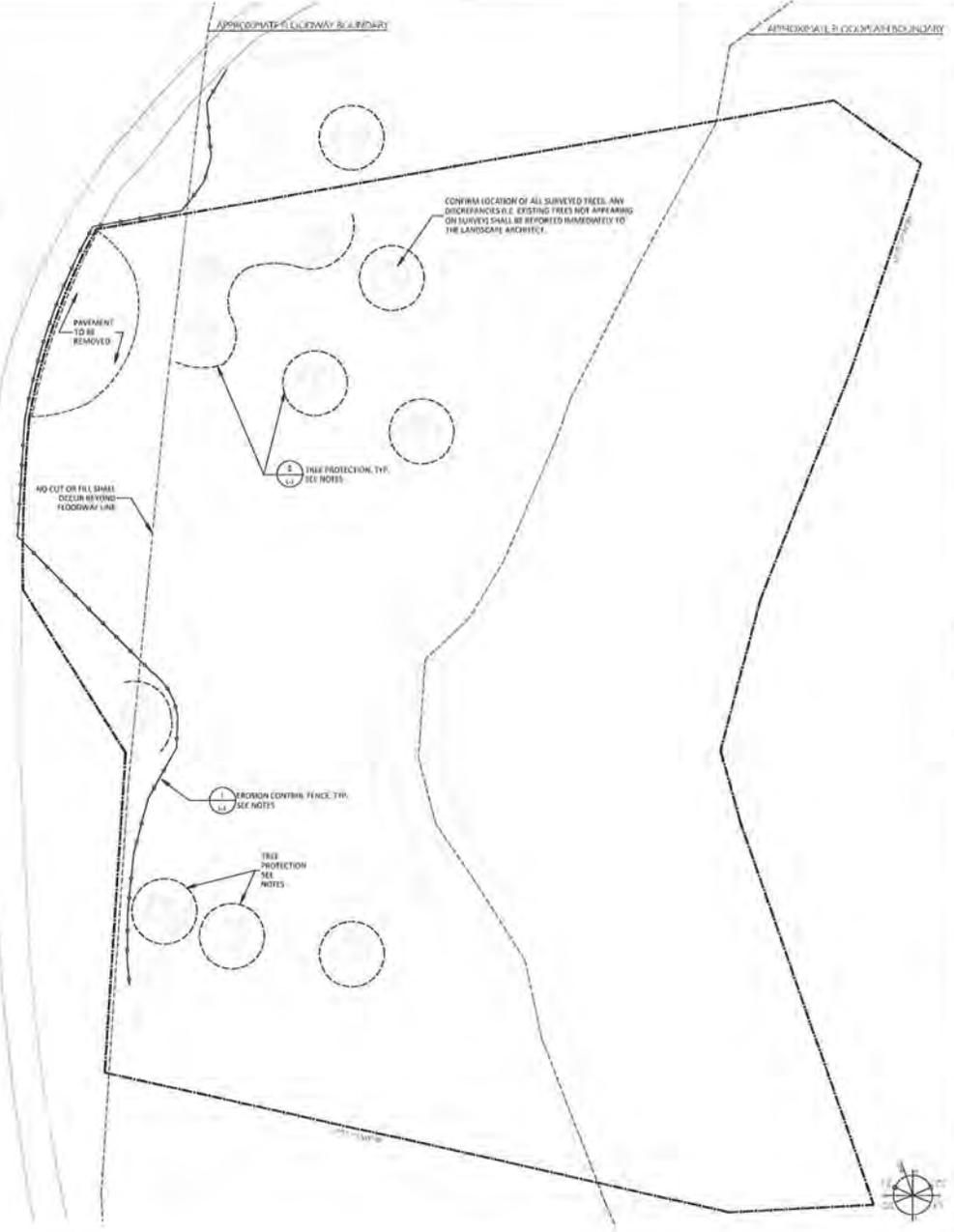
- The ground to be excavated must be kept undisturbed for 60 days following the Maine Department of Transportation.
- The Subsoil Control fabric shall be placed prior to any excavation activity, begin in the contract, and remain in place for the entire of 90 consecutive days.
- When two sections of this fabrication meet either they shall be overlapped by 12" (shall not overlap) at support points.
- Location in position, an excavation shall be performed, under the present fabric, in the 30' zone.
- In the preparation of subsoil, Subsoil fabric shall be installed in the appropriate level.
- A 6" x 6" subsoil control fabric shall be installed in the appropriate level.



**1. EROSION CONTROL FENCE. TYP. SEE NOTES.**

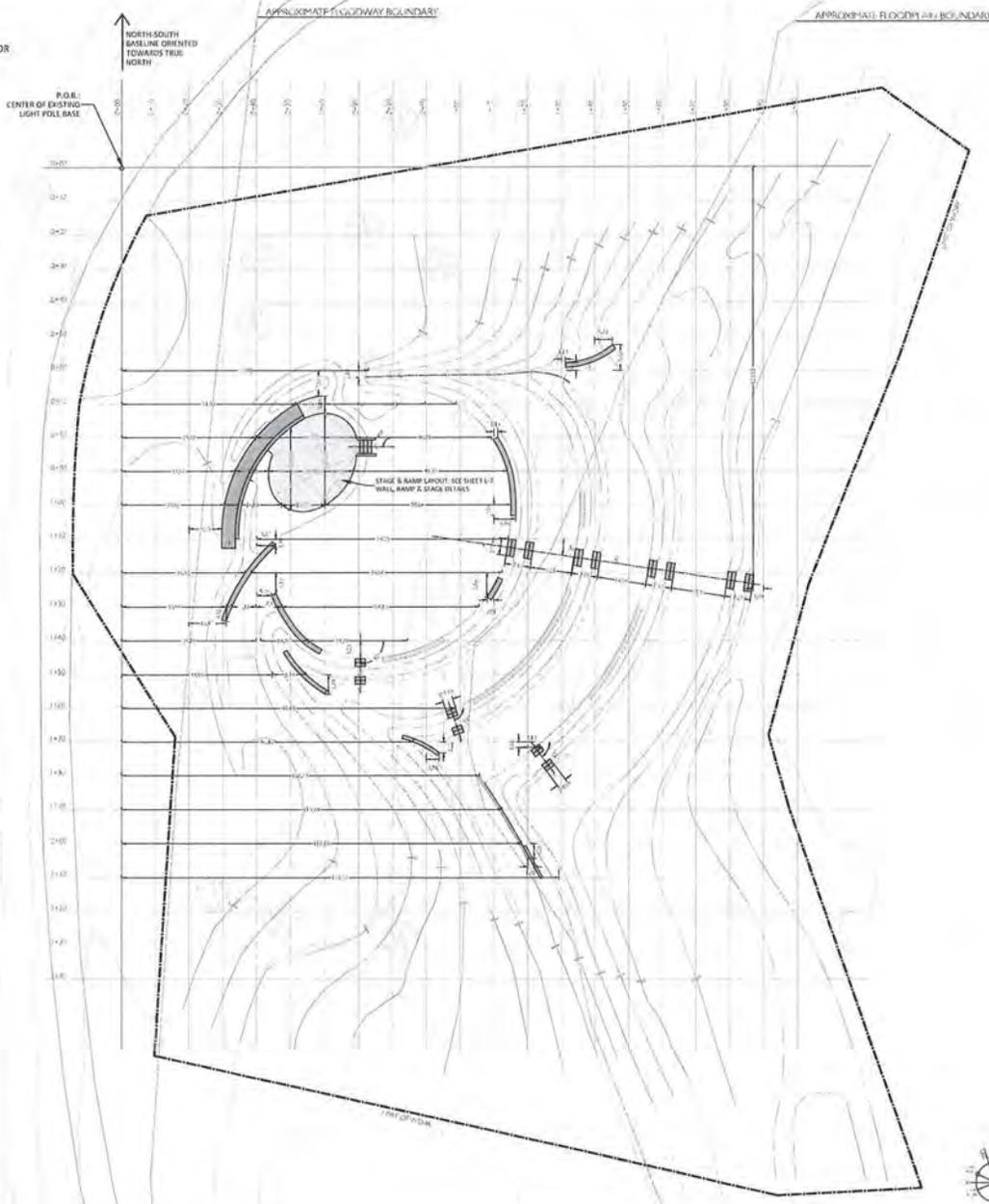


**2. TREE PROTECTION. TYP. SEE NOTES.**





LAYOUT NOTE:  
CONTRACTOR TO FIELD VERIFY  
LOCATION OF P.O.B. LIGHT POLE PRIOR  
TO LAYING OUT.

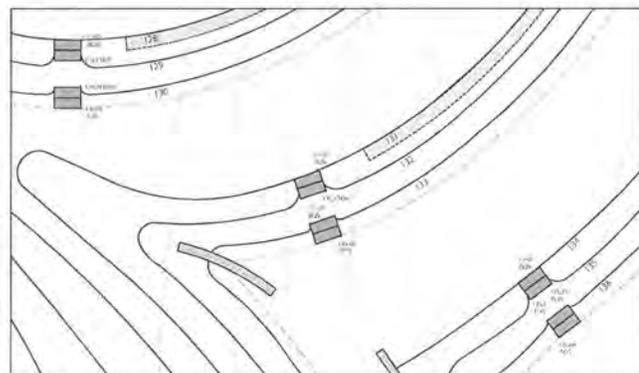


**LAYOUT NOTES**

1. Point of Beginning (POB) for construction layout is the center of existing light pole base as noted. North-south baseline is oriented towards true north.
2. All topographic and existing base information is provided by Sebago Technics, Inc and the City of Lewiston, Public Works. See General Notes, Sheet L-1.
3. All dimension units are in feet unless otherwise noted.
4. All written dimensions shall prevail, do not scale from drawings.
5. Distances shown on site plans are horizontal distances.
6. Layout staking to be approved by landscape architect.
7. Contractor shall verify all dimensions and grades on the ground and field verify location of existing utilities as necessary. Any discrepancies shall be reported immediately to the landscape architect.
8. Refer to construction details for dimensions of site elements.
9. All dimensions 90° unless otherwise noted.
10. Utility information shown is approximate and not field verified. Prior to excavation, appropriate utility companies shall be contacted and Dig-Safe Center shall be called at 1-800-DIG-SAFE, at least 72 hours (3 working days) in advance. Prior to calling Dig-Safe, Contractor shall delineate limit of work in field.
11. All work is new unless otherwise noted.



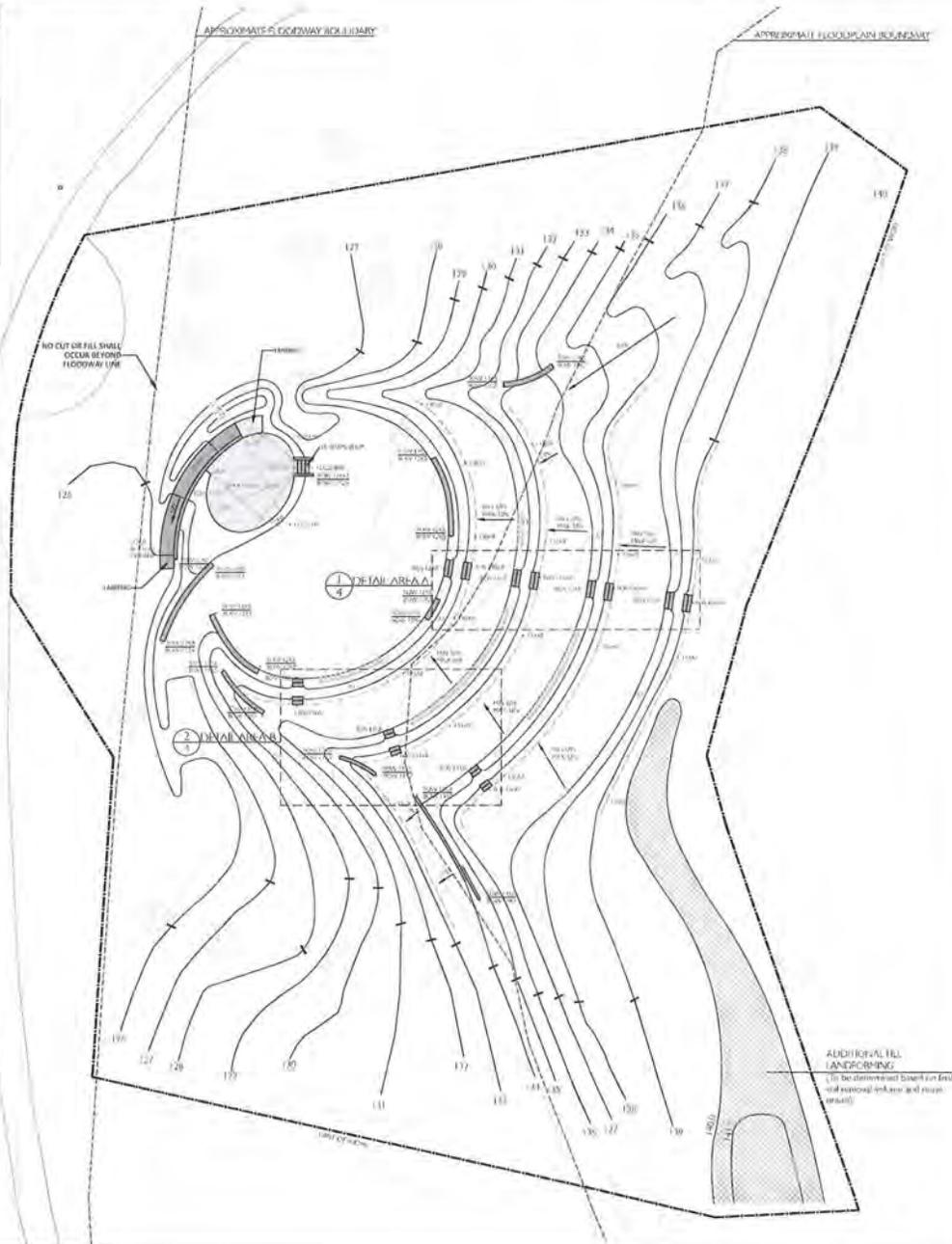
1 DETAIL AREA A: MAIN SLOPES (5' WIDE)  
SCALE: 1/8" = 1'-0"

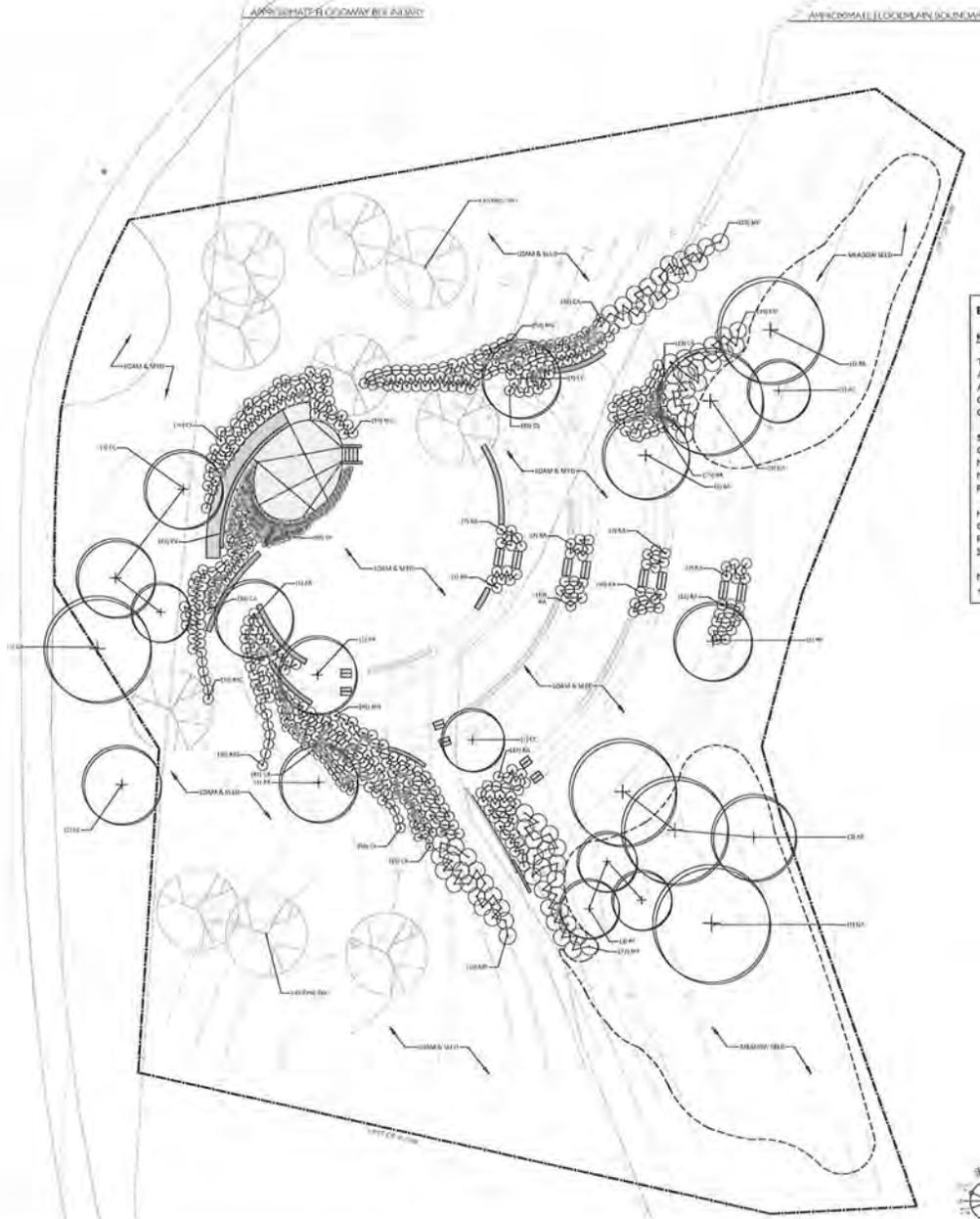


2 DETAIL AREA B: SIDE SLOPES (3' WIDE)  
SCALE: 1/8" = 1'-0"

**GRADING NOTES**

1. Drawings prepared from site survey information provided by the City of Lewiston.
2. Temporary bench mark for elevation is 143.00. See Sheet L-1, General Notes.
3. All spot grades shall prevail over contours.
4. Contractor shall comply with all erosion control and storm water management requirements of authorities having jurisdiction.
5. Erosion control measures shall be in accordance with the Maine DEP Erosion and Sediment BMP's.
6. Contractor shall comply with requirements of authorities having jurisdiction to maintain stable and safe excavations.
7. Contractor **MUST FOLLOW ALL EARTHWORK PROTOCOLS AND REGULATIONS PRESCRIBED BY ENVIRONMENTAL MANAGEMENT CONSULTANT ASSIGNED TO SUPERVISE THE PROJECT.**
8. Contractor shall consult Environmental Management Consultant onsite for specifics on handling cut material.
9. Cut material shall be re-used onsite as fill; **NO CUT MATERIAL MAY BE REMOVED FROM SITE.**
10. Grading staking shall be approved by landscape architect prior to construction. The contractor shall notify the landscape architect 48 hours prior to required site visit.
11. Contractor shall maintain positive drainage away from all structures and planting beds. Any discrepancies in grading shall be reported to Landscape Architect.
12. Contractor shall field verify all grades and field verify location of existing plants and utilities as necessary. Any discrepancies shall be reported immediately to the landscape architect.
13. The contractor shall maintain tree protection fence during grading work. Leave protection in place and maintain until all construction work has been completed and all danger of damage has passed or as otherwise directed by the owner.
14. Grading and construction in proximity of existing trees or adjacent to tree protection areas shall be done with extreme care so as not to damage trees or root systems of trees or compact soil in the areas.
15. No grading or construction shall occur within tree protection areas.
16. All areas not requiring grading shall be left undisturbed.
17. Utility information shown is approximate only and is not field verified. Locating and protecting any above-ground or underground utilities is the sole responsibility of the Contractor and/or the Owner. Utility conflicts shall be reported immediately to the Landscape Architect.
18. Prior to excavation, appropriate utility companies shall be contacted and Dig-Safe Center shall be called at 1-800-DIG-SAFE, at least 72 hours (3 working days) in advance. Prior to contacting Dig-Safe, Contractor shall delineate limits of work in field.



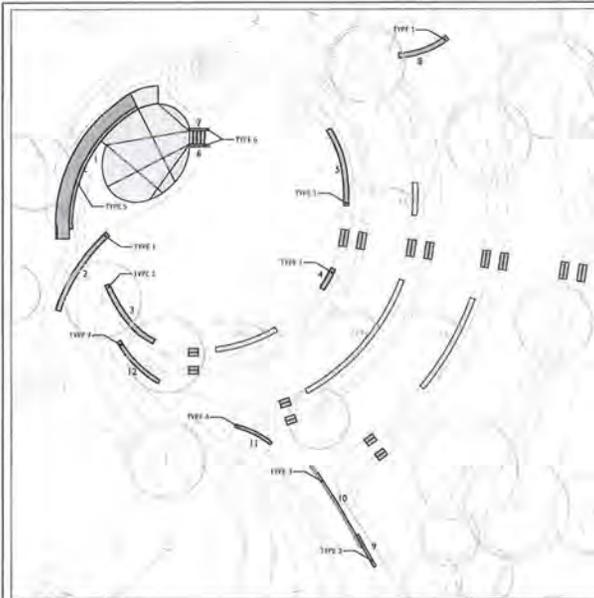


**PLANTING LIST**

| Key  | Quantity | Scientific Name                             | Common Name                      | Size                          | Notes                     |
|--|----------|---|----------------------------------|-------------------------------|---------------------------|
| <b>Trees</b>   |          |   |                                  |                               |                           |
| AC   | 4        | <i>Ambrosia cuneata</i> 'Autumn Brilliance' | Shrubbery                        | 6-10'                         | Heavy midstem, 3 stem cut |
| AR   | 9        | <i>Acer rubrum</i> 'October Glory'          | October Glory Red Maple          | 2.5' - 3" cal.                |                           |
| CC   | 4        | <i>Carpinus caroliniana</i>                 | Hickwood                         | 2.25" - 2.5" cal.             |                           |
| QA   | 3        | <i>Quercus alba</i>                         | White Oak                        | 2.5" - 4" cal.                | Single Stem               |
| <b>Shrubs</b>  |          |   |                                  |                               |                           |
| CS   | 137      | <i>Cornus sericea</i> 'Kobold'              | Kobold Dogwood                   | #3 com.                       |                           |
| MG   | 188      | <i>Myrica gale</i>                          | Sweetgale                        | #3 com.                       |                           |
| MP   | 78       | <i>Myrica pennsylvanica</i>                 | Bayberry                         | (30) 5' B&B; (40) #3; (20) #2 |                           |
| RA   | 124      | <i>Rhus aromatica</i> 'Gro-Low'             | Gro-Low Fragrant Sumac           | #3 com.                       |                           |
| <b>Herbaceous Material</b>   |          |   |                                  |                               |                           |
| CA   | 158      | <i>Calamagrostis</i> sp. 'Karl Foerster'    | Karl Foerster Feather Reed Grass | 2 gal                         |                           |
| PV   | 27       | <i>Panicum virgatum</i> 'Shenandoah'        | Switch Grass                     | 2 gal                         |                           |
| SH   | 89       | <i>Sporobolus heterolepis</i>               | Prairie Dropseed                 | 2 gal                         |                           |
| Meadow seed<br>+/- 2,500 SF of New England Snow-Shade Grass and Folia Mix. (source: New England Wetland Plants, Inc. Amherst, MA.) |          |   |                                  |                               |                           |

**GENERAL PLANTING PLAN NOTES**

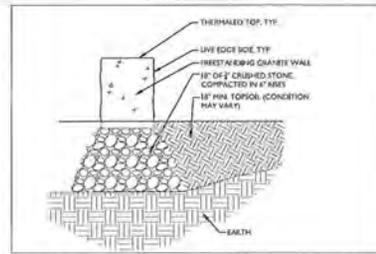
- Contractor shall begin maintenance immediately after planting and shall continue until final acceptance. Contractor shall be responsible for all means and methods of watering and maintenance.
- The Landscape contractor shall supply all plant materials in quantities sufficient to complete all plantings shown on this drawing. Clarify any discrepancies with the landscape architect prior to ordering plant material.
- All materials shall conform to the guidelines established by the American Association of Nurserymen.
- All plants shall bear the same relationship to finish grade as the original grades before digging.
- The landscape contractor shall guarantee all plant materials for one(1) full year from date of substantial completion.
- All plant materials are subject to the approval of the landscape architect at the nursery and at the site.
- All areas of the site which have been disturbed and not otherwise developed shall be loamed with a minimum depth of 6" of topsoil and seeded as specified.
- Landscape contractor is encouraged to provide the landscape architect with concerns and/or suggestions with regard to proposed plant material selection prior to placing a purchase order.
- All trees located adjacent to walks and drives shall have 6' of clear height to first branching.
- Contractor shall verify all tree removals with landscape architect prior to start of construction.
- Contractor shall obtain approval for proposed lawn & meadow seed mixes prior to installation.
- No plant shall be put into the ground before rough grading has been finished and approved by the project landscape architect.
- All plants shall be balled and wrapped or container grown as specified. No container grown stock will be accepted if it is root bound. All root wrapping material made of synthetics or plastics shall be removed at the time of planting.
- With container grown stock, the container shall be removed and the container ball shall be cut through the surface in two vertical locations.
- The location of trees, shrubs, grasses and perennials shall be staked and/or placed for final approval by the landscape architect prior to installation. The contractor shall notify the landscape architect 48 hours prior to required site visit.
- All plants shall be installed as per details and the contract specifications. The landscape contractor shall refer to the contract specifications for additional requirements.
- All plants and stakes shall be set plumb unless otherwise specified.
- The landscape contractor shall provide loam fill as per the contract specifications.
- All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered by the contractor, as necessary to insure health until final acceptance.
- The landscape contractor shall refer to the plant list and planting specifications for seasonal requirements and other restrictions related to the time of planting.
- All planting beds are have a minimum of 18" of approved planting soil if not stated otherwise.



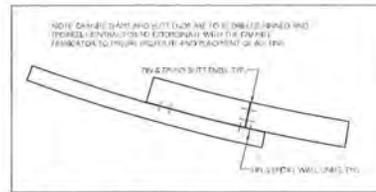
WALL TYPOLOGIES  
SCALE: 1/8" = 1'

GRANITE WALL NOTES:

1. SUBMIT SHOP DRAWINGS TO L.A. FOR APPROVAL PRIOR TO FABRICATION
2. ALL JOINT ENDS TO HAVE SAWN FACE AND THERMALED TOPS.
3. ONLY TOP EDGES TO BE BASED; MAINTAIN LIVE EDGE, AND DO NOT EASE JOINT END EDGES. CONTRACTOR SHALL BLEND ALL EDGES FOLLOWING INSTALLATION.
4. ALL GRANITE WALL SURFACES THAT ARE PINNED AND EPOXIED AND IN CONTACT WITH ONE ANOTHER SHALL BE THERMALED & HAVE A SEAM TOLERANCE OF NO MORE THAN 1/8".
5. CHEEK WALLS SHALL BE THERMALED ON ALL EXPOSED SIDES.



TYPICAL WALL CONDITION  
SCALE: 1/2" = 1'



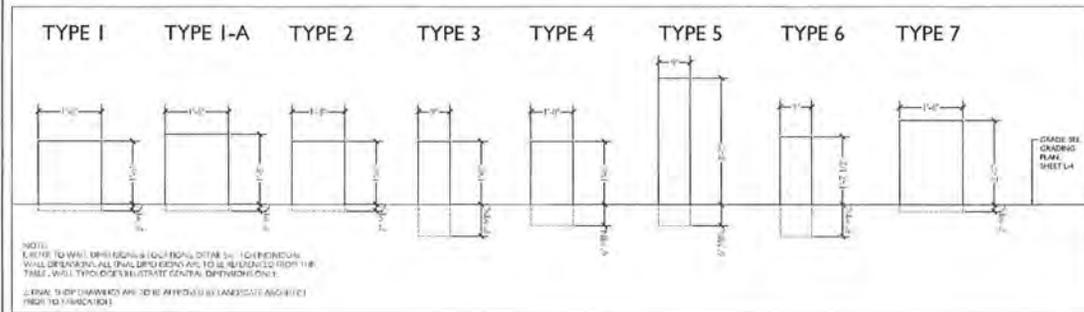
TYPICAL WALL PINNED AND EPOXIED  
SCALE: 1/2" = 1'

| WALL | TYPE | INSIDE RADIUS | ARC LENGTH | WIDTH | HT    | TOW ELEV |
|------|------|---------------|------------|-------|-------|----------|
| 1    | 5    | 39.5'         | 13'        | .75'  | 3.5'  | 129.0    |
| 2    | 1    | 52.6'         | 27.4'      | 1.5'  | 1.66' | 129.5    |
| 3    | 1-A  | 31.6'         | 22.1'      | 1.5'  | 1.83' | 129.5    |
| 4    | 1    | 41.9'         | 6.7'       | 1.5'  | 1.66' | 129.5    |
| 5    | 1    | 36.4'         | 23.7'      | 1.5'  | 1.66' | 129.5    |
| 6    | 6    | 5.7' L        | .75' L     | .75'  | 2.38' | 128.67   |
| 7    | 6    | 5.7' L        | .75' L     | .75'  | 2.38' | 128.67   |
| 8    | 7    | 23.8'         | 15.7'      | 1.5'  | 2.17' | 134.5    |
| 9    | 3    | 292.7'        | 10.7'      | .75'  | 2.25' | 135.5    |
| 10   | 3    | 186.4'        | 28.4'      | .75'  | 2.25' | 135.5    |
| 11   | 3    | 77.9'         | 11.8'      | 1.0'  | 2.00' | 134.0    |
| 12   | 2    | 33.3'         | 17.2'      | 1.25' | 1.66' | 131.0    |

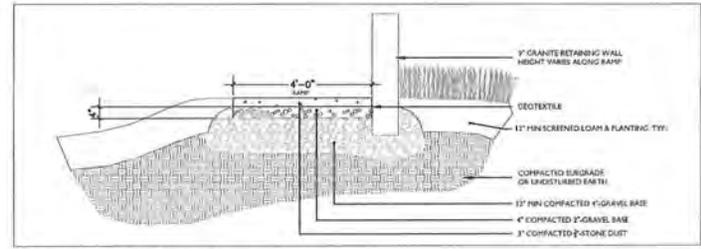
(OPTIONAL ADDITIONAL WALLS)

|      |   |       |       |      |       |       |
|------|---|-------|-------|------|-------|-------|
| (13) | 1 | 45.8' | 19'   | 1.5' | 1.66' | 129.5 |
| (14) | 1 | 61.6' | 44.3' | 1.5' | 1.66' | 132.5 |
| (15) | 1 | 67.3' | 9.6'  | 1.5' | 1.66' | 132.5 |
| (16) | 1 | 93.3' | 30.4' | 1.5' | 1.66' | 135.5 |

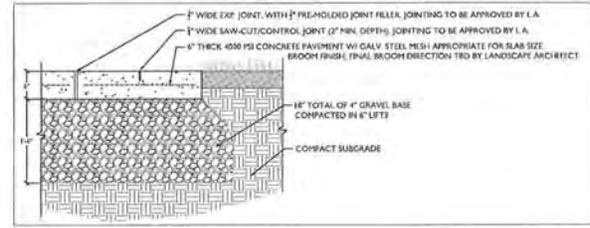
WALL DIMENSIONS AND LOCATIONS  
SCALE: 1/8" = 1'



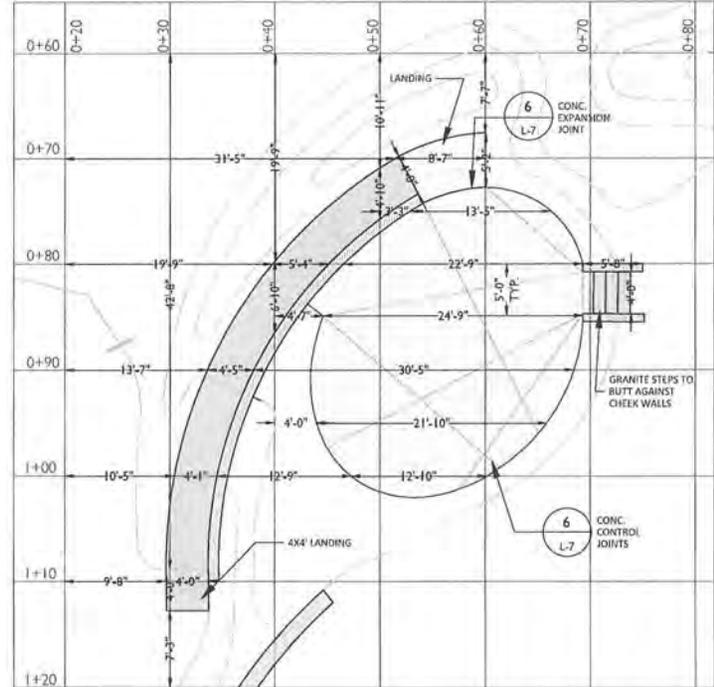
WALL TYPES  
SCALE: 1/8" = 1'



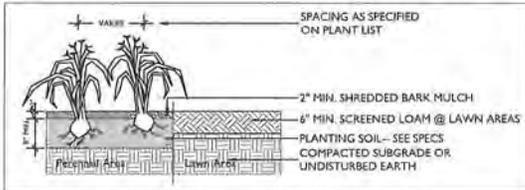
STONE DUST RAMP (STAGE ACCESS)  
SCALE: 1/2" = 1'



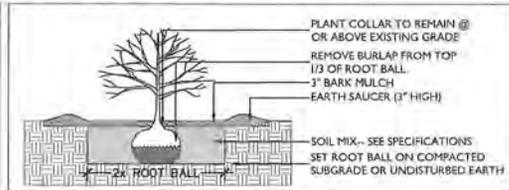
STAGE CONCRETE SLAB & JOINTING  
SCALE: 1/2" = 1'



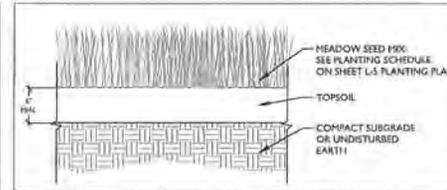
STAGE AND RAMP - (3) TAB (1) YOU  
SCALE: 1/8" = 1'



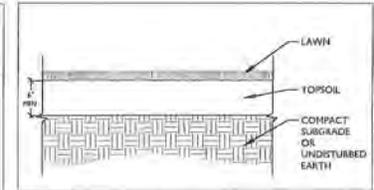
1 TYPICAL PERENNIAL & ORNAMENTAL GRASS PLANTING  
SCALE: 1/8" = 1'-0"



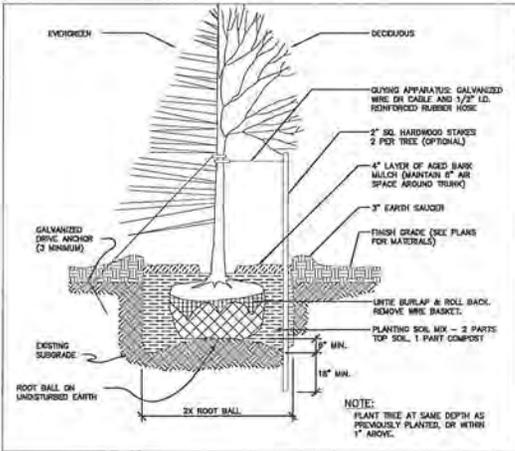
2 TYPICAL SHRUB PLANTING  
SCALE: 1/8" = 1'-0"



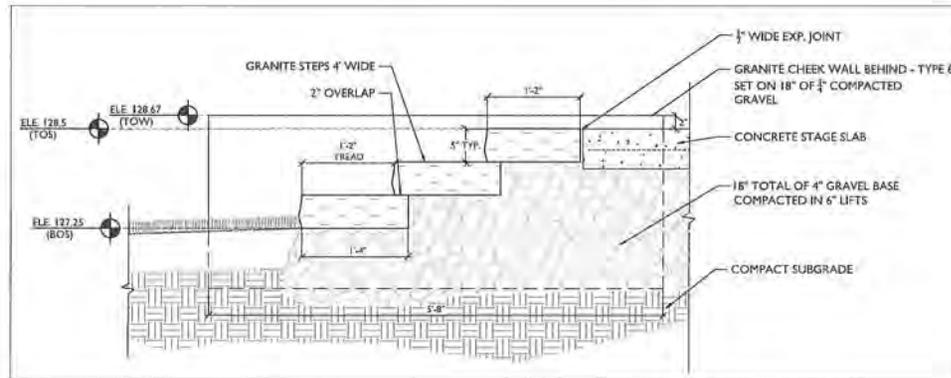
3 TYPICAL MEADOW PLANTING  
SCALE: 1/8" = 1'-0"



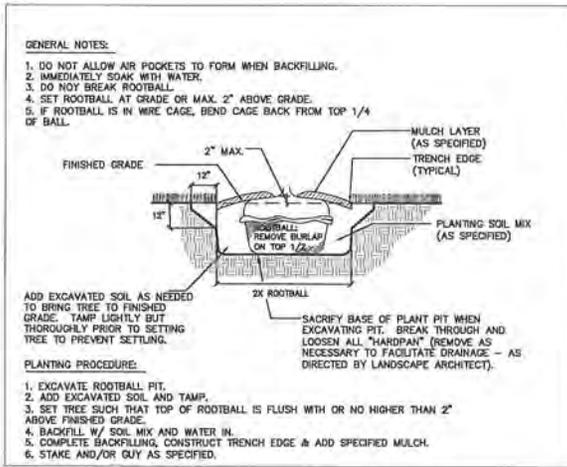
4 TYPICAL LAWN PLANTING  
SCALE: 1/8" = 1'-0"



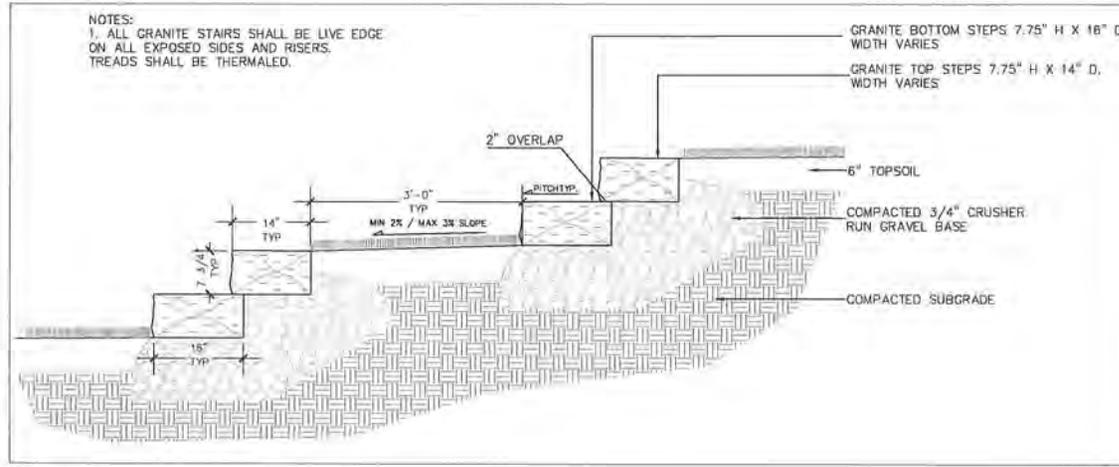
5 TYPICAL TREE PLANTING  
SCALE: 1/8" = 1'-0"



7 GRANITE STEPS WITH CHEEK WALLS  
SCALE: 1/8" = 1'-0"



6 TYPICAL TREE ROOTBALL PIT  
SCALE: 1/8" = 1'-0"



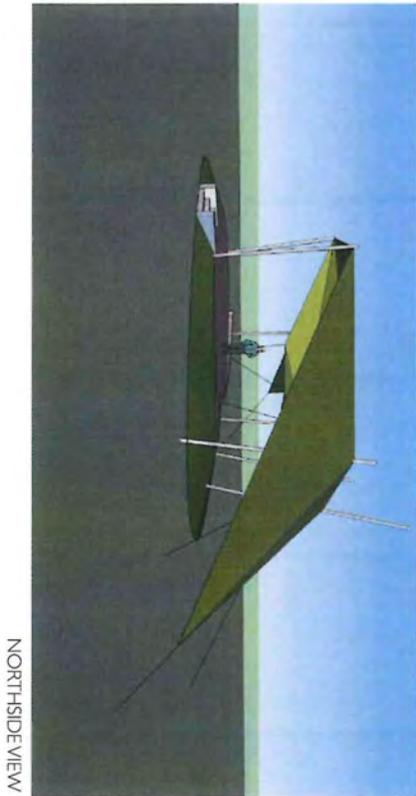
8 GRANITE STEPS WITHOUT CHEEK WALLS  
SCALE: 1/8" = 1'-0"

Richardson & Associates, Landscape Architects / 171 Oak Street, Lewiston, ME 04201 / PHONE: 207.554.1111 / FAX: 207.554.1112

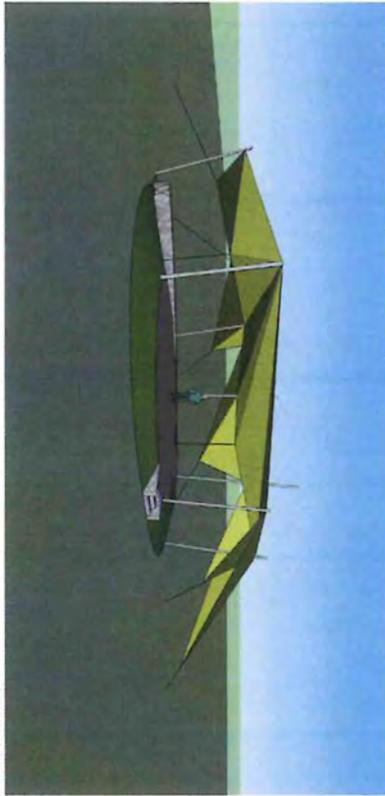
Scale AS SHOWN (original drawings size)  
Original Issue Date: November 2014  
Issued for: **ISSUE FOR BID**  
Revision Dates:

Lewiston Riverfront Amphitheatre - Planting & Stair Details  
City of Lewiston  
Lewiston, ME

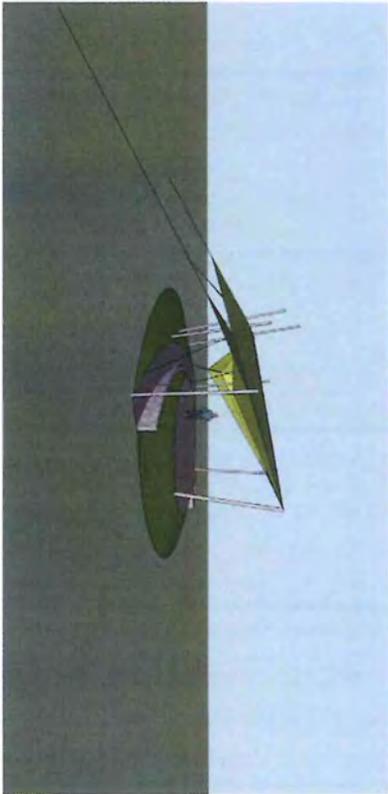




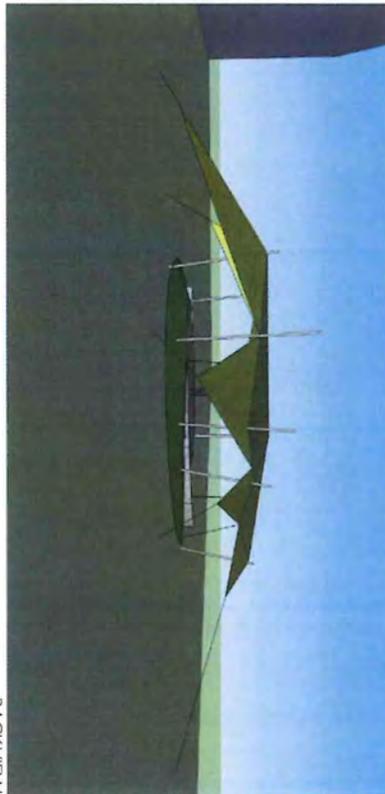
NORTHSIDE VIEW



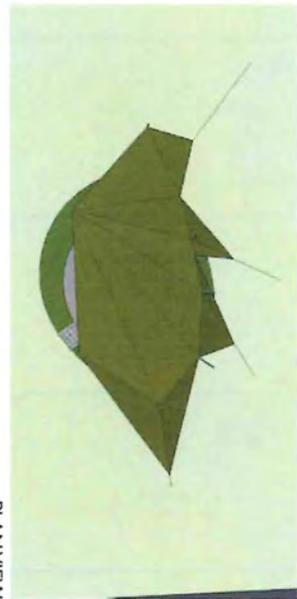
FRONT VIEW



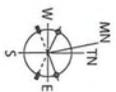
SOUTHSIDE VIEW

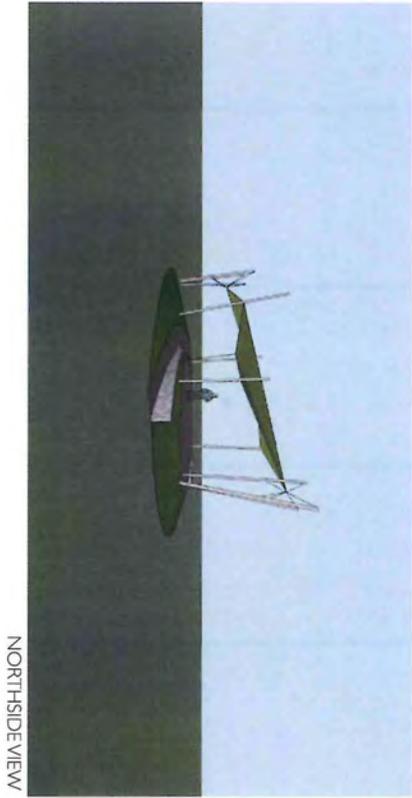


BACK VIEW

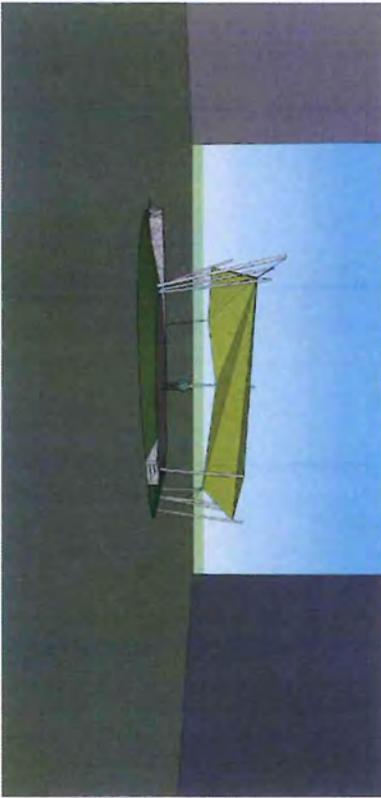


PLAN VIEW





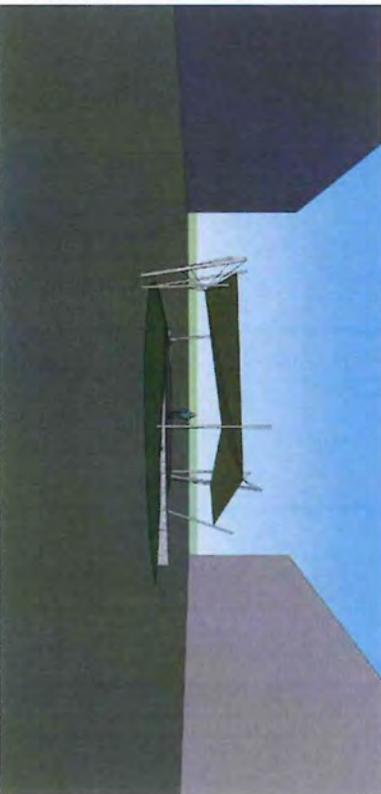
NORTHSIDEVIEW



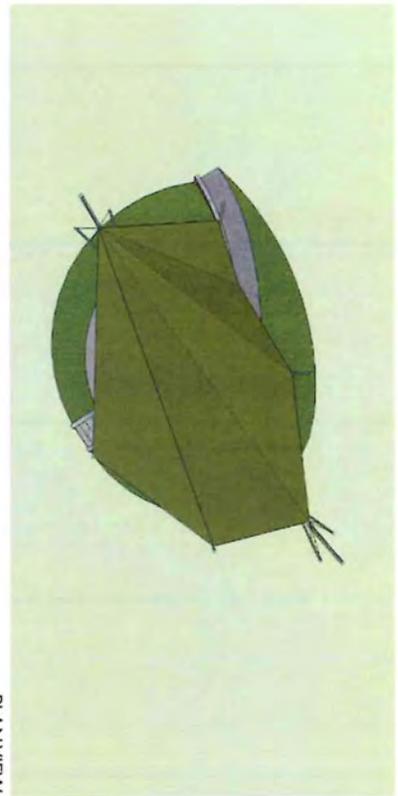
FRONT VIEW



SOUTHSIDEVIEW

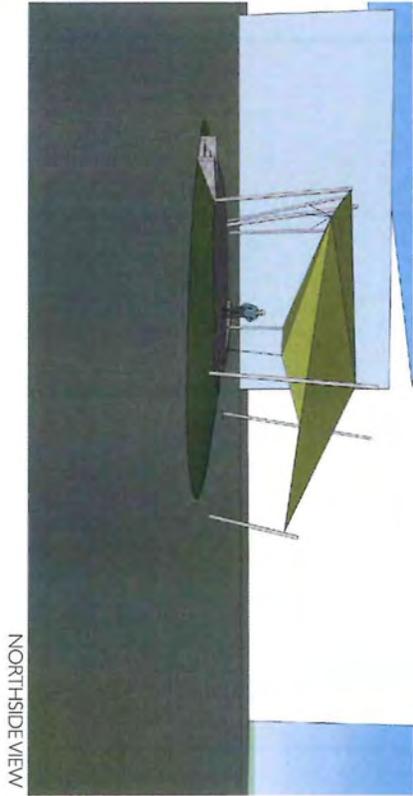


BACKVIEW

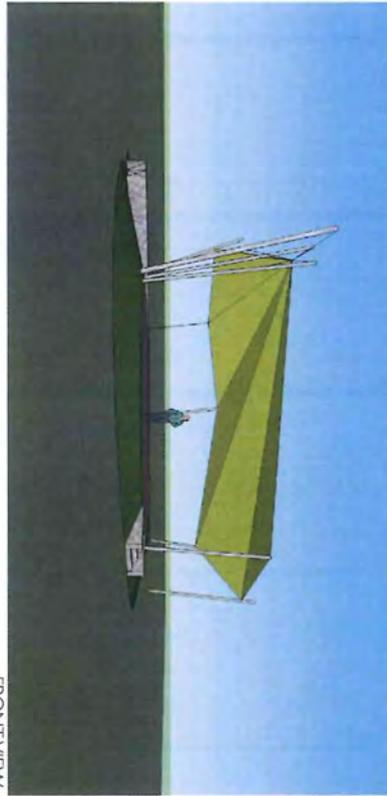


PLANVIEW

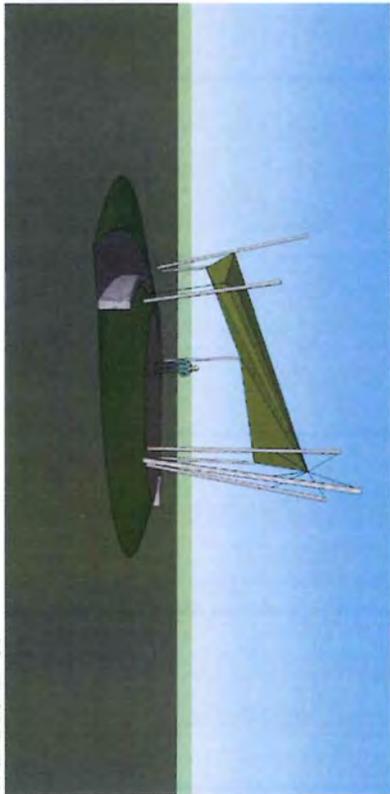




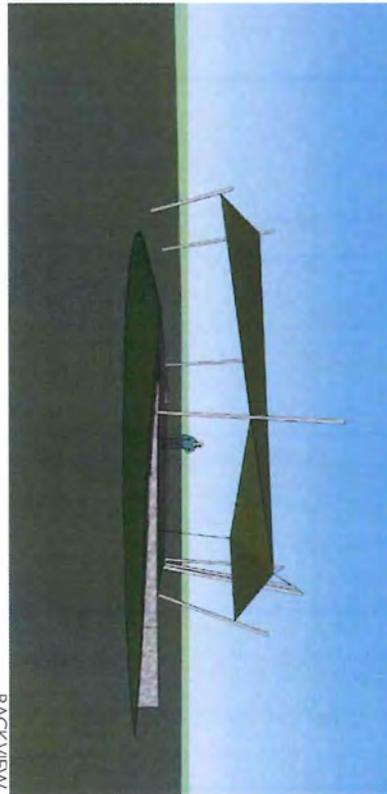
NORTHSIDE VIEW



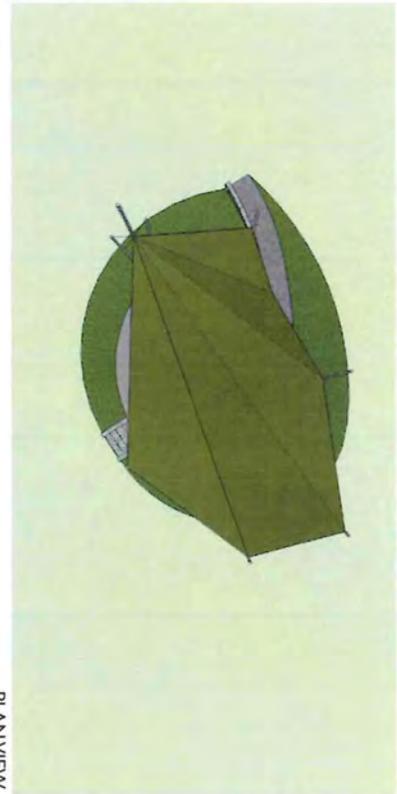
FRONT VIEW



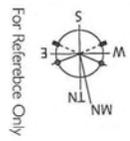
SOUTHSIDE VIEW

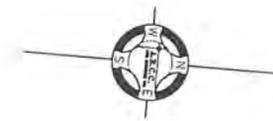
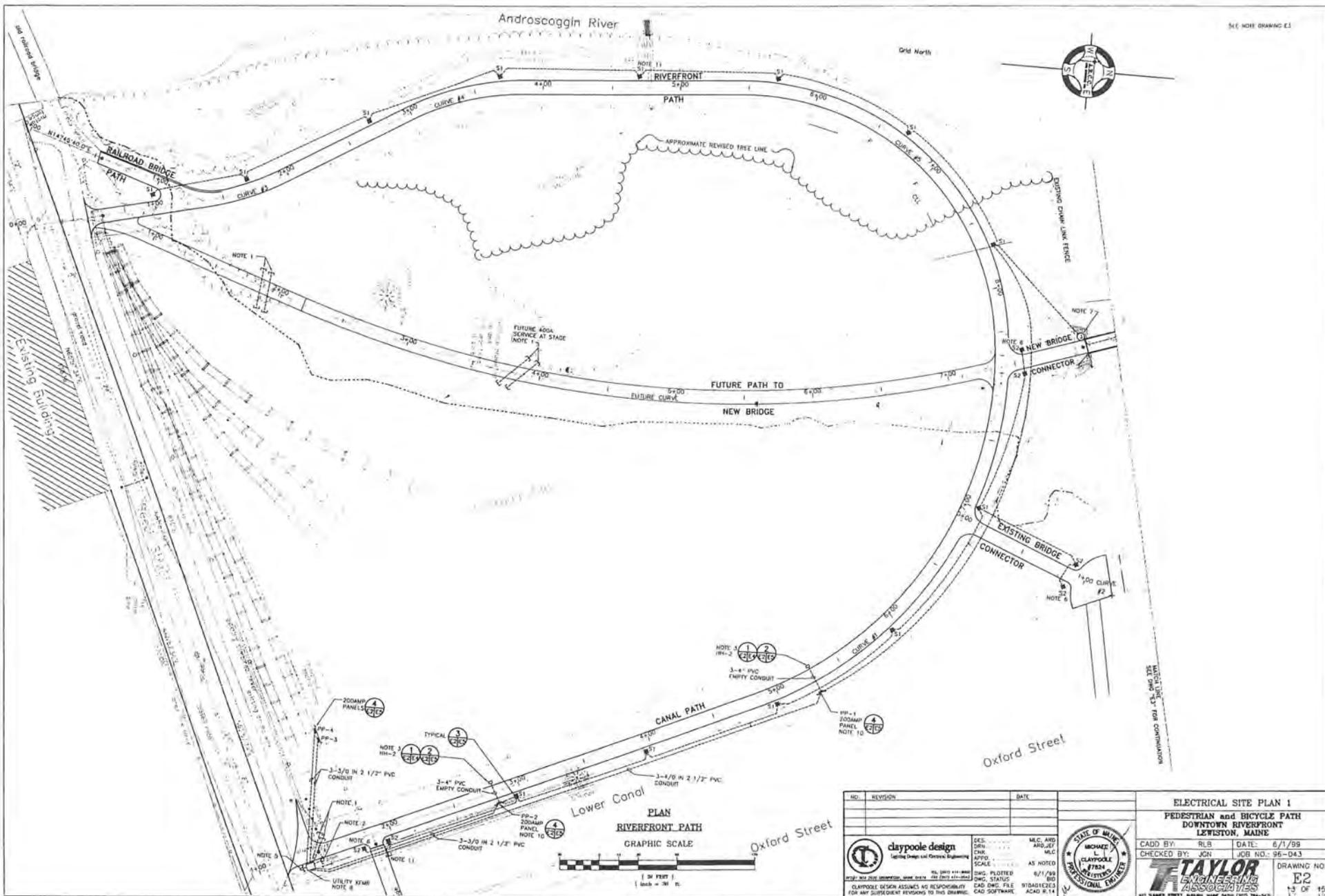


BACK VIEW



PLAN VIEW





PLAN  
RIVERFRONT PATH  
GRAPHIC SCALE  
1" = 30' FEET  
(1 inch = 30 ft)

|     |          |      |
|-----|----------|------|
| NO. | REVISION | DATE |
|     |          |      |
|     |          |      |

|   |                     |
|---|---------------------|
| DES.:   | MLC. AND            |
| DWG.:   | ARD/JEF             |
| CHK.:   | MLC                 |
| APP'D:  | AS NOTED            |
| SCALE:  | AS NOTED            |
| DWG. PLOTTER:   | DWG. STATUS:        |
| CLAYPOOLE DESIGN ASSOCIATES INC. RESPONSIBILITY FOR ANY SUBSEQUENT REVISIONS TO THIS DRAWING. | CAD FILE: FILE      |
|   | STANDARD: ACAD R.14 |

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| STATE OF MAINE |                                  |
| 1              | CLAYPOOLE DESIGN ASSOCIATES INC. |
| REGISTERED     | PROFESSIONAL ENGINEER            |

|                             |                 |
|-----------------------------|-----------------|
| ELECTRICAL SITE PLAN 1      |                 |
| PEDESTRIAN and BICYCLE PATH |                 |
| DOWNTOWN RIVERFRONT         |                 |
| LEWISTON, MAINE             |                 |
| CADD BY: RLS                | DATE: 6/1/99    |
| CHECKED BY: JEN             | JOB NO.: 99-DA3 |
|                             |                 |
| DRAWING NO. E2              | 13 OF 15        |

