

CITY OF LEWISTON
PLANNING BOARD MEETING
Monday, September 9, 2013 – 5:30 P.M.
City Council Chambers, First Floor
Lewiston City Building
27 Pine Street, Lewiston

AGENDA

I. ROLL CALL

II. ADJUSTMENTS TO THE AGENDA

III. CORRESPONDENCE

IV. PUBLIC HEARINGS:

- a) An application submitted by A.R.C.C. Land Surveyors, Inc. on behalf of Mark L. and Terri I. Chizmar, 7 St. Jerome Street, Lillian Fortin-Martin, 9 St. Jerome Street, Matthew Lajoie, 11 St. Jerome Street, and Alexandra D'Eramo, 15 St. Jerome Street to acquire additional land to the rear of their properties from the Pinard Farms Association to satisfy the zoning and land violations involving encroachments into open space. The applicant is also requesting setback modifications for sheds at 7 St. Jerome Street, 9 St. Jerome Street, and 11 St. Jerome Street located within the required 10' side setback.

V. OTHER BUSINESS:

- a) Review and discussion of a request submitted by Walsh Engineering Associates, Inc. on behalf of Volunteers of America Northern New England for a 30-unit affordable housing project between Bartlett Street and Pierce Street located at 139-155 Bartlett Street and 110-122 Pierce Street.
- b) Discussion about performance standards applicable to drinking places.
- c) Joint City Council/Planning Board meeting - September 17, 2013: Update from Bates College.
- d) Any other business Planning Board Members may have relating to the duties of the Lewiston Planning Board.

VI. OLD BUSINESS:

- a) Update on Riverfront Project
- b) Update on Comprehensive Plan

VII. READING OF THE MINUTES: Motion to adopt the draft minutes from the August 26, 2013

VIII. ADJOURNMENT

PINARD FARMS I SUBDIVISION

REVISION FOUR

ST. JEROME STREET

LEWISTON, MAINE

TABLE OF CONTENTS

Cover Letter	1 page
Application	13 pages
Right Title and Interest	13 pages
Letter From Pinard Farms Association	20 pages
Pinard Farms Association Articles of Incorporation	8 pages
Open Space Requirements	1 page



Arthur W. Montana PLS 492
Robert W. Gagnon Jr, PLS 2177

August 22, 2013

David Hediger, Deputy Director/City Planner
27 Pine Street
Lewiston, ME 04240

Dear David:

Mark & Terri Chizmar, 7 St. Jerome Street, Lillian Fortin-Martin, 9 St. Jerome Street, Matthew Lajoie, 11 St. Jerome Street and Alexandra D'Eramo, 15 St. Jerome Street wish to acquire additional land to the rear of their property from Pinard Farms Association to satisfy Land Use Code violations.

They are seeking modifications to the side yard setback for Lots 1, 2 and 3. Lot 1 reduced to 6.94 feet, Lot 2 reduced to 7.66 feet and lot 3 reduced to 5.95 feet.

The Subdivision has a surplus of 57,757.77 square feet. The amended plan reduces the open space by 11,205.99 square feet for a remainder of 46,551.7.89 square feet of surplus open space.

I have included 15 copies of the plan and application.

Sincerely,


Arthur W. Montana, PLS

Encl.



Development Review Application

City of Auburn Planning and Permitting Department
City of Lewiston Department of Planning and Code Enforcement



PROJECT NAME: Pinard Farms I Revision 4

PROPOSED DEVELOPMENT ADDRESS: 7, 9, 11 & 15 St. Jerome Street

PARCEL ID#: Map 64 Lots 91, 90, 88 & 86

REVIEW TYPE: Site Plan/Special Exception Site Plan Amendment
 Subdivision Subdivision Amendment

PROJECT DESCRIPTION: Lots at 7, 9, 11, & 15 St. Jerome Street wish to acquire additional land to the rear of their property from the Pinard Farms Association to satisfy the Land Use Code violations.

CONTACT INFORMATION:

Applicant

Name: Mark L. & Terri I. Chizmar
Address: 7 St. Jerome Street
Zip Code 04240
Work #: 837-7271
Cell #:
Fax #:
Home #:
Email:

Property Owner

Name: Same for all
Address:
Zip Code
Work #:
Cell #:
Fax #:
Home #:
Email:

Project Representative

Name: A.R.C.C. Land Surveyors, Inc.
Arthur W. Montana, PLS
Address: 160 Stone Road Auburn
Zip Code 04210
Work #: 782 3685
Cell #: 576-7014
Fax #:
Home #: 346-3455
Email: pls492@yahoo.com

Other professional representatives for the project (surveyors, engineers, etc.),

Name:
Address:
Zip Code
Work #:
Cell #:
Fax #:
Home #:
Email:

Zoning Summary

1. Property is located in the NCA zoning district.
2. Parcel Area: _____ acres / _____ square feet(sf).

Regulations	<u>Required/Allowed</u>	<u>Provided</u>
Min Lot Area	<u>Lots are in a Residential Cluster Development</u>	
Street Frontage	/	/
Min Front Yard	<u>20 feet</u>	/
Min Rear Yard	<u>20 feet</u>	/
Min Side Yard	<u>10 feet</u>	/
Max. Building Height	/	/
Use Designation	/	/
Parking Requirement	<u>1 space/ per _____ square feet of floor area</u>	
Total Parking:	/	/
Overlay zoning districts (if any):	/	/
Urban impaired stream watershed?	<u>YES/NO If yes, watershed name <u>NO</u></u>	

DEVELOPMENT REVIEW APPLICATION SUBMISSION

Submission shall include payment of fee and fifteen (15) complete packets containing the following materials:

1. Full size plans containing the information found in the attached sample plan checklist.
2. Application form that is completed and signed.
3. Cover letter stating the nature of the project.
4. All written submittals including evidence of right, title and interest.
5. Copy of the checklist completed for the proposal listing the material contained in the submitted application.

Refer to the application checklist for a detailed list of submittal requirements.

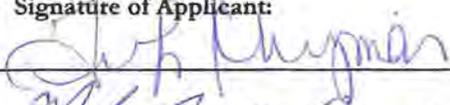
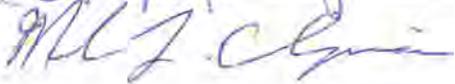
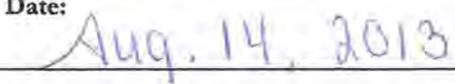
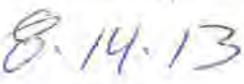
L/A's development review process and requirements have been made similar for convenience and to encourage development. Each City's ordinances are available online at their prospective websites:

Auburn: www.auburnmaine.org under City Departments/ Planning and Permitting/Land Use Division/Zoning Ordinance

Lewiston: <http://www.ci.lewiston.me.us/clerk/ordinances.htm> Refer to Appendix A of the Code of Ordinances

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, I certify that the City's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for development review only; a Performance Guarantee, Inspection Fee, Building Permit Application and other associated fees and permits will be required prior to construction.

Signature of Applicant:  	Date:  
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Zoning Summary

1. Property is located in the NCA zoning district.
2. Parcel Area: _____ acres / _____ square feet(sf).

Regulations	<u>Required/Allowed</u>	<u>Provided</u>
Min Lot Area	<u>Lots are in a Residential Cluster Development</u>	
Street Frontage	/	/
Min Front Yard	<u>20 feet</u>	/
Min Rear Yard	<u>20 feet</u>	/
Min Side Yard	<u>10 feet</u>	/
Max. Building Height	/	/
Use Designation	/	/
Parking Requirement	<u>1 space/ per _____ square feet of floor area</u>	
Total Parking:	/	/
Overlay zoning districts (if any):	/	/
Urban impaired stream watershed?	<u>YES/NO If yes, watershed name NO</u>	

DEVELOPMENT REVIEW APPLICATION SUBMISSION

Submission shall include payment of fee and fifteen (15) complete packets containing the following materials:

1. Full size plans containing the information found in the attached sample plan checklist.
2. Application form that is completed and signed.
3. Cover letter stating the nature of the project.
4. All written submittals including evidence of right, title and interest.
5. Copy of the checklist completed for the proposal listing the material contained in the submitted application.

Refer to the application checklist for a detailed list of submittal requirements.

L/A's development review process and requirements have been made similar for convenience and to encourage development. Each City's ordinances are available online at their prospective websites:

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I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, I certify that the City's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for development review only; a Performance Guarantee, Inspection Fee, Building Permit Application and other associated fees and permits will be required prior to construction.

Signature of Applicant 	Date: 
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PROJECT DATA

The following information is required where applicable, in order to complete the application

IMPERVIOUS SURFACE AREA/RATIO

Existing Total Impervious Area	0	sq. ft.
Proposed Total Paved Area	0	sq. ft.
Proposed Total Impervious Area	316 (sheds)	sq. ft.
Proposed Impervious Net Change		sq. ft.
Impervious surface ratio existing		% of lot area
Impervious surface ratio proposed		% of lot area

BUILDING AREA/LOT COVERAGE

Existing Building Footprint	3 Sheds 316	sq. ft.
Proposed Building Footprint		sq. ft.
Proposed Building Footprint Net change		sq. ft.
Existing Total Building Floor Area		sq. ft.
Proposed Total Building Floor Area		sq. ft.
Proposed Building Floor Area Net Change		sq. ft.
New Building		(yes or no)
Building Area/Lot coverage existing		% of lot area
Building Area/Lot coverage proposed		% of lot area

ZONING

Existing _____
Proposed, if applicable _____

LAND USE

Existing _____
Proposed _____

RESIDENTIAL, IF APPLICABLE

Existing Number of Residential Units _____
Proposed Number of Residential Units _____
Subdivision, Proposed Number of Lots _____

PARKING SPACES

Existing Number of Parking Spaces _____
Proposed Number of Parking Spaces _____
Required Number of Parking Spaces _____
Number of Handicapped Parking Spaces _____

ESTIMATED COST OF PROJECT

DELEGATED REVIEW AUTHORITY CHECKLIST

SITE LOCATION OF DEVELOPMENT AND STORMWATER MANAGEMENT

Existing Impervious Area	316	sq. ft.
Proposed Disturbed Area	none	sq. ft.
Proposed Impervious Area	none	sq. ft.

1. *If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with MDEP.*
2. *If the proposed impervious area is greater than one acre including any impervious area created since 11/16/05, then the applicant shall apply for a MDEP Stormwater Management Permit, Chapter 500, with the City.*
3. *If total impervious area (including structures, pavement, etc) is greater than 3 acres since 1971 but less than 7 acres, then the applicant shall apply for a Site Location of Development Permit with the City. If more than 7 acres then the application shall be made to MDEP unless determined otherwise.*
4. *If the development is a subdivision of more than 20 acres but less than 100 acres then the applicant shall apply for a Site Location of Development Permit with the City. If more than 100 acres then the application shall be made to MDEP unless determined otherwise.*

TRAFFIC ESTIMATE

Total traffic estimated in the peak hour-existing
(Since July 1, 1997)

N/A _____ passenger car equivalents (PCE)

Total traffic estimated in the peak hour-proposed (Since July 1, 1997) N/A passenger car equivalents (PCE)
If the proposed increase in traffic exceeds 100 one-way trips in the peak hour then a traffic movement permit will be required.



Development Review Checklist

City of Auburn Planning and Permitting Department
City of Lewiston Department of Planning and Code Enforcement



THE FOLLOWING INFORMATION IS REQUIRED WHERE APPLICABLE TO BE SUBMITTED FOR AN APPLICATION TO BE COMPLETE

PROJECT NAME: Penard Farms I Revision 4

PROPOSED DEVELOPMENT ADDRESS and PARCEL #: St. Jerome Street

Required Information		Check Submitted		Applicable Ordinance	
		Applicant	Staff	Lewiston	Auburn
Site Plan					
	Owner's Names/Address	X			
	Names of Development	X			
	Professionally Prepared Plan	X			
	Tax Map or Street/Parcel Number	X			
	Zoning of Property	X			
	Distance to Property Lines	X			
	Boundaries of Abutting land	X			
	Show Setbacks, Yards and Buffers	X			
	Airport Area of Influence (Auburn only)				
	Parking Space Calcs	N/A			
	Drive Openings/Locations	N/A			
	Subdivision Restrictions	X			
	Proposed Use	X			
	PB/BOA/Other Restrictions	N/A			
	Fire Department Review				
	Open Space/Lot Coverage	X			
	Lot Layout (Lewiston only)	N/A			
	Existing Building (s)				
	Existing Streets, etc.				
	Existing Driveways, etc.				
	Proposed Building(s)				
	Proposed Driveways				
Landscape Plan					
	Greenspace Requirements	N/A			
	Setbacks to Parking				
	Buffer Requirements				
	Street Tree Requirements				

	Screened Dumpsters	N/A			
	Additional Design Guidelines				
	Planting Schedule	N/A			
Stormwater & Erosion Control Plan		N/A			
	Compliance w/ chapter 500				
	Show Existing Surface Drainage				
	Direction of Flow				
	Location of Catch Basins, etc.				
	Drainage Calculations				
	Erosion Control Measures				
	Maine Construction General Permit				
	Bonding and Inspection Fees				
	Post-Construction Stormwater Plan				
	Inspection/monitoring requirements				
	Third Party Inspections (Lewiston only)				
Lighting Plan		N/A			
	Full cut-off fixtures				
	Meets Parking Lot Requirements				
Traffic Information		NA			
	Access Management				
	Signage				
	PCE - Trips in Peak Hour				
	Vehicular Movements				
	Safety Concerns				
	Pedestrian Circulation				
	Police Traffic				
	Engineering Traffic				
Utility Plan		N/A			
	Water				
	Adequacy of Water Supply				
	Water main extension agreement				
	Sewer				
	Available city capacity				
	Electric				
	Natural Gas				
	Cable/Phone				
Natural Resources					
	Shoreland Zone	N/A			
	Flood Plain	N/A			
	Wetlands or Streams	NONE			
	Urban Impaired Stream	N/A			
	Phosphorus Check	N/A			
	Aquifer/Groundwater Protection	N/A			
	Applicable State Permits				

	No Name Pond Watershed (Lewiston only)				
	Lake Auburn Watershed (Auburn only)				
	Taylor Pond Watershed (Auburn only)				
Right Title or Interest		X			
	Verify	X			
	Document Existing Easements, Covenants, etc.	X			
Technical & Financial Capacity		N/A			
	Cost Est./Financial Capacity				
	Performance Guarantee				
State Subdivision Law					
	Verify/Check				
	Covenants/Deed Restrictions	X			
	Offers of Conveyance to City				
	Association Documents	X			
	Location of Proposed Streets & Sidewalks	N/A			
	Proposed Lot Lines, etc.	X			
	Data to Determine Lots, etc.	X			
	Subdivision Lots/Blocks	X			
	Specified Dedication of Land				
Additional Subdivision Standards					
	Single-Family Cluster (Lewiston only)				
	Multi-Unit Residential Development (Lewiston only)				
	Mobile Home Parks				
	Private Commercial or Industrial Subdivisions (Lewiston only)				
	PUD (Auburn only)				
A jpeg or pdf of the proposed site plan					
Final sets of the approved plans shall be submitted digitally to the City, on a CD or DVD, in AutoCAD format R 14 or greater, along with PDF images of the plans for archiving					

RELEASE DEED

William T. Turner, Jr. with mailing address at 314 Center Street, Auburn, Maine 04210, grants to Pinard Farms Association, a Maine not-for-profit Corporation with a mailing address at 314 Center Street, Auburn, Maine 04210, all of the real estate designated as "Open Space" as depicted on the Plan entitled "Pinard Farms I" dated July 8, 1988 recorded in the Androscoggin County Registry of Deeds, Book of Plans, Book 34, Page 173, as revised pursuant to Revision I dated January 17, 1989 recorded in the said Registry of Deeds at Book of Plans Book 34, Page 173, as revised pursuant to Revision II dated July 17, 1989 recorded in the said Registry of Deeds, Book of Plans, Book 35, Page 2, and as further revised pursuant to Revision III dated May 17, 1994 recorded in the said Registry of Deeds, Book of Plans, Book 38, Page 20.

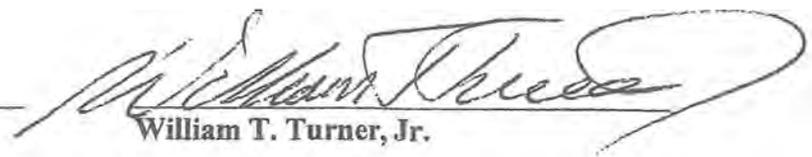
NO MAINE R.E.
TRANSFER TAX PAID

This conveyance is made subject to any and all notes, easements, and any and all other matters shown on the above-described Plan. This conveyance is conveyed together with, and subject to, any and all rights, easements, privileges and appurtenances of record.

For source of the Grantor's title See Warranty Deed from Androscoggin Valley Development Group to William Turner dated May 1, 1992, recorded in the Androscoggin County Registry of Deeds at Book 2842, Page 160.

In Witness Whereof, the undersigned has hereunto set his hand effective this 3rd day of December, 2012.

Witness:

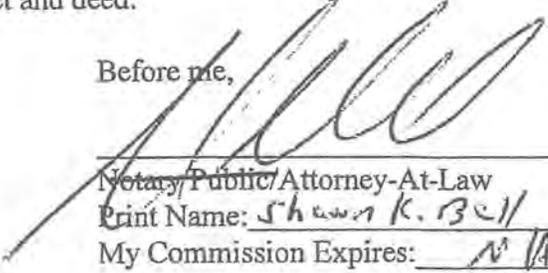

William T. Turner, Jr.

STATE OF MAINE
ANDROSCOGGIN, SS.

December 3, 2012

Then personally appeared the above-named **William T. Turner, Jr.** and acknowledged the foregoing instrument to be his free act and deed.

Before me,



Notary Public/Attorney-At-Law

Print Name: Sharon K. Bell

My Commission Expires: 12/16

ANDROSCOGGIN COUNTY
TINA M CHOUINARD
REGISTER OF DEEDS

The preparer did not conduct a title search or examination in connection with this instrument on the property described herein, and therefore title is neither warranted nor guaranteed by the preparer. The preparer expresses no opinion as to the title the grantee will receive. The preparer of this Deed makes no representation as to the status of title, property use, zoning regulations, or any other matter.

64-91

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, WE, ROBERT M. COURNOYER & JEANNETTE M. COURNOYER, of 7 St. Jerome Street, Lewiston, County of Androscoggin, in the State of Maine

FOR CONSIDERATION PAID, GRANT TO

TERRI L. CHIZMAR & MARK L. CHIZMAR, of 11 School Street, Lisbon Falls, County of Androscoggin in the State of Maine

with WARRANTY COVENANTS, as JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP, the following:

A certain lot or parcel of land with the buildings and improvements thereon, situated in the City of Lewiston, county of Androscoggin, State of Maine, bounded and described as follows:

Being Lot numbered one (1) as shown on a Plan entitled "Pinard Farms I, Revision Tow" dated July 17, 1989 prepared by A.L. & H. Surveyors & Engineers, Inc. and recorded at Plan Book 35, Page 2 of the Androscoggin County Registry of Deeds. Reference is also made to an original plan of Pinard Farms I dated July 8, 1988 and recorded in Plan Book 34, Page 173 of said Registry as well as plan entitled "Pinard Farms J. Revision One" dated January 17, 1989 and recorded at Plan Book 34, Page 174 of said Registry.

The premises are conveyed subject to the terms and conditions of the Declaration of Property Restrictions and Established of Lot Owners Association for Pinard Farms dated June 22, 1989 and recorded at Book 2428, Page 253 of said Registry.

Meaning and intending to describe and convey the same premises conveyed to Robert M. Cournoyer & Jeannette M. Cournoyer by Warranty Deed of Androscoggin Valley Development Corporation, dated May 24, 1990 and recorded in the Androscoggin County Registry of Deeds at Book 2558 Page 92.

WITNESS our hands and seals this 16th day of October 2002.

Witness

Robert M. Cournoyer
ROBERT M. COURNOYER

Jeannette Cournoyer
JEANNETTE M. COURNOYER

State of Maine
Cumberland County

October 16, 2002

Oct

Personally appeared ROBERT M. COURNOYER & JEANNETTE M. COURNOYER known to me, or satisfactorily proven, to be the person whose name ARE subscribed to the foregoing instrument and acknowledged that they executed the same for the purposes therein contained.

Before me,

Diane L. Arsenault
Notary Public/Attorney-at-Law
My Commission Expires:

ANDROSCOGGIN COUNTY
Jeanine D. Bergand
REGISTER OF DEEDS

DIANE L. ARSENAULT
NOTARY PUBLIC, MAINE
MY COMMISSION EXPIRES MARCH 19, 2003

MAINE REAL ESTATE
TRANSFER TAX PAID

BK2578 PG084

12943
WARRANTY DEED
Corporate Grantor

64-90

Know all Men by these Presents,

That Androscoggin Valley Development Group

a Corporation organized and existing under the laws of the State of **Maine**

and having a place of business at **Lewiston**

in the County of **Androscoggin** and State of **Maine**

in consideration of **One dollar and all other valuable consideration**

paid by **Lillian J. Fortin**

whose mailing address is **10 Seville Place, Apt. #27
Lewiston, Maine 04240**

the receipt whereof it does hereby acknowledge, does hereby **give, grant, bargain, sell and convey**
unto the said **Lillian J. Fortin**

her heirs and assigns forever,

MAINE REAL ESTATE
TRANSFER TAX PAID

SCHEDULE A

A certain lot or parcel of land with the buildings and improvements thereon, situated in the City of Lewiston, County of Androscoggin, State of Maine, bounded and described as follows:

Being Lot numbered Two (2) as shown on a plan entitled "Pinard Farms I, Revision Two" dated July 17, 1989 prepared by A.L. & H. Surveyors & Engineers, Inc. and recorded at Plan Book 35, Page 2 of the Androscoggin County Registry of Deeds. Reference is also made to an original plan of Pinard Farms I dated July 8, 1988 and recorded in Plan Book 34, Page 173 of said Registry, as well as plan entitled "Pinard Farms I, Revision One" dated January 17, 1989 and recorded at Plan Book 34, Page 174 of said Registry.

The premises are conveyed subject to the terms and conditions of the Declaration of Property Restrictions and Establishment of Lot Owners Association for Pinard Farms dated June 22, 1989 and recorded at Book 2428, Page 253 of said Registry.

Meaning and intending to convey and hereby conveying a portion of the same premises conveyed to Grantor herein by deed of The Linwood Companies, Inc. dated May 24, 1989 and recorded in the Androscoggin County Registry of Deeds in Book 2411, Page 288.

To have and to hold the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said Lillian J. Fortin

her heirs and assigns, to them and their use and behoof forever.

And the said Grantor Corporation does hereby covenant with the said Grantee, her heirs and assigns, that it is lawfully seized in fee of the premises, that they are free of all encumbrances

that it has good right to sell and convey the same to the said Grantee to hold as aforesaid; and that it and its successors, shall and will warrant and defend the same to the said Grantee, her heirs and assigns forever, against the lawful claims and demands of all persons.

In Witness Whereof, the said Androscoggin Valley Development Group has caused this instrument to be sealed with its corporate seal and signed in its corporate name by

Gerard Morin, its President

thereunto duly authorized, this 29th day of the month of June A.D. 1990.

Signed, Sealed and Delivered

in presence of

Androscoggin Valley Development Group... (Corporate Name)

[Handwritten signature]

By Gerard Morin, its President

State of Maine, County of Androscoggin ss. June 29, 1990

Then personally appeared the above named Gerard Morin, President

of said Grantor Corporation as aforesaid,

and acknowledged the foregoing instrument to be his free act and deed in his said capacity, and the free act and deed of said Corporation.

Before me,

[Handwritten signature]

Barton M. Kelson, Notary Public, Attorney at Law

My Com. expires 6/25/95

90 JUL -5 PM 12:20

ANDROSCOGGIN, SS. REGISTRY OF DEEDS

Androscoggin Falls

I John Alden give my
permission For Roger R Richards
+ Matt Lajoie to Represent
me For land issue on
11 St Jerome St.

John Alden

June 30 2013

346-1644 Cell

BK2808 PG234

04442

64-84
88

WARRANTY DEED
Corporate Grantor

Know all Men by these Presents,

That Androscoggin Valley Development Group

a Corporation organized and existing under the laws of the State of Maine

and having a place of business at Lewiston

in the County of Androscoggin and State of Maine

~~for consideration~~ for consideration paid

paid by John Alden and Maryse Garceau Alden

*e/o MARTIN TOU
1/20/00*

whose mailing address is 275 Grove Street
Lewiston, ME 04240

MAINE REAL ESTATE
TRANSFER TAX PAID

the receipt whereof it does hereby acknowledge, does hereby give, grant, bargain, sell and convey

unto the said John Alden and Maryse Garceau Alden

heirs and assigns forever.

A certain lot or parcel of land with any buildings thereon described in Schedule A attached hereto and incorporated herein by reference.

SCHEDULE A

A certain lot or parcel of land with the buildings and improvements thereon, situated in the City of Lewiston, County of Androscoggin, State of Maine, bounded and described as follows:

Being Lot numbered Three (3) as shown on a plan entitled "Pinard Farms I, Revision Two" dated July 17, 1989 prepared by A.L. & H. Surveyors & Engineers, Inc. and recorded at Plan Book 35, Page 2 of the Androscoggin County Registry of Deeds. Reference is also made to an original plan of Pinard Farms I dated July 8, 1988 and recorded in Plan Book 34, Page 173 of said Registry, as well as plan entitled "Pinard Farms I, Revision One" dated January 17, 1989 and recorded at Plan Book 34, Page 174 of said Registry.

Meaning and intending to convey and hereby conveying the same premises conveyed to Grantor herein by deed of The Linwood Companies, Inc. dated 1989 and recorded in the Androscoggin County Registry of Deeds in Book 2411, Page 288.

To have and to hold the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said John Alden and Maryse Garceau Alden

their heirs and assigns, to them and their use and behoof forever.

And the said Grantor Corporation does hereby covenant with the said Grantee, their heirs and assigns, that it is lawfully seized in fee of the premises, that they are free of all encumbrances

that it has good right to sell and convey the same to the said Grantee to hold as aforesaid; and that it and its successors, shall and will warrant and defend the same to the said Grantee, their heirs and assigns forever, against the lawful claims and demands of all persons.

In Witness Whereof, the said Androscoggin Valley Development Group has caused this instrument to be sealed with its corporate seal and signed in its corporate name by

Gerard Morin, its President

thereunto duly authorized, this 9th day of the month of March

A.D. 19 92.

Signed, Sealed and Delivered

in presence of

Androscoggin Valley Development Group
(Corporate Name)

[Signature]

By *Gerard Morin*
Gerard Morin
its President

State of Maine, County of Androscoggin ss. March 9, 19 92.

Then personally appeared the above named Gerard Morin, President

of said Grantor Corporation as aforesaid,

and acknowledged the foregoing instrument to be his free act and deed in his said capacity, and the free act and deed of said Corporation.

Before me,

ATTEST:

Jeanine D. Bergeron
REGISTER OF DEEDS

92 MAR 12 AM 9:25

ANDROSCOGGIN CO. REGISTER OF DEEDS

[Signature]
Attorney at Law Notary Public

ROBERT CRAIG SALMINEN
Printed Name

104-88

**MEMORANDUM OF LAND INSTALLMENT CONTRACT
(BOND FOR A DEED)**

On the 25th day of September, 2008, **John Alden** and **Maryse Garceau Alden**, both of Lewiston, County of Androscoggin, State of Maine, hereinafter referred to as Sellers, entered into a land installment contract (Bond for a Deed) with **Daniel R. Lajoie**, of Naples, County of Cumberland, State of Maine, hereinafter referred to as Buyer. The property to be conveyed pursuant to said land installment contract is land and buildings situated in Lewiston, County of Androscoggin, State of Maine, bounded and described as follows:

Being Lot numbered Three (3) as shown on a plan entitled "Pinard Farms I, Revision Two" dated July 17, 1989 prepared by A. L. & H. Surveyors & Engineers, Inc. and recorded at Plan Book 35, Page 2 of the Androscoggin County Registry of Deeds. Reference is also made to an original plan of Pinard Farms I dated July 8, 1988 and recorded in Plan Book 34, Page 173 of said Registry, as well as plan entitled "Pinard Farms I, Revision One" dated January 17, 1989 and recorded at Plan Book 34, Page 174 of said Registry.

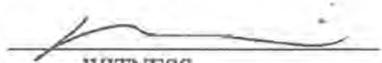
Being the same premises conveyed to Sellers by warranty deed of Androscoggin Valley Development Group dated March 9, 1992 and recorded in the Androscoggin County Registry of Deeds in Book 2808, Page 234.

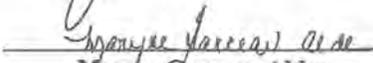
Sellers will convey said property to Buyer upon the sales price being paid in full and Buyer complying with the other obligations in the contract. The contract provides for monthly payments over a Five (5) year period. The property is to be conveyed by warranty deed. Buyer may not assign his rights in said contract without the Sellers' consent.

WITNESS OUR HANDS AND SEALS THE DAY AND YEAR ABOVE WRITTEN.


WITNESS


John Alden

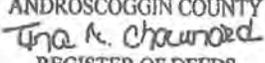

WITNESS


Maryse Garceau Alden

STATE OF MAINE
ANDROSCOGGIN, SS.

September 25, 2008

Personally appeared the above named **John Alden** and **Maryse Garceau Alden** and acknowledged the foregoing instrument to be their free act and deed.

ANDROSCOGGIN COUNTY

REGISTER OF DEEDS

Before me,

NOTARY PUBLIC

SEAL

\\pc1\Company Files\Assistant Files\Elaine\alden mem of lnd ins contract.wpd

Paul C Fournier
Notary Public, Maine
Commission Expires
9/16/2011

3

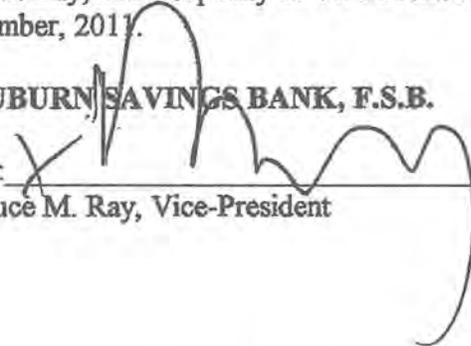
MAINE SHORT FORM QUITCLAIM DEED WITH COVENANT

AUBURN SAVINGS BANK, F.S.B., a federal banking corporation, with a principal place of business in Auburn, Androscoggin County, Maine, for consideration paid, grants to ALEXANDRA L. D'ERAMO, whose mailing address is 15 Gina Street, Lewiston, Maine, 04240, with QUITCLAIM COVENANT, a certain lot or parcel of land, with any buildings thereon, situated in Lewiston, County of Androscoggin, and State of Maine, being further described in the attached Exhibit A.

The premises are conveyed subject to any easements and restrictions of record, and this deed includes all rights, easements, privileges and appurtenances belonging to the premises hereinabove described.

IN WITNESS whereof, Auburn Savings Bank, F.S.B., has caused this instrument to be executed in its name and on its behalf by Bruce M. Ray, in his capacity as Vice-President, thereunto duly authorized, this 16th day of September, 2011.

AUBURN SAVINGS BANK, F.S.B.

By: 
Bruce M. Ray, Vice-President

Witness

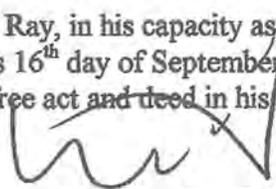
STATE OF MAINE
COUNTY OF ANDROSCOGGIN, SS.

Then personally appeared the above named Bruce M. Ray, in his capacity as Vice-President of Auburn Savings Bank, F.S.B., known to me, this 16th day of September, 2011 and acknowledged before me the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of Auburn Savings Bank, F.S.B.

Notary Public

Name: _____

My commission expires: _____


RICHARD E. CLARKE, ESQ.
State of Maine (Authorized to
Take Acknowledgements Pursuant
to 4-M.R.S.A. 1056)

MAINE REAL ESTATE
TRANSFER TAX PAID

EXHIBIT A

A certain lot or parcel of land with buildings thereon, situated in Lewiston, County of Androscoggin, State of Maine, being lot numbered five (5) on Plan of "Pinard Farms I, Revision One, Gina & St. Jerome Streets" prepared by A. L. & H. Surveyors & Engineers, Inc. dated January 17, 1989 and recorded in the Androscoggin County Registry of Deeds in Plan Book 35, Page 2. The above premises are conveyed subject to all matters as shown on said Plan.

The above premises are conveyed subject to an easement given by John Pinard to Central Maine Power Company dated February 2, 1926 and recorded in the Androscoggin County Registry of Deeds in Book 355, Page 375.

Being the same premises conveyed to Cornel Caron by a warranty deed from William T. Turner dated July 2, 2001 and recorded in the Androscoggin County Registry of Deeds in Book 4708, Page 343.

Reference is further made to a Personal Representative's Deed in Lieu of Foreclosure from Lisa G. Erskine, Personal Representative of the Estate of Cornel Caron dated June 16, 2011 and recorded in the Androscoggin County Registry of Deeds in Book 8182, Page 234.

N:\Androtc\WPDOCS\DIANET\ - MISCELLANOUS\MISC 2011\Auburn Savings Bank\Alexandra L. D' Eramo - QUIT CLAIM DEED.doc

X [Signature]
X — [Signature]

ANDROSCOGGIN COUNTY
TINA M CHOUINARD
REGISTER OF DEEDS

PINARD FARMS ASSOCIATION

Kelley Parker, President
45 Gina Street
Lewiston, ME 04240
Tel. 207-783-5856

August 13, 2013

Gildace J. Arsenault
City of Lewiston
Code Enforcement
27 Pine Street
Lewiston, ME 04240

RE: Pinard Farms Subdivision – Open Space

Dear Mr. Arsenault:

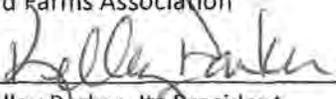
This letter will confirm Pinard Farms Association's acceptance and agreement to the following for the purpose of extending property lines and conforming with the City of Lewiston Code of Ordinances more particularly described in Code of Ordinances, Appendix A, Article V, Section 3(a) and setback requirements.

- 1) The Pinard Farms I Plan, Revision 3 dated May 17, 1994, record in Book of Plans 38, Page 20 be amended in accordance with the aforesaid paragraph.
- 2) Pinard Farms Association agrees to convey approximately 55 feet of land in the Open Space to the landowners of 7 St. Jerome Street to the extent that it conforms with the Code and setback requirements for \$1.00 and other valuable consideration.
- 3) Pinard Farms Association agrees to convey approximately 45 feet of land in the Open Space to the landowner of 9 St. Jerome Street to the extent that it conforms with the Code and setback requirements for \$1.00 and other valuable consideration.
- 4) Pinard Farms Association agrees to convey approximately 14 feet in the Open Space for the purpose of extending the property line to the landowner of 15 St. Jerome Street for \$1.00 and other valuable consideration.

This will also confirm that 75% of the landowners of the Pinard Farms Subdivision have approved the modifications to the "Open Space" as set forth in the Agreement to Proposed Modifications of Pinard Farms Subdivision Plan dated May 4, 2013, copy of which is attached hereto.

Very truly yours,

Pinard Farms Association

By: 
Kelley Parker, Its President

Pinard Farms Homeowners' Association

Kelley Parker, President
(207) 783-5856

Terri Chizmar, Secretary
(207) 784-0886

May 2, 2013

Re: Proposed Modification to the Open Space

Dear Homeowner:

As you aware, the Pinard Farms Homeowners' Association was recently established. At this time, several homeowners are interested in modifying the "open space" which is located between St. Jerome Street and Mark Street. Specifically,

1. Homeowners of 7 and 9 St. Jerome Street are proposing to extend their property approximately 60' into the existing open space in order that personal items (sheds and play areas) which have been erected in the open space for 10+ years remains intact and as is; and
2. Homeowners at 13, 15, and 17 St. Jerome Street are interested in simply extending their property approximately 14' into the open space.

Please refer to the attached map which outlines the proposed modifications.

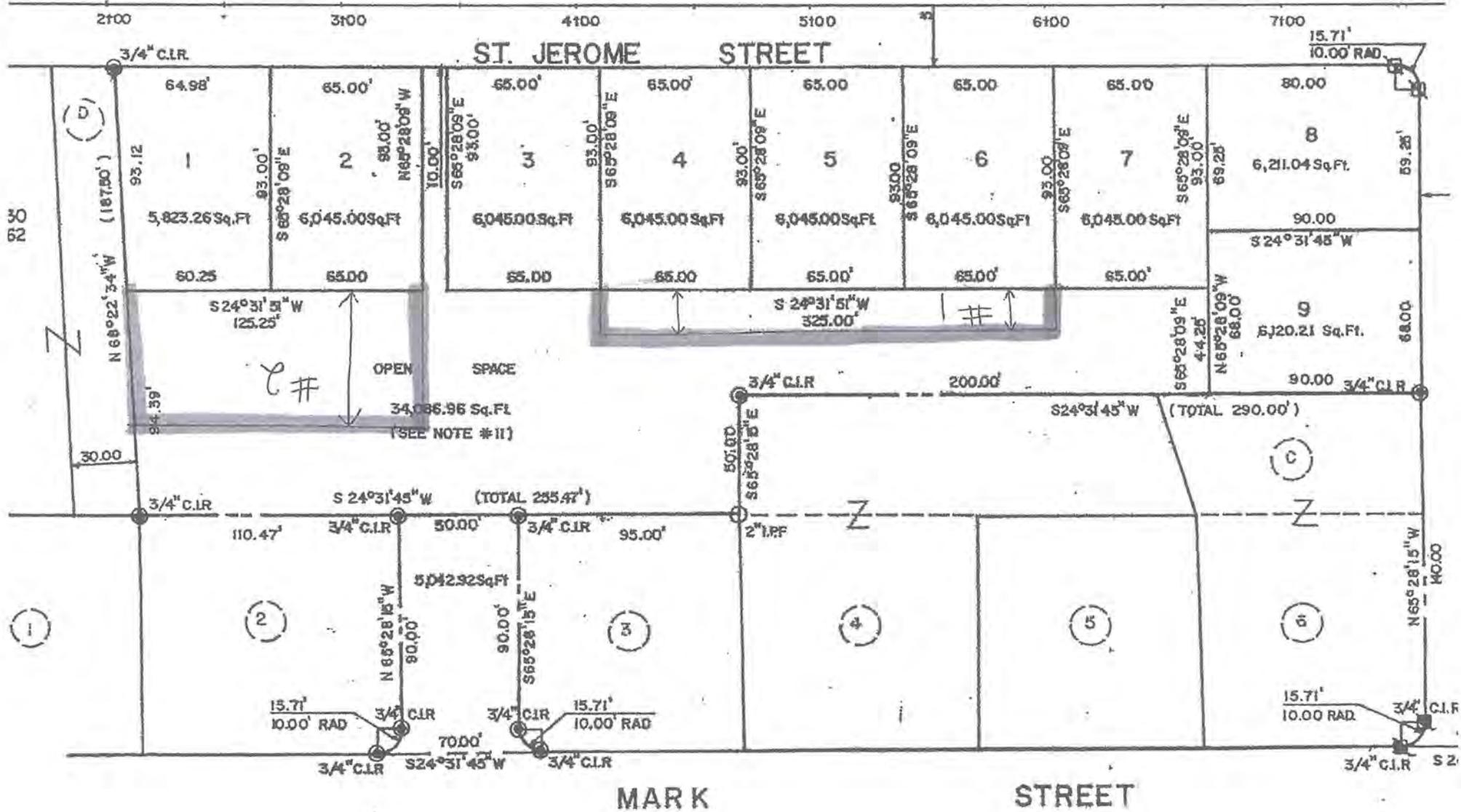
In keeping with the code established by the City of Lewiston, in order for any modification to be made to the open space, there must remain at least 30' of open space between the property boundaries of homes located on St. Jerome Street and homes located on Mark Street. The proposed modifications to the open space, as outlined on the attached map, takes that into consideration.

In short order, homeowners will be asked to sign a proposal which approves the described modifications to the existing open space. At a later date, the proposal will be presented to the City of Lewiston Planning Board for final approval of these modifications.

It should be noted that any and all expenses (i.e., surveying, filing fees, and attorney's fees) relative to the proposed modifications will be the sole responsibility of the homeowners who are requesting the modifications. There will be no expense incurred by any other homeowner of the Pinard Farm Homeowners' Association.

Any questions regarding these proposed modifications can be directed to one of the above individuals.

109' x 220' = 2 #
 111' x 220' = 1 #



Pinard Farms Homeowners Association

St. Jerome Street

- 7 Mark and Terri Chizmar
- 9 Lillian Martin
- 10 Glenn and Jessica Charest
- 11 John and Maryse Alden
- 12 Steven and Lucille Mehalcik
- 13 Louis R. Doyon
- 14 Carmelle S. Laplante
- 15 Alexandra L. D'Eramo
- 16 Timothy and Kathleen Pitman
- 17 Joanna F. Walsh-Ward
- 18 Derek L. Campbell
- 19 REMS, LLC
- 20 Gerard and Paula Langlois
- 21 Sean R. Tipton and Tanya L. Galipeau
- 22 Willie Lee and Susan Clayton

Gina Street

- 40 Hector and Marsha Greene and Michelle Morin
- 41 Nancy Kenneally
- 43 Gary and Constance Turcotte
- 45 Kelley Parker
- 48 Daniel Brooks and Heidi Hinson
- 49 Richard Billings and Lena Hann
- 50 Michel H. Boucher
- 51 Susan A. Peck
- 52 Douglas and Theresa Halacy
- 53 Roger and Sarah Landry
- 54 Robert and Linda McDonough
- 55 Betty A. Perreault
- 56 David and Tina Ingerson
- 57 Michael and Linda Lacombe

Pinard Farms Homeowners Association

- | | | | |
|-----|--|-----|--|
| 1. | Louis R. Doyon
13 St. Jerome Street | 2. | Derek L. Campbell
18 St. Jerome Street |
| 3. | Carmelle S. Laplante
14 St. Jerome Street | 4. | Kathleen Pitman
16 St. Jerome Street |
| 5. | Alexandra D'Eramo
15 St. Jerome Street | 6. | Sean R. Tipton
21 St. Jerome Street |
| 7. | Tanya L. Galipeau
21 St. Jerome Street | 8. | Nancy Kenneally
41 Gina Street |
| 9. | Susan A. Peck
51 Gina Street | 10. | Mark Parker
45 Gina Street |
| 11. | Michael Lacombe
57 Gina Street | 12. | Betty A. Perreault
55 Gina Street |
| 13. | Roger Landry
53 Gina Street | 14. | Terri L. Chizmar
7 St. Jerome Street |
| 15. | Mark L. Chizmar
7 St. Jerome Street | 16. | Gary Turcotte
43 Gina Street |
| 17. | Constance Turcotte
43 Gina Street | 18. | Marsha Greene
40 Gina Street |
| 19. | Hector Greene
40 Gina Street | 20. | Kelley Parker
45 Gina Street |
| 21. | Heidi Hinson Brooks
48 Gina Street | 22. | Theresa Halacy
52 Gina Street |
| 23. | Douglas Halacy
52 Gina Street | 24. | David and Tina Ingerson
56 Gina Street |
| 25. | Willie Lee Clayton
22 Gina Street | 26. | Lillian Fortin-Martin
9 St. Jerome Street |
| 27. | Linda Lacombe
57 Gina Street | 28. | Michel Boucher
50 Gina Street |

29. Glenn E. Charest
10 St. Jerome Street

31. Lucille O. Mehalcik
12 St. Jerome Street

33. Timothy Pitman
16 St. Jerome Street

35. Lena Hann
49 Gina Street

37. Linda McDonough
54 Gina Street

39. Daniel Brooks
48 Gina Street

41. Sarah Landry
53 Gina Street

30. Jessica Charest
10 St. Jerome Street

32. Steven L. Mehalcik
12 St. Jerome Street

34. Richard Billings
49 Gina Street

36. Robert McDonough
54 Gina Street

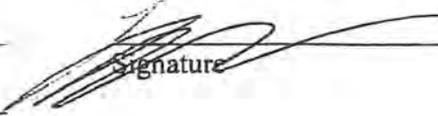
38. Michelle Morin
40 Gin Street

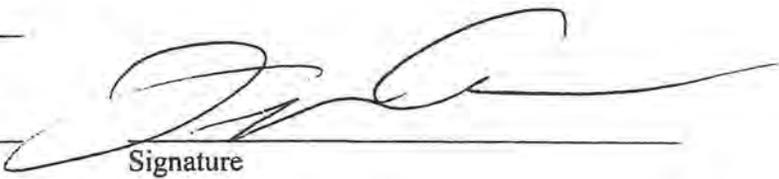
40. Susan Clayton
22 St. Jerome Street

Agreement to Proposed Modifications of Pinard Farms Subdivision Plan

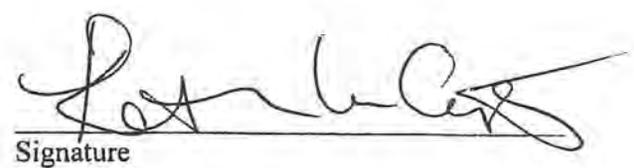
The undersigned homeowners of Pinard Farms Subdivision hereby approve the modifications to the open space as outlined on the map attached hereto and made a part thereof. All associated fees and expenses will be borne by the homeowners requesting the proposed modifications.

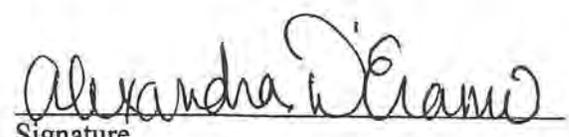
Signed this 4th day of May, 2013.

1. Lori Papp _____
13 St. Jerome St _____
Newport, RI, 04240 _____
 Signature

2. [Signature] _____
18 St. Jerome St. _____
Lewiston, ME 04040 _____
 Signature

3. Carmelle Laplante _____
14 St Jerome St Lewiston _____
 Signature

4. Kathleen E. [Signature] _____
16 St Jerome St _____
 Signature

5. Alexandra DiPiano _____
15 St. Jerome _____
 Signature

6. 21 SAINT JEROME ST

Susan Tipton
Signature

7. 21 Saint Jerome St.

Tanya J. Daley
Signature

8. 41 Gina St

Nancy Kenneally
Signature

9. 51 GINA ST

Susan Peck
Signature

10. 45 GINA ST

Marta
Signature

11. 57 Gina ST

M. H. Sforza
Signature

12. 55 Gina Street

[Signature]
Signature

13. 53 GINA ST

Robert Jandy
Signature

14. Terri L Chizmar
7 St. Jerome Street

Terri L Chizmar
Signature

15. Mark L. Chizmar
7 St. Jerome St.
Lewiston Me. 04240

Mark L Chizmar
Signature

16. Gary Turcotte
43 GINA ST
LEWISTON ME.

Gary Turcotte
Signature

17. Bonnie Turcotte
43 GINA ST
LEWISTON ME

Bonnie Turcotte
Signature

18. Marsha Greene
40 Gine St
Lewiston ME

Marsha Greene
Signature

19. Mike Greene (Norton)
40 Gine St
Lewiston ME

Mike Greene
Signature

20. Kelley Parker
45 Gina St
Lewiston, ME 04240

Kelley Parker
Signature

21. Heidi Brooks
48 Gina St.
Lew me 04240

Heidi Brooks
Signature

22. Theresa Halacy
52 Gina St
Lew ME 0424

Theresa Halacy
Signature

23. Doug Halacy
52 Gina St
Lewiston, ME 04240

Doug Halacy
Signature

24. David + Tina Ingerson
52 Gina Street
Lewiston ME 04240

Tina Ingerson
Signature
David Ingerson

25. Willie Clayton
22 SAINT JEROME

Signature

26. Lillian Fortin-Martin
9 St Jerome St.
Lewiston, ME 04240

Lillian Fortin-Martin
Signature

27. Linda Lacombe
57 Gina St
Lewiston, Me 04240

Linda Lacombe
Signature

28. Michel Boucher
50 Gina St
Lewiston, Me 04240

Michel Boucher
Signature

29. Glen E. Charest
10 Saint Jerome St
Lewiston, Me 04240

Glen E. Charest
Signature

30. Jessica Charest
10 Saint Jerome St
Lewiston ME 04240

Jessica Charest
Signature

31. Lucille O. MEHALIK
12 SAINT JEROME ST.
LEWISTON ME # 04240

Lucille O. Mehalik
Signature

32. STEVEN L. MEHALIK
12 SAINT JEROME ST.
LEWISTON ME # 04240

Steven L. Mehalik
Signature

33. Tim Pitman
16 St Jerome St.

Tim Pitman
Signature

34. RICHARD BILLINGS
49 GINA ST
LEWISTON ME

Richard Billings
Signature

35. Lena Hann
49 Gina St.
Lewiston ME

Lena Hann
Signature

36. Robert McDonough
54 Gina St.
Lewiston, Me.

Robert M. McDonough
Signature

37. Linda McDonough
54 Gina St.
Lewiston, Me.

Linda M McDonough
Signature

38. Michelle Morin
40 Gina St
Lewiston, Me

Michelle Morin
Signature

39. DANIEL BROOKS
48 GINA ST
LEWISTON ME

Daniel Brooke
Signature

40. SUSAN CLAYTON
22 JT JEROME ST
LEW ME

Susan Clayton
Signature

41. Sarah Landry
53 Gina St
Lewiston 04240

Sarah Landry
Signature

42. _____

Signature

43. _____

Signature

44. _____

Signature

45. _____

Signature

46. _____

Signature

47. _____

Signature

AGREEMENT TO PROPOSED MODIFICATIONS OF PINARD FARMS SUBDIVISION PLAN

The undersigned homeowners of Pinard Farms Subdivision hereby approve the modifications to the open space as outlined on the map attached hereto and made a part thereof to also include homeowner at 11 St. Jerome Street. All associated fees and expenses will be paid by the homeowners requesting the proposed modifications.

Signed this 15th / 16 / 19 th day of August, 2013.

FUR MATTHEW LAJOIE

Print Name & Address

Signature

1. LUCILLE MEHALAICK
12 ST. JEROME ST.
LEWISTON, ME #04240

Lucille Mehalick

2. STEVEN L. MEHALAICK
12 ST. JEROME ST.
LEWISTON, ME #04240

Steven L Mehalick

3. CARMELLE LAPLANTE
14 St. JEROME ST
LEWISTON ME 04240

Carmelle Laplante

4. Louis Doyon
13 St Jerome St
lewiston, me, 04240

Louis Doyon

5. WILLIE L. CLAYTON
22 SAINT JEROME ST
LEWISTON, ME 04240

Willie L. Clayton

6. SUSAN P. CLAYTON
22 SAINT JEROME ST
LEWISTON, ME 04240

Susan P. Clayton

Print Name & Address

Signature

7. ROBERT J. LANDRY
 53 GINA ST.
 Lewiston ME

Robert J. Landry

8. Sarah P Landry
 53 Gina St
 Lewiston ME 04240

Sarah P Landry

9. DANIEL BROOKS
 48 GINA ST
 LEWISTON ME

Daniel Brooks

10. Heidi Brooks
 48 Gina St
 Lewiston ME

Heidi Brooks

11. Kathleen Custer
 16 St. Jerome St.
 Lewiston Maine 04240

Kathleen Custer

12. Chris Couture
 18 St Jerome St
 Lewiston, Maine 04240

Chris Couture

13. Jamie Couture
 18 Saint Jerome St
 Lewiston ME 04240

Jamie Couture

14. Tim Titman
 16 St Jerome St.
 Lewiston, Me. 04240

Tim Titman

Print Name & Address

Signature

15. Tina Ingerson
56 Gina Street
Lewiston Me 04240

Tina Ingerson

16. David Ingerson
56 Gina Street
Lewiston Me 04240

David Ingerson

17. RICHARD BILLINGS
49 GINA ST
LEWISTON ME 04240

Richard Billings

WKE

18. LENA HANN
49 GINA ST
LEWISTON ME 04240

Lena Hann

19. GARY R TURCOTTE
43 GINA ST
LEWISTON, ME 04240

Gary R Turcotte

20. Connie Turcotte
43 GINA ST
LEWISTON ME 04240

Connie Turcotte

21. Alexandra DiEramo
Alexandria DiEramo 15 Gina St. Lewiston, ME 04240
15 St Bronne St Lewiston, ME 04240

Alexandra DiEramo

22. Maurahe Greeno
40 GINA ST
LEWISTON ME 04240

Maurahe Greeno

8:00

Print Name & Address

Signature

23. Nancy Kenneally
41 Gina St
Lewiston, ME

Nancy Kenneally

24. Doug Halacy
52 GINA ST
Lewiston, ME 04240

Doug Halacy

25. Theresa Halacy
52 Gina St
Lewiston ME 04240

Theresa Halacy

26. Michelle Morin
40 Gina St
Lewiston, Me

Michelle Morin

27. SEAN TIPTON
21 SAINT JEROME STREET
LEWISTON, MAINE

Sean R. Tipton

28. TANYA L. GALIPERU

Tanya L. Galiperu

29. Brian Langlois
20 St Jerome St -
Lewiston, ME 04240

Brian Langlois

30. Betty A. Perreault
55 Gina Street
Lewiston, ME 04240

Betty A. Perreault

Print Name & Address

Signature

31. Robert McDonough
54 Gina St.
Lewiston, Me 04240

Robert McDonough

32. Linda McDonough
54 Gina St.
Lewiston, Me 04240

Linda McDonough

33. Mitch Bouch
50 Gina St
Lewiston Me 04240

Mitch Bouch

34. Hector M Greene
40 Gina St
Lewiston ME 04240

Hector M Greene

35. Kelley Parker
45 Gina St
Lewiston, ME 04240

Kelley Parker

36. Susan Peck
51 GWA ST
LEWISTON, ME 04240

Susan Peck

37. Michael S. Lacombe
57 Gina St
Lewiston, ME 04240

Michael S Lacombe

13. St. Jerome - Doyon

6

Print Name & Address

Signature

38. Linda Lacombe
57 GING ST
LEWISTON, ME 04240

Linda Lacombe

39. MATH LAJOIE
11, St Jerome st.
LEWISTON MAINE 04240



40. _____

41. _____

42. _____

43. _____

44. _____

45. _____

Print Name & Address

Signature

46. Jessica Charest
10 St Jerome St

Jessica Charest

47. Glen Charest
10 St. Jerome St.

Glen Charest

48. _____

49. _____

50. _____

51. _____

52. _____

DOMESTIC
NONPROFIT CORPORATION

STATE OF MAINE

ARTICLES OF INCORPORATION

Filing Fee \$40.00

File No. 20130207ND Pages 4
Fee Paid \$ 40
DCN 2123101600029 ARTI
-----FILED-----
10/29/2012

Julia R. Flynn
Deputy Secretary of State

A True Copy When Attested By Signature

Julia R. Flynn
Deputy Secretary of State

Pursuant to 13-B MRSA §403, the undersigned incorporator(s) execute(s) and deliver(s) the following Articles of Incorporation:

FIRST: The name of the corporation is Pinard Farms Association

SECOND: ("X" one box only. Attach additional page(s) if necessary.)

The corporation is organized as a public benefit corporation for the following purpose or purposes:

The corporation is organized as a mutual benefit corporation for all purposes permitted under Title 13-B or, if not for all such purposes, then for the following purpose or purposes:

To establish a homeowners' association

THIRD: The Registered Agent is a: (select either a Commercial or Noncommercial Registered Agent)

Commercial Registered Agent CRA Public Number: _____

(name of commercial registered agent)

Noncommercial Registered Agent

William T. Turner, Jr.

(name of noncommercial registered agent)

314 Center Street, Auburn, Maine 04210

(physical location, not P.O. Box - street, city, state and zip code)

(mailing address if different from above)

FOURTH: Pursuant to 5 MRSA §108.3, the registered agent as listed above has consented to serve as the registered agent for this nonprofit corporation.

FIFTH: The number of directors (not less than 3) constituting the initial board of directors of the corporation, if the number has been designated or if the initial directors have been chosen, is 3.

The minimum number of directors (not less than 3) shall be 3 and the maximum number of directors shall be 5.

SIXTH: Members: ("X" one box only.)

- There shall be no members.
 There shall be one or more classes of members and the information required by 13-B MRSA §402 is attached.

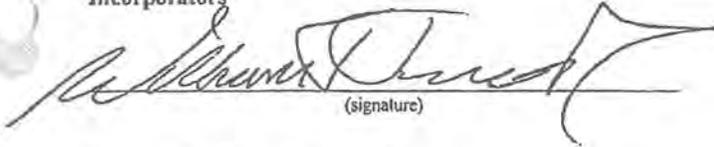
SEVENTH: (Optional) (Check if this article is to apply.)

No substantial part of the activities of the Corporation shall be the carrying on of propaganda, or otherwise attempting to influence legislation, and the Corporation shall not participate in or intervene in (including the publication or distribution of statements) any political campaign on behalf of any candidate for public office.

EIGHTH: (Optional) (Check if this article is to apply.)

Other provisions of these articles including provisions for the regulation of the internal affairs of the corporation, distribution of assets on dissolution or final liquidation and the requirements of the Internal Revenue Code section 501(c) are set out in Exhibit _____ attached hereto and made a part hereof.

Incorporators*


(signature)

William T. Turner, Jr.
(type or print name)

(signature)

(type or print name)

(signature)

(type or print name)

Dated October 10, 2012

Street 314 Center Street
(residence address)

Auburn, Maine 04210
(city, state and zip code)

Street _____
(residence address)

(city, state and zip code)

Street _____
(residence address)

(city, state and zip code)

For Corporate Incorporators*

Name of Corporate Incorporator _____

By _____
(signature of officer)

Street _____
(principal business location)

(type or print name and capacity)

(city, state and zip code)

Name of Corporate Incorporator _____

By _____
(signature of officer)

Street _____
(principal business location)

(type or print name and capacity)

(city, state and zip code)

***Articles are to be executed as follows:**

If a corporation is an incorporator (13-B MRS §401), the name of the corporation should be typed or printed and signed on its behalf by an officer of the corporation. The articles of incorporation must be accompanied by a certificate of an appropriate officer of the corporation, not the person signing the articles, certifying that the person executing the articles on behalf of the corporation was duly authorized to do so.

Please remit your payment made payable to the Maine Secretary of State.

Submit completed form to: **Secretary of State
Division of Corporations, UCC and Commissions
101 State House Station
Augusta, ME 04333-0101
Telephone Inquiries: (207) 624-7752**

Email Inquiries: CEC.Corporations@Maine.gov

EXHIBIT A

ARTICLES OF INCORPORATION PINARD FARM ASSOCIATION

The purpose of this Association is to engage in the activities authorized by Title 13-B of the Maine Revised Statutes Annotated, and more particularly to act as an association of neighboring property owners organized for the purpose of maintaining common areas in the Subdivision Plan of "Pinard Farms I" dated July 8, 1988 recorded in the Androscoggin County Registry of Deeds, Book of Plans, Book 34, Page 173, as revised pursuant to Revision I dated January 17, 1989 recorded in the said Registry of Deeds at Book of Plans Book 34, Page 173, as revised pursuant to Revision II dated July 17, 1989 recorded in the said Registry of Deeds Book of Plans, Book 35, Page 2, and as further revised pursuant to Revision III dated May 17, 1994 recorded in the said Registry of Deeds Book of Plans, Book 38, Page 20

There shall be only one class of members. Each owner of a lot on the above-described Subdivision Plan shall automatically be and become a member of the Association as long as that owner continues to be the owner of the lot on the Subdivision Plan. Rights and obligations of the Members are set forth in the Bylaws of the Corporation. Lot Owners shall have one vote. Multiple owners of a Lot have one vote.

NONPROFIT CORPORATION

STATE OF MAINE

NONCOMMERCIAL REGISTERED AGENT

STATEMENT OF APPOINTMENT or CHANGE

Pinard Farms Association

(Name of Corporation as it appears on the records of the Secretary of State)

Filing Fee \$15.00 for each nonprofit corporation listed

File No. 20130207ND Pages 2
Fee Paid \$ 15
DCN 2131072500034 AGNT
FILED
04/08/2013

Handwritten signature of Julie R. Egan, Deputy Secretary of State

A True Copy When Attested By Signature

Handwritten signature of Julie R. Egan, Deputy Secretary of State

Pursuant to 5 MRSA §§105, 108, & 109 the undersigned corporation executes and delivers the following statement of appointment and/or change of address by a noncommercial registered agent.

FIRST: ("X" all boxes that apply)

- A. [] change of address
B. [X] change to/of noncommercial registered agent and address
C. [] change of noncommercial registered agent
D. [] change in name of current noncommercial registered agent

SECOND: The name and address of the registered agent appearing on the record in the Secretary of State's office:

William T. Turner, Jr.

(name of current registered agent)

314 Center Street, Auburn, Maine 04210

(physical street address, city, state and zip code)

(mailing address if different from above)

THIRD: (For foreign nonprofit corporations only)

Jurisdiction of Organization:

Date authorized to transact business in the State of Maine:

FOURTH: Complete this Item as follows based on your selection in Item First:

- A. The new address of the noncommercial registered agent (provide address information only);
- B. The name and address of the new noncommercial registered agent (provide name and address information);
- C. The name of the new noncommercial registered agent (provide name only); OR
- D. The new name of the current noncommercial registered agent (provide name only).

Kelley Parker

(name of new noncommercial registered agent or new name of current noncommercial registered agent)

45 Gina Street, Lewiston, Maine 04240

(physical street address, not a P.O. Box — city, state and zip code)

(mailing address if different from above)

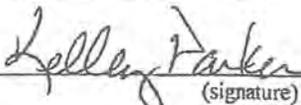
FIFTH: Pursuant to 5 MRSA §108.3, the registered agent as listed above has consented to serve as the registered agent for this nonprofit corporation.

SIXTH: The undersigned noncommercial registered agent of the following corporation(s) has notified each corporation of the change indicated in Item First A or D:

Name of Nonprofit Corporation	Jurisdiction	Date incorporated or authorized in Maine

Names of additional corporations attached hereto as Exhibit ____, and made a part hereof.

Dated April 5, 2013

*By 
(signature)

Kelley Parker, Its President
(type or print name and capacity)

*This statement **MUST** be signed as follows:
(1) if Item First, A or D was selected, then by the noncommercial registered agent OR
(2) if Item First, B or C was selected, then by any duly authorized officer

Please remit your payment made payable to the Maine Secretary of State.

Submit completed form to: **Secretary of State**
Division of Corporations, UCC and Commissions
101 State House Station
Augusta, ME 04333-0101
Telephone Inquiries: (207) 624-7752 Email Inquiries: CEC.Corporations@Maine.gov

Filing Fee: **\$35.00**
Must Accompany Report

Make check payable to:
Secretary of State

Please file by
APRIL 1, 2013

STATE OF MAINE
2013 ANNUAL REPORT
FOR NONPROFIT CORPORATIONS ON FILE AS
OF DECEMBER 31, 2012

Pursuant to 13-B MRSA §1301.2, the information on the
report must be current as of the date signed.

Do not change any preprinted information on this form.

Filing by April 1, 2013 will allow us to
provide better service. The legal filing
deadline is still June 1, 2013. A
\$25 late filing fee will be assessed if
the report is late.

DCN Number:

2130019114601

Charter Number:

20130207ND

PINARD FARMS ASSOCIATION
KELLEY PARKER, REGISTERED AGENT
45 GINA STREET
LEWISTON, ME 04240

If you have any questions regarding the completion of this annual report or if the preprinted information on this report form is incorrect, contact the **Reporting & Information Section** at **(207) 624-7752**. All corporate forms are available on our website at www.maine.gov/sos/cec/corp. To file your annual report online, go to www.SOSonline.org and click on the Interactive Corporate Services link. **Please see reverse side of this form for additional filing instructions.** →→→

1. Name of each officer: (13-B MRSA §1301.1.C)

Street address of each officer (not P.O. Box):

(physical location (not P.O. Box) - street, town/city, zip)

Pres: Kelley Parker
Treas: Mark Boucher
Sec: Terri Chizmar
and/or
Clerk: N/A

45 Gina Street, Lewiston 04240
50 Gina Street, Lewiston 04240
7 St. Jerome Street, Lewiston 04240

2. Name of 3 to 5 Directors:

(13-B MRSA §1301.1.C & §702.1)

Street address of each (not P.O. Box):

(physical location (not P.O. Box) - street, town/city, zip)

Richard Billings
David Martin
Lillian Martin

49 Gina Street, Lewiston 04240
9 St. Jerome Street, Lewiston 04240
9 St. Jerome Street, Lewiston 04240

THIS PREPRINTED FORM MUST BE USED. However if more space is needed, please attach additional pages, using one side only. All attachments must contain the name and charter number of the corporation across the top of the page. Each page should be numbered consecutively. List number of pages attached: 1

Dated: 5-23-13

Terri Chizmar
(AUTHORIZED SIGNATURE)

Terri L. Chizmar Secretary
(TYPE OR PRINT NAME AND CAPACITY)

(Execution - 13-B MRSA §1301.3. Penalty for untrue or omitted material facts - 13-B MRSA §1303)

RETURN TO: Reporting Section, Bureau of Corporations, Elections and Commissions, 101 State House Station, Augusta, Maine 04333-0101

INSTRUCTIONS FOR COMPLETING THE 2013 ANNUAL REPORT FOR NONPROFIT CORPORATIONS

To file your 2013 Annual Report online, please visit Annual Reports Online at www.SOSonline.org and click on the Interactive Corporate Services link.

1. Please provide a **daytime telephone number or e-mail address** and the name of a contact person: 207-784-0881. In the event that there is a problem with the Annual Report, we will try to contact you to resolve it, rather than returning the report to you for correction.
2. You **may not** change any of the preprinted information. This information about your nonprofit corporation must be changed using another form that is available from our office.
3. Please **type or print** legibly in ink.
4. Please provide an **original** signature. Faxes, photocopies, and rubber stamps will not be accepted.
5. Please **do not** leave any information blank. If one person serves in more than one capacity for the corporation, please so indicate.
6. Please provide a complete street address. A post office box **will not** be accepted. This is a **legal requirement** since you cannot be physically located at a post office box.
7. You **must** list the minimum number of directors as required in Item #2 on the front of this Annual Report. If you do not have the minimum number of directors, please call our office immediately at (207) 624-7752.
8. Please provide your **charter number** on your check.
9. Before submitting your annual report, together with the proper filing fee, please carefully review it to be sure that you have provided all the information required on the front of this form.

If the annual report is not received in this office by June 1, 2013, there will be a \$25.00 late filing penalty assessed. However, if the annual report is post marked by the United States Postal Service by June 1, 2013, the penalty will not be assessed. The post mark date applies only to the June 1st filing deadline.

DOMESTIC NONPROFIT CORPORATIONS ONLY:

If administratively dissolved, a \$25.00 reinstatement fee will be assessed for each year the nonprofit corporation failed to file an annual report, in addition to the late filing penalty.

FOREIGN NONPROFIT CORPORATIONS ONLY:

If revoked, foreign nonprofit corporations must file a new application for authority in order to continue to carry on activities in Maine. If **revoked**, you **do not need to file** the annual report.

Pinard Farms Open Space Requirements

Lot Area

Lot 1 5,823.26
Lot 2 6,045.00
Lot 3 6,045.00
Lot 4 6,045.00
Lot 5 6,045.00
Lot 6 6,045.00
Lot 7 6,045.00
Lot 8 6,211.04
Lot 9 6,120.21
Lot 10 6,562.20
Lot 11 6,200.00
Lot 12 6,000.00
Lot 13 5,817.51
Lot 14 5,901.93
Lot 15 5,977.14
Lot 16 7,609.59
Lot 17 8,190.89
Lot 18 10,495.20
Lot 19 9,553.49
Lot 20 8,652.22
Lot 21 6,293.37
Lot 22 5,864.80
Lot 23 6,547.84
Lot 24 6,255.33
Lot 25 6,149.35
Lot 26 6,149.35
Lot 27 6,149.35
Lot 28 6,149.35
Lot 29 6,149.35
Lot 30 6,149.35

Total 197,242.12

Total Lot Area (197,242.12) plus total open space (116,316.83) is 313,558.95. Total lot area for a 30 lot non-cluster subdivision is 255,000 (7,500 sq. ft. per lot plus 1,000 sq. ft. per lot). Therefore 313,558.95 minus 255,000 results in 58,588.77 sq. ft. of available (surplus) open space that could be sold to one or more lot owners pending the approval of the association (i.e. approval of at least 75% of the lot owners) and the Lewiston Planning Board.

TABLE OF CONTENTS

- 1. PLANNING BOARD MEMBERS LETTER**
- 2. AERIAL PHOTO**
- 3. CITY OF LEWISTON 2006 AERIAL PHOTO**
- 4. 2004 CODE ENFORCEMENT VIOLATION ORDER**
- 5. 2009 CLOUTIER RESIDENCE SUMMARY**
- 6. VIOLATION ORDERS---MARK AND TERRY CHIZMAR**
- 7. VIOLATION ORDERS---MATT LAJOIE**
- 8. VIOLATION ORDERS---LILLIAN AND DAVE MARTIN**
- 9. PHOTOS OF DESTROYED TREES**
- 10. CITIZENS OF MARK STREET—LETTER**
- 11. BILL TURNER—WARRANTY DEED**
- 12. DECLARATION OF PROPERTY RESTRICTIONS AND
ESTABLISHMENT OF LOT OWNERS ASSOCIATION**

September 7, 2013

Dear Planning Board Members,

Please accept our request for a permanent solution to the encroachments in the "Open Space" located between St. Jerome and Mark Streets. For over a decade there has been a steady migration and severe encroachment to surrounding "Open Space" property abutters and a vast amount of permanent destruction to said "Open Space". Please refer to aerial photos and City of Lewiston GIS Maps for understanding of the magnitude of the violations. Please keep in mind that the City of Lewiston GIS website map information is from 2006 and the encroachments are much more severe in 2013.

On May 13, 2004 {see attached} Eric Cousens of the Code Enforcement Office responded to a complaint that there were violations in the "Open Space. A very large area of "Open Space" trees had been clear cut, located between Mark and Gina streets in this incident. He stated "that the cutting of trees in the "Open Space" were contrary to the Lewiston Planning Board approval of the subdivision on September 27, 1988." He also stated "that the Open Space should remain in a natural vegetated state." He ordered "that those with structures, motor vehicles and personal property remove said property from the designated space by no later than June 30, 2004." There was very little compliance with his order.

There was also a police report filed in 2009 by the Cloutier residence after the cutting of "Open Space" trees located between Mark Street and Gina Street unfortunately landed across their fence and into their backyard {see attached summary of their account} It was stated that some residents on Gina Street were cutting trees in order to have an ATV trail through the "Open Space". There was also very little compliance to this incident.

In June of 2012, after years of expanding their lots into to "Open Space", Mark and Terry Chizmar, 7 St Jerome, Matt Lajoie, 11 St. Jerome and Lillian Fortin-Martin, 9 St. Jerome Street were ordered by Gil Arsenault to vacate all associated fencing, pools, decks and sheds from the Open Space {see attached orders}. To avoid citations his document stated "that they had the right to appeal this order and request a hearing before the Lewiston Board of Appeals by filing a written petition at the Code Enforcement Office within 30 days of the notice." According to the City of Lewiston website "Board of Appeals, Agendas and Minutes, we can not find evidence that the appeal process did in fact occur.

Also, in the month of June, 2012 there was a complaint filed concerning the debarking of "Open Space" trees that lead to an investigation by the Code Enforcement Office that later surmised that a child had allegedly committed the offense. A phone call was placed to the City of Lewiston Arborist, Steve Murch. He stated "that debarking trees in such a manner would surely destroy the trees." {see attached photos}

On October 24, 2012 a signed petition to Gil Arsenault from the "Citizens of Mark Street" was also sent to follow up on the lack of progress to the violations within the "Open Space". {see attached}

On May 1, 1992 according to Book 2842 Page 160 of The Registry of Deeds {see attached} Bill Turner purchased the remaining lots of Pinard Farms from Androscoggin Development Group. At that time it is our understanding that the original Pinard Farms Association was administratively suspended as a result of the conveyance of the remaining

parcels of the Pinard Farms subdivision by the Androscoggin Development Group. Within Bill Turner's warranty deed, Book 2842 Page 166 it states that the above premises are conveyed subject to "all matter" as shown on said Plan. On Book 2428 Page 254 it states, "Now, Therefore, in consideration of promises, Declarant does hereby subject all lots to be developed in the said subdivision to the following property restrictions, covenants, charges and assessments, all of which shall run with and bind all such lots within the development and shall be binding upon the Declarant and its grantees, their heirs, executors, administrators, successors and assigns." Also on line number 11 of said Plan, it states "All areas designated as Open Space are to be reserved for recreational or conservation purposes.

Also, Book 2428 Page 258 of the Registry of Deeds states that the Declarant shall convey title to the Open Space to the Association upon the "Turnover Date" which shall be the date on which the Declarant has transferred and conveyed fifty percent of the lots in the subdivision." At what point did that happen and why was the administrative duties to the association not continued as required by Bill Turner?

Who paid taxes on the Open Space and were the guidelines of Maine Revised Statute Title 36 section 1106A "Valuation of Open Space Land" adhered to? Did the developer involved not only pay taxes for "Open Space" but for all buildings, fences and other improvements? Or did the collective ownership of Pinard Farms taxpayers share the cost in their tax bills on land that they did not hold title to?

It was not until 2012, with help from legal counsel, that we realized the scope of the situation. Surely, the 2006 GIS aerial photos, tax maps, and previous code violations of 2009 and 2004 issued by the Code Enforcement Office, Eric Cousens may assert that city officials could have realized the situation at hand, but chose to ignore the problem. If the developer had fulfilled his obligations to the Association, and the surrounding community, we can assume that the Declaration of Property Restrictions would have been intact and countless amount of trees and natural growth would not have been destroyed and turned into peoples "tax free" extended backyards. It was then decided by city officials that Bill Turner would indeed be forced to form the Pinard Farm Association. As a remedy to the situation at hand, we propose that not only that the final orders issued by Gil Arsenault in June 2012 be reinstated, but also proposed that the damages to the "Open Space" be rectified by the replanting of similar trees and ground cover that was removed. According to Maine Revised Statute Title 17-Crimes section 2510 "Unlawful cutting of trees" may be an avenue in which the municipality can enforce such action.

On November 12, 2012, there was a meeting with Gil Arsenault and several citizens of Mark Street. There was discussion that there would finally be the establishment of the "Pinard Farms Association". At that point, it was our understanding it would become the responsibility of the Pinard Farms Association to enforce action to the encroachment violations within the "Open Space."

According to an email from Gil Arsenault, he stated "that at some point after the December 3rd 2012 association meeting, Shawn Bell Esq. presented Ms. Parker which is acting President of the Pinard Farms Association with documents requiring her signature in order for the association to have legal standing." Sometime after March 20, 2013 the Association was formed. Now that the association had been formed it was our understanding that the Declaration of Property Restrictions and Establishment of Lot Owner Association-Book 2428 Page 259 of the Registry of Deeds would be

enforced. {see attached} This document is part of all Warranty Deeds for lot owners of Pinard Farms subdivision. The Declaration states, "Acceptance of a deed or conveyance of a lot other than security, or the entering into the occupancy of any lot shall signify that the owner acknowledge the authority of the association to enforce the covenants and restrictions that run with the land, by suit or otherwise." Also, stated in the Declaration, "The association shall be responsible for the maintenance of the Open Space and for the preservation of all natural buffer areas between the lots and abutting properties." Also, stated "The common areas shall be used exclusively for recreation and /or conservation purposes and shall be permanently maintained as "Open Space". No buildings or benches, picnic tables or similar items, without prior approval of the City of Lewiston Planning Board. "There shall be no cutting of trees, removal of ground cover or other agricultural or forestry activities in the common areas without the prior approval of the City of Lewiston Planning Board. Each owner of a lot as shown on the above reference subdivision plan shall automatically be and become a member of the Association as long as he continues to be the owner of the lot. Upon termination of interest of an owner in a lot, his membership and any interest in the Association shall there upon automatically terminate and transfer and insure to the next owner of his lot succeeding his interest."

Also stated in the Declaration, "No commercial enterprise of any type whatever shall be permitted on any lot, which shall be used exclusively for residential purposes. As mentioned in the violation orders of Gil Arsenault, Mark Chizmar owns a construction company and in the past has used the "Open Space" as his personal dumping ground for construction materials.

On March 25, 2013 it was revealed in an email from Gil Arsenault that he met with a land surveyor regarding a proposed amendment to the Pinard Farms development for the expressed purpose to attempt to reduce open space in order to convey land to one or more of the St. Jerome property owners with illegal encroachments, for it may be the code violators only chance to legally quiet the issues at hand. We hope that the members of Pinard Farms realize that this association was formed for only one reason which was to benefit the people with code violations. We also hope that the association realizes that the violations within the "Open Space" may have been remedied years ago. As stated in all of the orders issued to the violators, Appendix A, Article V, section 3(a) of the Code of Ordinances, states that no building or structure may be constructed or erected on any lot which does not have a least fifty feet of frontage. The open space at issue does not have fifty feet of frontage. Also, within the violation orders, Appendix A, Article V, section 5(a) (1) of the Code of Ordinances, permits for storage buildings, fences, decks and pools are required. Permits were not issued for many of the above violations. Is one or two of the above Code Ordinance enough to remedy the violations at hand? Did this association really need to be formed in order to remedy the violations? We wonder if the members of the association that signed the code violators petition realize that the document "The Declaration of Property Restrictions" was designed to prevent such abuse and protect their interest and it is quite ironic that this same document was used by the code violators to help them in their quest.

There is a challenge concerning the alleged surplus of Open Space. Gil Arsenault stated in an email that there was 58,588 square feet, approximately 1.3 acres of surplus Open Space. Our question is what were the requirements for the Open Space when the Plan was originally accepted on May 4, 1988? We find it incredibly hard to believe that the

Developer would not have created **larger higher priced lots** with what is now considered surplus land. It is hard to believe that any Developer would leave such “money on the table”.

On June 4, 2012, an email from Gil Arsenault stated that Mark Chizmar had informed him that he had the required signatures from a minimum of 75 percent of the Pinard Farm Homeowners. Within the Declaration of Property Restrictions and Establishment of Lot Owners Association Book 2428 Page 259 there is a clause that states “This Declaration may be amended at any time and from time to time by written instrument duly executed by the owners of record of seventy five percent of the lots.” It seems obvious that this clause could be utilized by the Association for perhaps changes to basic wants and needs that benefit the association as a whole and not to vote yourself extra parcels of land at will. Coincidentally, it also seems quite convenient that three of the newly formed association board members are people with code violations. It is also very beneficial only to Pinard Farms lot owners that abut the “Open Space” and quite unfortunate to the non-abutters of “Open Space”, even if they hold title by Warranty Deed. Also, on the Declaration, Book 2428 Page 256, states that “The lots as shown on the Plan may not be subdivided.

Another reference {that may need more research to confirm} is that the Association may have violated Maine Revised Statute Title 30 section 4406, “Enforcement; prohibited activities”. The statute states, “The Attorney General, the municipality or the planning board of any municipality may institute proceedings to enjoin a violation of this subchapter “Sales or other conveyances.” The statute states “No person may sell, lease, develop, build upon or convey for consideration, **or offer or agree to sell**, lease, develop, build upon or convey for consideration **any land** or dwelling unit **in a subdivision that has not been approved by the municipal reviewing authority of the municipality where the subdivision is located** and approved under Title 38, chapter 3, subchapter I, article 6, where applicable, and subsequently recorded in the proper registry of deeds.” The Association’s authorization in writing to Mark Chizmar by their 75 percent vote, to agree to convey parcels of land before it was accepted by the planning board may create some legal issues for the newly formed association.

There is also a challenge to the petitioner’s signature page of the “Agreement to the Proposed Modification of Pinard Farms Subdivision Plan.” One question is why are there members of the association who signed the first petition and did not sign the second petition? An example, Derek L Campbell signed the petition on May 4, 2013, but did not sign on the petition dated August 15, 16, 17. {Did his decision change?}

Another inconsistency is, why is Brian Langlois of 20 St. Jerome permitted to sign an association petition when he is not listed as a member of the Pinard Farms Homeowner Association. The only members listed as members for 20 St. Jerome Street are Gerard and Paula Langlois.

A similar inconsistency is that, why are Chris and Jamie Couture of 18 St. Jerome permitted to sign the petition if they are also not listed as members of the Pinard Farms Homeowners Association.

Another example of inconsistency are the names of Hector Green, Marsha Green and Michelle Morin of 40 Gina Street. According to exhibit “A” of the “Article of Incorporation Pinard Farms Association”, lot owners shall have one vote. Multiple owners of lots have one vote.

Still another inconsistency are the names for 16 St Jerome Street, they are listed as members Timothy and Kathleen Pitman. Tim has signed the document with the last name Pitman and Kathleen has signed the document with the last name of Custer. Is she also the owner of the parcel of land at 16 St. Jerome?

Another inconsistency, is the address of 11 St. Jerome which is inhabited by Matt Lajoie and is contracted "Bond for Deed" from John Alden and Maryse Garceau Alden to Daniel R. Lajoie of Naples. The question is why is Matt Lajoie allowed to sign the petition if he is neither the owner or contracted by "Bond for Deed" and is not listed as a member of the Pinard Farms Association. It can be argued that, in order to have legal standing, the affidavit signed by John Alden giving permission to Matt Lajoie and Roger Richard to represent the interest in his estate should have been also signed by Maryse Garceau Alden for she is also mentioned on the "Bond for Deed" document and listed as a member of the association.

It is assumed that for a legal document to be valid and considered admissible, it shall be factual and accurate. The vast amount of just some of the inconsistency found on the petition should have been addressed and verified before the petition was submitted to the Planning Board and therefore for these reasons, the petition should be considered invalid.

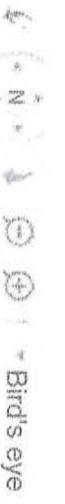
Although the Open Space has been a much needed resource for not only the Pinard Farm subdivision, but also the surrounding Mark Street, Gina Street and even the Darcy Drive subdivision, we understand that ultimately the Open Space is vested to Pinard Farms. Unfortunately, if this amendment of "Open Space" is accepted, we believe that this will be only the beginning of future amendments, for there will still be ample amounts of square footage remaining from the surplus of "Open Space" after the petitioners acquire their parcels, according to a recent survey conducted by A.R.C.C. Land Surveyors Inc. According to the survey the total surplus of 57,757 square feet may seem insignificant, but consider that there is only 34,086 square feet on the subdivision plan between the petitioners with code violations and the abutters of Mark Street. This particular parcel of "Open Space" has been an excellent place for generations of children to have a safe and enjoyable experience playing in one of the few wooded areas left in the area. Another area of "Open Space" available to the immediate area that may be considered adequate for children is quite narrow and is abutted by a very large swamp and access if limited for the parcel is surrounded by land that is owned by Country Lane Homes. The largest area of "Open Space" consists of 62,248 square feet. Its topography is fairly inclined and is quite isolated from the majority of the subdivision and is only abutted by six of the Pinard Farm homeowners. This parcel is also abutted by Country Lane Estates.

There is also something to say about property values for abutting property owners to the Open Space. I am sure that the added incentive of having a recreational area for children to recreate can only increase the value of said property. It has been advised that property owners that have recently purchased homes in the immediate area assuming that the "Open Space" was an incentive to purchase their homes may also have a grievance in this matter.

It is now September 2013 and more than a year has passed in which Gil Arsenault's orders were issued to the amendment petitioners in June 2012. Failing to mention the countless years of neighborhood frustration with this on going situation. The citizens of Mark Street only wish for compliance to all provisions of the original subdivision plans that were agreed to by the City of Lewiston Planning Board in 1988.

We welcome the chance that these “decades old” violations within the Pinard Farms subdivision be finally and legally settled. After years of continued illegal actions and multiple code violations, we would be very concerned that the members of the City of Lewiston Planning Board could ever consider and reward such actions and accept the proposed amendment to the “Open Space” in the Pinard Farms subdivision...

Thank you,
Citizens of Mark Street



bing





2006 City of Lewiston GIS Aerial

CITY OF LEWISTON
CODE ENFORCEMENT
CITY BUILDING
27 PINE STREET
LEWISTON, MAINE 04240
(207)784-2951 EXT. 319

May 13, 2004

Pinard Farms Subdivision
Lewiston Maine 04240

RE: Pinard Farms Subdivision Open Space

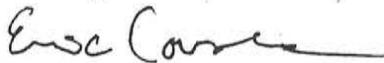
Dear Property Owner:

I am writing in regard to common open space within the above referenced subdivision, herein after referred to as "the designated space." This office recently received a complaint about residents of the subdivision clearing trees within the designated space. An inspection in response to that complaint revealed that trees were in fact being cleared within the designated space and that a number of residents have accessory structures, motor vehicles or other personal belongings located within the space.

This letter is to inform you that any alteration or improvement of the designated space, as shown on the attached map is contrary the Lewiston Planning Board approval of the subdivision at the September 27, 1988 meeting. For this reason, all of the designated space should remain in a natural vegetated state. For those that have structures, motor vehicles or other personal property within the designated space, I respectfully request that you remove said property from the designated space by not later than **June 30, 2004**.

Feel free to contact me at 784-2951, ext. 319 with any questions or concerns.

Sincerely,



Eric Cousens
Land Use Inspection Officer

c: Gildace J. Arsenault, Deputy Development Director

The City of Lewiston prohibits discrimination and/or the exclusion of individuals from its municipal facilities, programs, activities and services based on the individual person's race, national origin, color, creed, religion, sex, age, disability, veteran status or inability to speak English. Individuals requiring auxiliary aids, modifications, interpreter or translation services in order to access the City's facilities or to participate in programs, activities or services should contact the City's Anti-discrimination Compliance Coordinator: Michael Paradis, Telephone: 784-5753, Ext. 203; TDD/TTY: 784-5999, FAX 777-4621. Such requests should provide, when possible, a minimum of 72 hours advance notice. All such auxiliary aids shall be free of charge. IN CASES WHERE THE COMPLIANCE COORDINATOR IS NOT AVAILABLE, ALL CONTACTS SHOULD BE DIRECTED TO THE CITY ADMINISTRATOR.

CODE ENFORCEMENT
CITY BUILDING
37 PINE STREET
LEWISTON, ME 04240
(207) 784-2951, ext. 319

May 17, 2004

Pinard Farms Property Owners
Lewiston Maine 04240

RE: Pinard Farms Subdivision Required Open Space

Dear Property Owners:

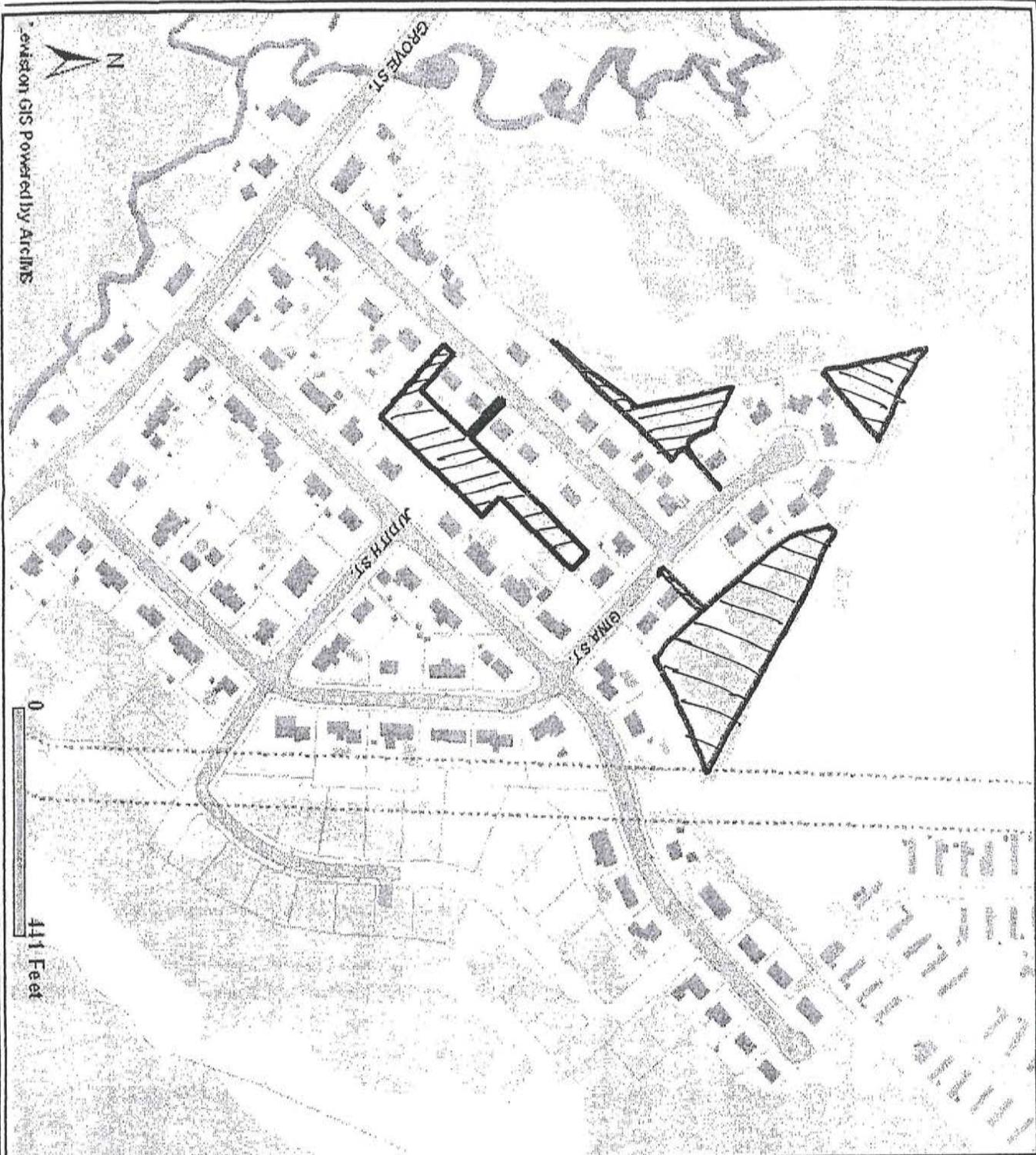
Attached please find a map of Pinard Farms Subdivision showing the required open space as described in the letter dated May 13, 2004 in the shaded areas. The map was intended to be mailed with the above mentioned letter.

Feel free to contact me with any questions or concerns at 784-2951 ext. 319

Sincerely,



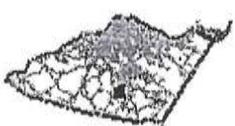
Eric Cousens
Land Use Inspector



City of
 Lewiston, ME
 Geographic Information System

Pinard Farms Subdivision
 Required Open Space

Locus Map



Disclaimer

The City of Lewiston makes no warranty or representation as to the accuracy, timeliness or completeness of any of the data. The City of Lewiston shall have no liability for the data or lack thereof, or any decision made or action taken or not taken in reliance upon any of the data.

Lewiston GIS Powered by ArcIMS

Notes from the complaint by the Cloutiers in the summer of 2009.

Saturday, August 8, 2009 - We found a tree in our backyard that had been cut by the children of one of the landowners in the Association. They were clearing the land to make themselves an ATV track. Over time much damage was done to our fence from the ATV's as the entire strip along our fence has been cleared.

Sunday, August 9, 2009 - A landowner of the Association on St. Jerome Street started clearing land on the open space.

Monday, August 10, 2009 - Called and met with code enforcement. I was told that all parties with structures and those clearing land were trespassing and could face legal issues. Bill Turner owned the property and needed to keep it in it's vegative state. Thomas Maynard from code enforcement was to call me three days later to give me an update.

August 18, 2009 - Never heard from Thomas Maynard of Code Enforcement. I called Thomas and was told nothing was being done about the clearing of the land. All parties had been verbally warned and if I would see anything going on in the futre to be sure to call back, but **the City of Lewiston had bigger fish to fry and nothing would ever come out of our complaints.**



CITY OF LEWISTON

Planning & Code Enforcement



June 29, 2012

Mark & Terri Chizmar
7 St. Jerome Street
Lewiston, Maine 04240

William Turner d/b/a Maine Source
314 Center Street
Auburn, Maine 04210

RE: Notice of Violation: 7 St. Jerome Street
Pinard Farms open space – Map 64 Lot 92

Dear Mr. & Mrs. Chizmar and Mr. Turner:

On June 22, 2012 Corporal Jeff Baril and I observed that the use of the property located at 7 St. Jerome Street encroaches upon the required open space located immediately to the rear of 7 St. Jerome Street. The open space at issue is identified as Map 64 - Lot 92 and it was required by the Lewiston Planning Board as a component of the Pinard Farms Subdivision. Specifically, a storage building of approximately 12' x 18', a fence, a sandbox and swing set and the outside storage of construction equipment and building materials are located within the open space. We also found that the pool and the attached deck are located on the rear property line of 7 St. Jerome Street. As per Appendix A, Article V, Section 5 of the Code of Ordinances, hereinafter referred to as the Code, permits are required for fences, pools, decks, sheds, etc. No permit for a fence and no permit for a pool with an attached deck were issued by this office for 7 St. Jerome Street nor were any such permits issued for the open space. On May 28, 1993 a permit was issued for a 12' x 18' shed to be located 10' from the side and rear lot lines on the property located at 7 St. Jerome Street; however, no permit was issued for a shed to be located on the open space.

In accordance with the Declaration of Property Restrictions and Establishment of Lot Owners Association (recorded in the Androscoggin County Registry of Deeds in Book 2428 Page 253) the open space at issue shall be permanently maintained as open space. No buildings or structures shall be constructed within the open space without prior approval of the City of Lewiston Planning Board. In addition to the Declaration, Appendix A, Article V, Section 3(a) of the Code states that no building or structure may be constructed or erected on any lot which does not have at least fifty (50) feet of frontage. The open space at issue does not have fifty (50) of frontage.

As per the above referenced sections of the Code and in accordance with Appendix A, Article V, Sections 1, 2 and 8 of the Code you are hereby ordered to remove from 7 St Jerome Street and from the open space at issue all fencing, the pool and attached deck, and the shed of approximately 12' x 18' by not later than August 1, 2012.

In the event that you do not comply with this order by August 1, 2012, this office may issue a citation pursuant to Chapter 50, Article II, and Section 50-36 thru 50-51 of the Code. Said citation shall require you to pay a penalty of one hundred and ten dollars (\$110.00) and you will be reordered to comply with the Code. In the event that you do not comply with the first citation, additional citations may be issued. The second citation imposes a civil penalty of two hundred and fifteen (\$215.00), the third is four hundred and twenty-five dollars (\$425.00), the fourth and subsequent citations are eight hundred and fifty dollars (\$850.00), and penalties are cumulative.

In lieu of or in addition to the issuance of citations, this office may initiate a land use complaint pursuant to Rule 80-K of the Maine Rules of Civil Procedure and 30-A M.R.S.A. § 4452 et seq. as amended. A judgment from such a lawsuit in the City's favor will result in a court order that any violations be abated, the imposition of a fine of up to two thousand five hundred dollars (\$2,500.00) per violation, per day, and the payment of court costs and the City's legal fees.

You have the right to appeal this order and request a hearing before the Lewiston Board of Appeals by filing a written petition at the office of the director of planning and code enforcement within thirty (30) days of receipt of this notice. The petition must be submitted on a form obtained at the Planning and Code Enforcement Department and it must be accompanied by a one hundred-fifty dollar (\$150.00) filing fee.

Please feel free to contact me to discuss the above mentioned violations and the steps that you may wish to consider in order to lawfully install fencing, a pool with an attached deck and a shed on the property located at 7 St. Jerome Street. Our goal is to work with you to the greatest extent possible to minimize the adverse impacts associated with bringing your properties into compliance with the Code. My phone number is 513-3125 ext 3222, and my e-mail address is garsenault@lewistonmaine.gov.

Sincerely,

Gildace J. Arsenault
Director of Planning and Code Enforcement



CITY OF LEWISTON

Planning & Code Enforcement



July 2, 2012

Matt Lajoie
11 St. Jerome Street
Lewiston, Maine 04240

John & Maryse Alden
342 Pleasant Street
Mechanic Falls, Maine 04256

William Turner d/b/a Maine Source
314 Center Street
Auburn, Maine 04210

RE: Notice of Violation: 11 St. Jerome Street
Pinard Farms open space – Map 64 Lot 92

Dear Mr. Lajoie, Mr. & Mrs. Alden and Mr. Turner:

On June 22, 2012 Corporal Jeff Baril and I observed that the use of the property located at 11 St. Jerome Street encroaches upon the required open space located immediately to the rear and side (i.e. the 10' wide access way) of 11 St. Jerome Street. The open space at issue is identified as Map 64 - Lot 92 and it was required by the Lewiston Planning Board as a component of the Pinard Farms Subdivision. Specifically, a storage building of approximately 10' x 12' is located in the open space and a fence is located within the open space and access way. As per Appendix A, Article V, Section 5(a)(1) of the Code of Ordinances, hereinafter referred to as the Code, permits are required for storage buildings and fences. A permit for a 10' x 12' storage building was not issued by this office for 11 St. Jerome Street nor was a permit for a storage building issued for the open space. (On July 24, 1995 a permit was issued for a 6' x 8' shed to be located on 11 St. Jerome Street.) A permit for a fence was issued on October 22, 1998 for 11 St. Jerome Street; however, a permit for a fence was not issued to be located on the open space and access way to the open space.

In accordance with the Declaration of Property Restrictions and Establishment of Lot Owners Association (recorded in the Androscoggin County Registry of Deeds in Book 2428 Page 253) the open space at issue shall be permanently maintained as open space. No buildings or structures shall be constructed within the open space without prior

approval of the City of Lewiston Planning Board. In addition to the Declaration, Appendix A, Article V, Section 3(a) of the Code states that no building or structure may be constructed or erected on any lot which does not have at least fifty (50) feet of frontage. The open space at issue does not have fifty (50) of frontage.

As per the above referenced sections of the Code and in accordance with Appendix A, Article V, Sections 1, 2 and 8 of the Code you are hereby ordered to remove the storage building and fence from the open space by not later than August 3, 2012.

In the event that you do not comply with this order by August 1, 2012, this office may issue a citation pursuant to Chapter 50, Article II, and Section 50-36 thru 50-51 of the Code. Said citation shall require you to pay a penalty of one hundred and ten dollars (\$110.00) and you will be reordered to comply with the Code. In the event that you do not comply with the first citation, additional citations may be issued. The second citation imposes a civil penalty of two hundred and fifteen (\$215.00), the third is four hundred and twenty-five dollars (\$425.00), the fourth and subsequent citations are eight hundred and fifty dollars (\$850.00), and penalties are cumulative.

In lieu of or in addition to the issuance of citations, this office may initiate a land use complaint pursuant to Rule 80-K of the Maine Rules of Civil Procedure and 30-A M.R.S.A. § 4452 et seq. as amended. A judgment from such a lawsuit in the City's favor will result in a court order that any violations be abated, the imposition of a fine of up to two thousand five hundred dollars (\$2,500.00) per violation, per day, and the payment of court costs and the City's legal fees.

You have the right to appeal this order and request a hearing before the Lewiston Board of Appeals by filing a written petition at the office of the director of planning and code enforcement within thirty (30) days of receipt of this notice. The petition must be submitted on a form obtained at the Planning and Code Enforcement Department and it must be accompanied by a one hundred-fifty dollar (\$150.00) filing fee.

Please feel free to contact me to discuss the above violation and the steps that you may wish to consider in order to lawfully install a storage building on the property located at 9 St. Jerome Street. Our goal is to work with you to the greatest extent possible to minimize the adverse impacts associated with bringing your properties into compliance with the Code. My phone number is 513-3125 ext 3222, and my e-mail address is garsenault@lewistonmaine.gov.

Sincerely,

Gildace J. Arsenault
Director of Planning and Code Enforcement



CITY OF LEWISTON

Planning & Code Enforcement



July 2, 2012

Lillian Fortin
9 St. Jerome Street
Lewiston, Maine 04240

William Turner d/b/a Maine Source
314 Center Street
Auburn, Maine 04210

RE: Notice of Violation: 9 St. Jerome Street
Pinard Farms open space – Map 64 Lot 92

Dear Ms. Fortin and Mr. Turner:

On June 22, 2012 Corporal Jeff Baril and I observed that the use of the property located at 9 St. Jerome Street encroaches upon the required open space located immediately to the rear of 9 St. Jerome Street. The open space at issue is identified as Map 64 - Lot 92 and it was required by the Lewiston Planning Board as a component of the Pinard Farms Subdivision. Specifically, a storage building of approximately 12' x 12' is located within the open space. As per Appendix A, Article V, Section 5(a)(1) of the Code of Ordinances, hereinafter referred to as the Code, permits are required for storage buildings. A permit for a storage building was not issued by this office for 9 St. Jerome Street nor was a permit for a storage building issued for the open space.

In accordance with the Declaration of Property Restrictions and Establishment of Lot Owners Association (recorded in the Androscoggin County Registry of Deeds in Book 2428 Page 253) the open space at issue shall be permanently maintained as open space. No buildings or structures shall be constructed within the open space without prior approval of the City of Lewiston Planning Board. In addition to the Declaration, Appendix A, Article V, Section 3(a) of the Code states that no building or structure may be constructed or erected on any lot which does not have at least fifty (50) feet of frontage. The open space at issue does not have fifty (50) of frontage.

As per the above referenced sections of the Code and in accordance with Appendix A, Article V, Sections 1, 2 and 8 of the Code you are hereby ordered to remove the shed from the open space by not later than August 3, 2012.

In the event that you do not comply with this order by August 1, 2012, this office may issue a citation pursuant to Chapter 50, Article II, and Section 50-36 thru 50-51 of the Code. Said citation shall require you to pay a penalty of one hundred and ten dollars (\$110.00) and you will be reordered to comply with the Code. In the event that you do not comply with the first citation, additional citations may be issued. The second citation imposes a civil penalty of two hundred and fifteen (\$215.00), the third is four hundred and twenty-five dollars (\$425.00), the fourth and subsequent citations are eight hundred and fifty dollars (\$850.00), and penalties are cumulative.

In lieu of or in addition to the issuance of citations, this office may initiate a land use complaint pursuant to Rule 80-K of the Maine Rules of Civil Procedure and 30-A M.R.S.A. § 4452 et seq. as amended. A judgment from such a lawsuit in the City's favor will result in a court order that any violations be abated, the imposition of a fine of up to two thousand five hundred dollars (\$2,500.00) per violation, per day, and the payment of court costs and the City's legal fees.

You have the right to appeal this order and request a hearing before the Lewiston Board of Appeals by filing a written petition at the office of the director of planning and code enforcement within thirty (30) days of receipt of this notice. The petition must be submitted on a form obtained at the Planning and Code Enforcement Department and it must be accompanied by a one hundred-fifty dollar (\$150.00) filing fee.

Please feel free to contact me to discuss the above violation and the steps that you may wish to consider in order to lawfully install a storage building on the property located at 9 St. Jerome Street. Our goal is to work with you to the greatest extent possible to minimize the adverse impacts associated with bringing your properties into compliance with the Code. My phone number is 513-3125 ext 3222, and my e-mail address is garsenault@lewistonmaine.gov.

Sincerely,

Gildace J. Arsenault
Director of Planning and Code Enforcement





Citizens of Mark Street

22 Mark Street
Lewiston, ME 04240

14 Mark Street
Lewiston, ME 04240

October 24, 2012

Dear Gildace J. Arsenault,

Please accept our request for a summary of our previous phone conversations that occurred a few months ago. It is probably more efficient if we collaborate with our fellow neighbors with your correspondence, than to have ten people calling you with the same questions. We are also sure that it will provide more accurate information than to just have "hearsay" on our part.

As shown on the following attachments, orders were issued in 2004 by the City of Lewiston Code Enforcement Office to vacate property from the Pinard Farms Subdivision "Open Space". There was also a police report filed in 2009 by the Cloutier residence after the cutting of "Open Space" trees unfortunately landed across their fence and into their backyard. There has been a steady encroachment to surrounding property abutters and a vast amount of permanent destruction to said "Open Space". A complaint in June 2012 concerning the debarking of several trees lead to an investigation by the Code Enforcement Office that later surmised that a child had committed the offense. A phone call was placed to the City of Lewiston arborist, Stephen Murch. He said that debarking trees in such a manner would surely destroy the trees.

In the document "Declaration of Property Restrictions and Establishment of Lot Owners Association" recorded in the Androscoggin Registry of Deeds Book 2428 Page 253, specifically states "The Common Areas shall be used exclusively for recreational and/or conservation purposes and shall be permanently maintained as "Open Space". No buildings or structures shall be construed within the open space except benches, picnic tables and similar items, without prior approval of the City of Lewiston Planning Board.

The document also states "There shall be no cutting of trees, removal of ground cover or other agricultural or forestry activities in the Common Area, without the prior approval of the City of Lewiston Planning Board and that "The Association shall be responsible for the maintenance of the Open Space and for the preservation of all natural buffer areas between the lots and abutting properties.

We understand that there is finally an effort to establish an association possibly named "Pinard Farm Association". As mandated in Book 2428, Page 255 recorded in the Androscoggin Registry of Deeds, we also believe that if the Declarant had conveyed title to the "Open Space" on the "Turnover Date" in which fifty percent of the lots in the subdivision were conveyed, that the issues at hand may have been avoided. A full description of the rights and responsibilities of the "Association" are recorded in the Androscoggin Registry of Deeds Book 2428 Page 253.

As previously discussed, individuals had again been ordered on June 29, 2012 to remove certain structures and property from the "Open Space" located between St. Jerome, Mark and Gina Streets. These individuals have also been given the opportunity to appeal this order and time to individually pursue efforts in acquiring land within said "Open Space".

The question is, can you elaborate as to what the correlation is between the formation of the "Association" and the violations committed within the "Open Space".

Also, can you provide a time frame as to how long this appeal process may take? I believe that in our previous phone conversation in August, you said the orders issued on June 29, 2012 "may be reinstated before or near the first frost of this season." We would also like to learn more about the appeal process and if this appeal will be presented in future city meetings.

Thank you for your time and effort concerning this matter.

Citizens of Mark Street

Donald & Terry Chabot 14 Mark Street

Robert & Joline Chuteau, 22 Mark St

Jay + Sue Calnan 17 Mark St.

Jimie E' Gray Brockw 26 MARK ST.

Conrad & Michelle Robitaille 30 Mark St. Lew. Me.

Daniel Doyle Dan Dyl 16 MARK ST, Lewis for ME

Debra L Levesque 5 MARK ST LEWISTON ME 04240

GERARD GAGNE 13 MARK ST.

Phil Dube 10 Mark ST

Roger and Elaine Albert 6 Mark St Lewiston ME 04240

cc: Edward Barrett
Phil Nadeau
David Hediger

BK2842 PG160

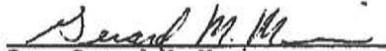
08529

WARRANTY DEED
(Statutory Short Form)

KNOW ALL MEN BY THESE PRESENTS that ANDROSCOGGIN VALLEY DEVELOPMENT GROUP, a Maine corporation with a place of business in Lewiston, Maine, for consideration paid, grants to WILLIAM TURNER, of Auburn, Maine, with WARRANTY COVENANTS, the premises described on Exhibit A attached hereto.

IN WITNESS WHEREOF, ANDROSCOGGIN VALLEY DEVELOPMENT GROUP has executed this deed this 1st day of May, 1992.

ANDROSCOGGIN VALLEY DEVELOPMENT GROUP



By: Gerard M. Morin
Its: President

STATE OF MAINE
Androscoggin, ss

May 1, 1992

Now personally appeared before me the above-named Gerard M. Morin, President of ANDROSCOGGIN VALLEY DEVELOPMENT GROUP, and acknowledged the foregoing to be his free act and deed and the free act and deed of said corporation.



Attorney at Law/Notary Public
Benjamin W. Lund

OVER

MAINE REAL ESTATE
TRANSFER TAX PAID

EXHIBIT A

A certain lot or parcel of land situated in Lewiston, in Androscoggin County, State of Maine, bounded and described as follows:

BEGINNING at a point in the Northwestern line of St. Jerome Street, so called, at its Northeasterly terminus as accepted by the City of Lewiston on January 17, 1967; thence

1. North twenty-two degrees fifty-eight minutes twenty-two seconds East (N 22° 58' 22" E) along the prolongation Northeasterly of the Northwestern line of said St. Jerome Street, a distance of two hundred seventy and sixty-nine hundredths (270.69) feet to a point at the Easterly corner of the second parcel of land now or formerly owned by Paul R. Lachapelle and Yvette Lachapelle as described in a deed recorded in the Registry of Deeds for Androscoggin County in Book 1084, Page 75; thence
2. North sixty-seven degrees one minute thirty-eight seconds West (N 67° 01' 38" W) along the Northeasterly line of said Lachapelle's land and at right angles to the last mentioned line, a distance of ninety-eight and no hundredths (98.00) feet to a point in the Southeasterly line of land now or formerly owned by M.G. Doody, Inc. as described in a deed recorded in said Registry in Book 1099, Page 184; thence
3. North twenty-two degrees fourteen minutes twenty-two seconds East (N 22° 14' 22" E) along the Southeasterly line of said M.G. Doody, Inc.'s land a distance of two hundred seventy-nine and eighty-seven hundredths (279.87) feet to an existing 1/2 inch iron pipe set in the ground at the Southerly end of a stone wall; thence
4. North thirty degrees forty-three minutes fifty-four seconds West (N 30° 43' 54" W) along the Easterly line of said M.G. Doody, Inc.'s land and along said stone wall a distance of five hundred seventy-nine and twenty hundredths (579.20) feet to a point at an angle in said M.G. Doody, Inc.'s land; thence
5. South eighty-two degrees twenty-six minutes twelve seconds East (S 82° 26' 12" E) along the Southerly line of said M.G. Doody, Inc.'s land a distance of nine hundred eighteen and thirty-three hundredths (918.33) feet to a point, said point being North fifteen degrees fifty-seven minutes fourteen seconds West (N 15° 57' 14" W) on a line which is the prolongation Northerly of the Easterly line of lot numbered 22 as shown on a plan entitled "Mark Street" dated November 11, 1971 and recorded in said Registry in Book of Plans Book 21, Page 39, a distance of

fifty-three and fifty-three hundredths (53.53) feet from the Northeasterly corner of said lot numbered 22; thence

6. South forty-six degrees fifty-four minutes twenty-seven seconds West (S 46° 54' 27" W) a distance of two hundred three and fifty-four hundredths (203.54) feet to a point, said point being on a line which is the prolongation Northwesterly of the Southwesterly line of said lot numbered 22; thence

7. South thirty degrees fifty-six minutes twenty-seven seconds West (S 30° 56' 27" W) parallel to and fifty and no hundredths (50.00) feet Northwesterly from the Northwesterly line of lot numbered 21 as shown on said plan a distance of one hundred forty-two and six hundredths (142.06) feet to a point, said point being on a line which is the prolongation northwesterly of the Southwesterly line of said lot numbered 21; thence

8. South sixty-five degrees twenty-eight minutes fifteen seconds East (S 65° 28' 15" E) along the above mentioned line and along the Northeasterly line of a proposed street as shown on said plan, also along the Southwesterly line of said lot numbered 21, a distance of one hundred forty and thirty-one hundredths (140.31) feet to the point of curvature of a ten (10) foot radius curve to the left; thence in a

9. Southeasterly, Easterly and Northeasterly direction along the Northeasterly, Northerly, and Northwesterly line of said proposed street and along the arc of said curve, a distance of fifteen and seventy-one hundredths (15.71) feet to the point of tangency of said curve and at an existing concrete monument set in the ground in the Northwesterly line of Mark Street, so called, said monument has a center line station of 0+35 as shown on said plan; thence

10. South twenty-four degrees thirty-one minutes forty-five seconds West (S 24° 31' 45" W) along the Northwesterly line of said Mark Street a distance of seventy and no hundredths (70.00) feet to the point of curvature of a ten (10) foot radius curve to the left; thence in a

11. Northeasterly, Northerly, and Northwesterly direction along the Southeasterly, Southerly, and Southwesterly line of said proposed street and along the arc of said curve a distance of fifteen and seventy-one hundredths (15.71) feet to the point of tangency of curve; thence

12. North sixty-five degrees twenty-eight minutes fifteen seconds West (N 65° 28' 15" W) along the Southwesterly line of said proposed street and along the Northeasterly line of lot numbered 6 as shown on a plan entitled "Mark Street" dated December 1, 1968 and recorded in said Registry in Book of Plans Book 19, Page 3 and along a line which is the prolongation Northwesterly of the

Northeasterly line of said lot numbered 6, a distance of one hundred forty and no hundredths (140.00) feet to a point; thence

13. South twenty-four degrees thirty-one minutes forty-five seconds West (S 24° 31' 45" W) parallel to and fifty and no hundredths (50.00) feet Northwesterly from the Northwesterly line of said lot numbered 6, a distance of one hundred fourteen and seven hundredths (114.07) feet to a point at the Northerly corner of land now or formerly owned by Robert Cloutier and Joline Cloutier as described in a deed recorded in said Registry in Book 1995, Page 218; thence

14. South twenty-four degrees thirty-one minutes forty-five seconds West (S 24° 31' 45" W) along the Northwesterly line of said Cloutier's land a distance of one hundred seventy-five and ninety-three hundredths (175.93) feet to a point at the Westerly corner of said Cloutier's land; thence

15. South sixty-five degrees twenty-eight minutes fifteen seconds East (S 65° 28' 15" E) along the Southwesterly line of said Cloutier's land and along a line which is the prolongation Northwesterly of the Southwesterly line of lot numbered 4 as shown on said plan, a distance of fifty and no hundredths (50.00) feet to a point at the Northerly corner of lot numbered 3 as shown on said plan; thence

16. South twenty-four degrees thirty-one minutes forty-five seconds West (S 24° 31' 45" W) along the Northwesterly line of said lot numbered 3 a distance of ninety-five and no hundredths (95.00) feet to a point in the Northeasterly line of a proposed street as shown on said plan; thence

17. South sixty-five degrees twenty-eight minutes fifteen seconds East (S 65° 28' 15" E) along the Northeasterly line of said proposed street and along the Southwesterly line of said lot numbered 3 a distance of ninety and no hundredths (90.00) feet to the point of curvature of a ten (10) foot radius curve to the left; thence in a

18. Southeasterly, Easterly, and Northeasterly direction along the Northeasterly, Northerly, and Northwesterly line of said proposed street and along the arc of said curve a distance of fifteen and seventy-one hundredths (15.71) feet to the point of tangency of said curve in the Northwesterly line of said Mark Street; thence

19. South twenty-four degrees thirty-one minutes forty-five seconds West (S 24° 31' 45" W) along the Northwesterly line of said Mark Street a distance of seventy and no hundredths (70.00) feet to the point of curvature of a ten (10) foot radius curve to the left; thence in a

20. Northeasterly, Northerly and Northwesterly direction along the Southeasterly, Southerly and Southwesterly line of said proposed street a distance of fifteen and seventy-one hundredths (15.71) feet to the point of tangency of said curve; thence
21. North sixty-five degrees twenty-eight minutes fifteen seconds West (N 65° 28' 15" W) along the Southwesterly line of said proposed street and along the Northeasterly line of lot numbered 2 as shown on said plan a distance of ninety and no hundredths (90.00) feet to a point at the Northerly corner of said lot numbered 2; thence
22. South twenty-four degrees thirty-one minutes forty-five seconds West (S 24° 31' 45" W) along the Northwesterly line of said lot numbered 2 and along the Northwesterly line of lot numbered 1 as shown on said plan, a distance of one hundred sixteen and two hundredths (116.02) feet to a point; thence
23. North sixty-eight degrees twenty-eight minutes forty-seven seconds West (N 68° 28' 47" W) parallel to and thirty and no hundredths (30.00) feet Northeasterly from the Northeasterly line of land now or formerly owned by Normand R. Poulin and Patricia R. Poulin as described in a deed recorded in said Registry in Book 1010, Page 530, a distance of one hundred ninety-eight and sixty-nine hundredths (198.69) feet to a point on a line which is the prolongation Northeasterly of the Southeasterly line of said St. Jerome Street; thence
24. South twenty-two degrees fifty-eight minutes twenty-two seconds West (S 22° 58' 22" W) along the prolongation Northeasterly of the Southeasterly line of said St. Jerome Street, a distance of two hundred three and forty-nine hundredths (203.49) feet to a point at the Northeasterly terminus of said St. Jerome Street; thence
25. North sixty-seven degrees one minute thirty-eight seconds West (N 67° 01' 38" W) along the Northeasterly terminus of said St. Jerome Street a distance of fifty and no hundredths (50.00) feet TO THE POINT OF BEGINNING.

EXCEPTING AND RESERVING from the foregoing property certain lots and parcels of land more particularly described as follows:

A certain parcel of land conveyed by release deed to County Lane Corp. from Linwood Companies, Inc., dated March 8, 1989 and recorded in the Androscoggin County Registry of Deeds in Book 2384, Page 281.

A certain parcel of land conveyed by warranty deed to Robert M. and Jeannette M. Cournoyer from Grantor, dated May 24, 1990 and

recorded in Androscoggin County Registry of Deeds in Book 2558, Page 92.

A certain parcel of land conveyed by warranty deed to Lillian J. Fortin from Grantor, dated June 29, 1990 and recorded in Androscoggin County Registry of Deeds in Book 2578, Page 84.

A certain parcel of land conveyed by warranty deed to John Alden and Maryse Garceau Alden from Grantor, dated March 9, 1992 and recorded in Androscoggin County Registry of Deeds in Book 2808, Page 234.

A certain parcel of land conveyed by warranty deed to James M. and Marlene N. Roy from Grantor, dated February 28, 1990 and recorded in Androscoggin County Registry of Deeds in Book 2526, Page 110.

A certain parcel of land conveyed by warranty deed to Hector M. and Marsha E. Greene from Grantor, dated December 5, 1989 and recorded in Androscoggin County Registry of Deeds in Book 2497, Page 14.

A certain parcel of land conveyed by warranty deed to Walter L. Varney from Grantor, dated December 28, 1990 and recorded in Androscoggin County Registry of Deeds in Book 2641, Page 202.

A certain parcel of land conveyed by warranty deed to James P. and Wendy A. Foy from Grantor, dated March 30, 1990 and recorded in Androscoggin County Registry of Deeds in Book 2535, Page 311.

A certain parcel of land conveyed by warranty deed to Lewis W and Cindy N. Fye from Grantor, dated November 7, 1989 and recorded in Androscoggin County Registry of Deeds in Book 2486, Page 219.

A certain parcel of land conveyed by warranty deed to Michael F. and Laurie S. Morin from Grantor, dated February 26, 1990 and recorded in Androscoggin County Registry of Deeds in Book 2524, Page 189.

A certain parcel of land conveyed by warranty deed to Betty A. Perreault and Doreen R. Labrie from Grantor, dated January 2, 1990 and recorded in Androscoggin County Registry of Deeds in Book 2507, Page 178.

A certain parcel of land conveyed by warranty deed to Raymond I and Linda M. Morin from Grantor, dated January 22, 1990 and recorded in Androscoggin County Registry of Deeds in Book 2514, Page 115.

BK2842 PG166

A certain parcel of land conveyed by warranty deed to Daniel R. and Diane H. Auger from Grantor, dated February 2, 1990 and recorded in Androscoggin County Registry of Deeds in Book 2518, Page 179.

A certain parcel of land conveyed by warranty deed to Robert M. and Linda M. McDonough from Grantor, dated June 21, 1991 and recorded in Androscoggin County Registry of Deeds in Book 2701, Page 81.

A certain parcel of land conveyed by warranty deed to Gerard N. and Linda M. Parent from Grantor, dated December 1, 1989 and recorded in Androscoggin County Registry of Deeds in Book 2496, Page 52.

A certain parcel of land conveyed by warranty deed to Dennis J. and Sandra A. Hopkins from Grantor, dated March 30, 1992 and recorded in Androscoggin County Registry of Deeds in Book 2821, Page 6.

A certain parcel of land conveyed by warranty deed to Camille S. Laplante from Grantor, dated November 14, 1991 and recorded in Androscoggin County Registry of Deeds in Book 2756, Page 268.

A certain parcel of land conveyed by warranty deed to Michael A. and Kathy E. Whiting from Grantor, dated April 20, 1990 and recorded in Androscoggin County Registry of Deeds in Book 2543, Page 209.

The above premises are shown on a plan entitled "Subdivision Plan, Pinard Farms I, Revision One, Gina & St. Jerome Streets" prepared by A.L. & H. Surveyors & Engineers, Inc. dated January 17, 1989, and recorded in the Androscoggin County Registry of Deeds in Plan Book 35, Page 2. The above premises are conveyed subject to all matters as shown on said Plan.

The above premises are conveyed subject to an easement given by John Pinard to Central Maine Power Company dated February 2, 1926 and recorded in the Androscoggin County Registry of Deed in Book 355, Page 375.

Meaning and intending to convey, and hereby conveying, Lots 4, 5, 6, 7, 11, 12, 13, 21, 23, 24, 25, 27, 29 and the three areas designated as "Open Space" as shown on said Plan.

ATTEST:

Jeanine B. Bergeron

REGISTER OF DEEDS

92 MAY -7 AM 11:45

ANDROSCOGGIN, SS.
REGISTRY OF DEEDS

Exhibit A
Page - 6 -

PINARD FARMS PHASE IDECLARATION OF PROPERTY RESTRICTIONS AND
ESTABLISHMENT OF LOT OWNERS ASSOCIATION

KNOW ALL MEN BY THESE PRESENTS, that ANDROSCOGGIN VALLEY DEVELOPMENT GROUP, a Maine corporation with its principal place of business in Lewiston, County of Androscoggin and State of Maine, (hereinafter referred to as the "Declarant") is the owner of certain real estate situated in the City of Lewiston as described more particularly in a deed from Linwood Companies, Inc. dated May 18, 1989 and recorded in the Androscoggin County Registry of Deeds in Book 2411, Page 238;

WHEREAS, the Declarant is now subdividing said property and it is the Declarant's desire to continue the development of said property for residential purposes, to establish certain restrictions regarding the use and development of said property by all future owners thereof and to ensure that said property is developed pursuant to the final subdivision plan entitled "Subdivision Plan, Pinard Farms I, Revision One, Gina & St. Jerome Streets" prepared by A.L. & H. Surveyors & Engineers, Inc. dated January 17, 1989, recorded or to be recorded in the Androscoggin County Registry of Deeds and on the plan referred to therein in Note 10 as "Pinard Farms I"; and

WHEREAS, the Declarant desires to assist its grantees in providing the necessary means and organization to enable it and its grantees to enforce the restrictions and covenants hereinafter set forth, and to maintain the development;

BK2428 PG254

NOW, THEREFORE, in consideration of the premises, the Declarant does hereby subject all of the lots to be developed in the said subdivision to the following property restrictions, covenants, charges and assessments, all of which shall run with and bind all such lots within the development and shall be binding upon the Declarant and its grantees, their heirs, executors, administrators, successors and assigns.

DESIGNATED COMMON AREA AND
OPEN SPACE RESTRICTIONS

1. There shall be three Common Areas, said areas being designated as "Open Space" on the plan entitled "Subdivision Plan, Pinard Farms I, Revision One, Gina & St. Jerome Streets" prepared by A.L. & H. Surveyors & Engineers, Inc. dated January 17, 1989, recorded or to be recorded in the Androscoggin County Registry of Deeds and on the plan referred to therein in Note 10 as "Pinard Farms I". Each owner of record of a lot in the subdivision shall have a right and easement of enjoyment in and to the Common Areas which shall be appurtenant to and pass with the title to each lot subject to the conditions and provisions contained herein.

2. The Common Areas shall be used exclusively for recreational and/or conservation purposes and shall be permanently maintained as open space. No buildings or structures shall be construed within the open space except benches, picnic tables and similar items, without prior approval of the City of Lewiston Planning Board.

3. There shall be no cutting of trees, removal of ground cover or other agricultural or forestry activities in the Common Areas, without the prior approval of the City of Lewiston Planning Board.

4. There shall be no motorized vehicles operated within the Common Areas except where such vehicles are required for normal maintenance activities.

5. The Declarant shall convey title to the Open Space to the Association on the "Turnover Date", which shall be the date on which the Declarant has transferred and conveyed fifty percent (50%) of the lots in the subdivision.

GENERAL COVENANTS, CONDITIONS & RESTRICTIONS

1. No commercial enterprise of any type whatever shall be permitted on any lot, which shall be used exclusively for residential purposes.

2. No more than one single family dwelling unit shall be erected on any lot.

3. No trailers or mobile homes shall be permitted on any lot. "Modular" or "site-built" homes being at least twenty-four (24) feet in width may be placed on any lot.

4. No animals shall be kept or maintained on any lot, except for common household pets.

5. No unregistered motor vehicles or inoperable vehicles shall be allowed to remain on any lot for more than thirty (30) days.

6. Trash, garbage and other waste shall be kept in sanitary containers which are not visible from any road.

BK2428 PG256

7. The lots as shown on the plan may not be subdivided.

8. Noxious, dangerous, offensive or unduly noisy activities shall not be carried on or upon any lot.

9. The location and design of any building to be constructed on any lot, including accessory structures, must be approved in writing by the Declarant.

10. Each lot shall be graded, loamed and seeded to grass; and any house built on a lot shall be completed on the outside within one (1) year from the date of commencement of construction, including exterior painting or staining.

HOMEOWNERS ASSOCIATION RESPONSIBILITIES

& REGULATIONS

Prior to the date of the execution and recording of th's Declaration there has been formed the PINARD FARMS ASSOCIATION, a nonprofit, nonstock corporation organized and existing under the laws of the State of Maine (hereinafter referred to the "Association"). Each owner of a lot as shown on the above-referenced subdivision plan shall automatically be and become a member of the Association as long as he continues to be the owner of the lot. Upon termination of interest of an owner in a lot, his membership and any interest in the Association shall thereupon automatically terminate and transfer and inure to the next owner of his lot succeeding him in interest. Each owner of a lot shall be bound by the Bylaws of the Association, as the same may be amended from time to time and each owner of a lot shall comply strictly with the Bylaws of the Association. No holder of a mortgage of a lot

shall be considered as a lot owner until such holder shall acquire title to the lot by foreclosure, by deed in lieu of foreclosure or by maintaining possession of the lot.

The rights, duties and responsibilities of the Association are as follows:

1. The property shown as "Open Space" on the subdivision plan has been dedicated by the Declarant as Common Area for the recreational use of all lot owners as shown on the plan, and for conservation purposes. The Association shall be responsible for the maintenance of the Open Space and for the preservation of all natural buffer areas between the lots and abutting properties, for the payment of any real estate taxes and assessments thereon, the cost of any improvements thereto, the cost of maintaining liability insurance thereon, and for such other purposes as shall be permitted by the Bylaws of the Association (hereinafter collectively called the "Common Expenses").

2. The Association shall indemnify and hold the Declarant harmless from any injury, loss, claim or damage to any person or property occurring on or about the Common Areas, except to the extent that it results from the negligence of the Declarant, its agents and employees.

3. The Association shall have the authority to charge and collect from its members annual and special assessments required to meet the cost of Common Expenses, and for such other purposes as shall be permitted by the Bylaws of the Association, in the manner provided by the said Bylaws.

BK2428 PG258

4. The Declarant shall convey title to the Open Space to the Association upon the "Turnover Date", which shall be the date on which the Declarant has transferred and conveyed fifty percent (50%) of the lots in the subdivision.

5. The Homeowners Association shall, at all times, observe all the laws and ordinances of the City of Lewiston, Maine, the State of Maine and United States of America, and if at any time any of the provisions of this Declaration shall be found in conflict therewith, then such parts of this Declaration as are in conflict with such laws shall become null and void, but no other part of this Declaration not in conflict therewith shall be affected thereby.

6. The Homeowners Association shall have the right to make such reasonable rules and regulations and provide such means and employ such agents as it will enable it adequately and properly to carry out the provisions of this Declaration, subject to the limitations hereinabove and hereinafter set forth.

7. Any or all of the rights, powers, duties and responsibilities held by or reserved to the Declarant herein may be assigned, in whole or in part, at any time and from time to time to the Association; and upon the recording of any such assignment, the Association shall to the extent of such assignment, assume and have all of the rights, powers and duties held by and reserved to the Declarant hereunder.

ENFORCEMENT & AMENDMENT OF DECLARATION

1. All present and future owners of lots are subject to the terms and provisions contained or referred to in this

Declaration. The acceptance of a deed or conveyance of a lot other than as security, or the entering into of occupancy of any lot, shall signify that the owners acknowledge the authority of the Association to enforce the covenants and restrictions which run with the land, by suit or otherwise. All provisions contained or referred to herein shall be deemed and taken to be covenants running with the land and shall bind any person having at any time any interest or estate in a lot (except as mortgage security) as though such provisions were recited and stipulated at length in each and every deed or conveyance of a lot.

2. This Declaration may be amended at any time and from time to time by written instrument duly executed by the owners of record of seventy-five percent (75%) of the lots. Said instrument to be recorded in the Androscoggin County Registry of Deeds.

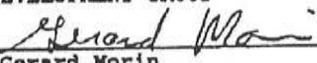
3. If any or more of these covenants, or any part thereof, shall be invalid or unenforceable, such invalidity or unenforceability shall not affect the remaining portions hereof which shall remain in full force and effect.

WITNESS WHEREOF, Androscoggin Valley Development Group has caused this instrument to be signed in its corporate name by Gerard Morin, its duly authorized President this 22nd day of June, 1989.

WITNESS:



ANDROSCOGGIN VALLEY
DEVELOPMENT GROUP

BY: 
Gerard Morin
Its President

BK2428 PG260

WITNESS:

[Handwritten Signature]

ANDROSCOGGIN VALLEY
DEVELOPMENT GROUP

BY: *[Handwritten Signature]*
Thomas N. Ouellette
Its Treasurer

STATE OF MAINE
ANDROSCOGGIN, SS.

JUNE 22 , 1989

Personally appeared the above-named Gerard Morin and Thomas N. Ouellette acknowledged the foregoing instrument to be their free act and deed, in their said capacities, and the free act and deed of said corporation.

Before me,

[Handwritten Signature]
~~Notary Public~~/Attorney at Law
Print Name Paul R. Gosselin

1305P

ATTEST:

[Handwritten Signature]
REGISTER OF DEEDS

89 JUL -3 AM 9: 00

ANDROSCOGGIN, SS.
REGISTRY OF DEEDS

8

[Handwritten Note] 20

David R. Hediger
Deputy Director/City Planner
Planning & Code Enforcement
27 Pine Street
Lewiston, Maine 04240

September 5, 2013

Dear David and Planning Board Members:

I am Dan Doyle, I purchased this home at 16 Mark street from Robert Begin in September 2005. I was told by Mr. Begin and confirmed by the City of Lewiston that the wooded area behind my house was designated as a **Pinard Farm Open Space Buffer Zone and could not be CUT, Changed or Corrupted**. The wooded open space/buffer area was set aside as a pre-condition to Pinard Farms being allowed to develop a crowded cluster development. Based on that information I purchased my home at 16 Mark Street.

POLICE have responded to many **Jerome Street** complaints: **Drunkenness, Disorderly Conduct, Swearing and Threatening!**

There have been many problems with the **Jerome Street Abutters** on the other side of the wooded area. **They have made threats to the Chabots, been drunk, disorderly and swearing. They cut down trees in the Wooded Open Space Buffer Zone. They put their sheds, personal items and trash in the Wooded Open Area Buffer Zone. They are destroying the peace and quiet of the neighborhood.**

They are in all in multiple code violations and the City has told them to move the sheds and to comply.

Now they want the City to overlook their bad behavior and change the open space rules to accommodate and reward their bad and illegal acts.

My Daughter and Granddaughter live in our house at 16 Mark Street. This year I had to install a 6' stockade fence to help shield them from **Jerome Street Chaos**.

Please do not change the existing deal that was made between the City of Lewiston and Pinard Farm Development.

I do not want the Jerome Street Abutters any closer to my property, daughter and granddaughter.

Please deny their request and have them remove their sheds, personal items and trash from the Wooded Open Space Buffer Zone.

I will attend the Monday Night Planning Board Meeting to answer any questions that you may have.

Respectfully submitted,

Dan Doyle
16 Mark Street
Lewiston, Maine



918 Brighton Avenue | Portland, Maine 04102

August 29, 2013

City of Lewiston Planning Board
c/o David Hediger, City Planner
Department of Planning and Code Enforcement
27 Pine Street
Lewiston, ME 04240-7201

**RE: Lewiston Affordable Housing Complex
Bartlett Street & Pierce Street
Lewiston, Maine 04240**

Dear Planning Department,

On Behalf of Volunteers of America Northern New England (VOANNE), Walsh Engineering Associates, Inc. (WEA) is pleased to submit the Development Review application for the proposed 30-Unit affordable housing project between Bartlett Street and Pierce Street. VOANNE is proposed this project to develop the parcels, some of which were recently destroyed by fire. The project proposes combining and developing the following parcels:

139 Bartlett Street - Map 196/ Lot 128
145 Bartlett Street – Map 196/ Lot 126
149 Bartlett Street – Map 196/ Lot 125
155 Bartlett Street – Map 196 / Lot 124
110 Pierce Street – Map 196/ Lot 108
114 Pierce Street – Map 196/ Lot 109
116 Pierce Street – Map 196/ Lot 110
122 Pierce Street – Map 196/ Lot 111

The project will combine these lots into a single parcel that encompasses 40,000 sq ft. The 30-units will create a density for the parcel of 1,333 sq ft per unit, which exceeds the 1,250 sq ft requirement of the zone.

The design of the project utilizes a single secured building that includes a manager's apartment. The building will be equipped with a card reading system for security. Utilizing a single building will allow the on-site manager to maintain the controlled entry of the building. As well, the single building will allow for centralized utilities and elevators.

A centralized parking area that includes 37 parking spaces will be located on the easterly side of the site. The central parking area will provide access to the building and meet the needs of the residents by providing a parking space for each of the units. We are respectively requesting a waiver from the parking requirement of 59 parking spaces. It is the applicants' opinion that one space per unit is sufficient for the projects' location and use of the property.

The project will be served by public water, sewer and natural gas services extending form Bartlett Street. An on-site storm drainage system will be connected to both Pierce and Bartlett streets. Due to the reduction of impervious area from the existing conditions, the peak flow rates from the site will be reduced.

Financing of the project is expected to be through Maine Housing. The preliminary application for the funding has been made by the applicant to the Maine Housing.

The proposed project provides for an exciting opportunity for the redevelopment of the neighborhood. We look forward to working with the Planning Board to make this project a success.

Respectfully,



William R. Walsh, III, PE
Walsh Engineering Associates, Inc.

cc. Robert J. Foster, Architect
Julia Wilcock, VOANNE

enc. Application and supporting documents
Plan Sets:
C1.0 Existing Conditions Plan
C2.0 Site Layout and Utilities Plan
C3.0 Grading and Drainage Plan
C4.0 Site Details
C4.1 Site Details
C4.2 Site Details
C4.3 Site Details
C4.4 Site Details
L1.0 Landscape and Lighting Plan
Conceptual Building Elevation
CD with PDFs of Application Materials



Development Review Application

City of Auburn Planning and Permitting Department
City of Lewiston Department of Planning and Code Enforcement



PROJECT NAME: Lewiston Affordable Housing

PROPOSED DEVELOPMENT ADDRESS: 139, 145, 149, 155 Bartlett St & 110, 114, 116 & 122 Pierce St
Lewiston, Maine

PARCEL ID#: RE00001605, RE00003310, RE00006324, RE00007322, RE00002077, RE00001253, RE00007825,
RE00007152, RE00008457

REVIEW TYPE: Site Plan/Special Exception Site Plan Amendment
 Subdivision X Subdivision Amendment

PROJECT DESCRIPTION: The proposed project is for the development of a 30-Unit Multi-Family Affordable Housing Apartment Complex located on 8 lots on Bartlett and Pierce Street in Lewiston.

CONTACT INFORMATION:

Applicant

Name: Volunteers of America Northern
New England – Julia Wilcock
Address: 14 Maine Street
Zip Code: Brunswick, ME 04011
Work #: 207-650-5754
Cell #:
Fax #: 207-373-1160
Home #:
Email: Julia.wilcock@voanne.org

Property Owner(s)

Name: See separate sheet for details
Address:
Zip Code
Work #:
Cell #:
Fax #:
Home #:
Email:

Project Representative

Name: William Walsh, III PE
Walsh Engineering Associates, Inc.
Address: 918 Brighton Ave
Zip Code: Portland, ME 04102
Work #: 207-553-9898
Cell #:
Fax #: 207-692-2273
Home #:
Email: bill@walsh-eng.com

Other professional representatives for the
project (surveyors, engineers, etc.),

Name: Robert Foster, Architect
Address: 36 Groveside Rd
Zip Code: Portland, ME 04102
Work #: 207-761-3822
Cell #:
Fax #:
Home #:
Email: rfosterme@earthlink.net

Property Owners

Laurence Jr. & Colleen Smith 254 Libby St Pownal ME 04069 139 Bartlett St M/L 196-128 RE00001605	St. Laurent Housing Association 207-782-1810 91 Dyer Road Lewiston, ME 04240 114 Pierce St M/L 196-109 RE00007825
St. Laurent Housing Association 207-782-1810 91 Dyer Road Lewiston, ME 04240 145 Bartlett St M/L 196-126 RE00006324	Denis L Gilbert 50 Shawmut St Lewiston ME 04240 116 Pierce St M/L 196-110 RE00007152
St. Laurent Housing Association 207-782-1810 91 Dyer Road Lewiston, ME 04240 149 Bartlett St M/L 196-125 RE00007322	Frank Berenyi PO Box 141 Frankfort ME 04438 122 Pierce St M/L 196-111 RE00008457
LJM, LLC 207-782-1488 Daniel D'Auteuil, PO Box 891, Lewiston 04243 155 Bartlett St M/L 196-124 RE00002077	St. Laurent Housing Association 207-782-1810 91 Dyer Road Lewiston, ME 04240 110 Pierce St M/L 196-108 RE00001253

PROJECT DATA

The following information is required where applicable, in order to complete the application

IMPERVIOUS SURFACE AREA/RATIO

Existing Total Impervious Area	<u>36,774</u>	sq. ft.
Proposed Total Paved Area	<u>14,990</u>	sq. ft.
Proposed Total Impervious Area	<u>25,370</u>	sq. ft.
Proposed Impervious Net Change	<u>11,404</u>	sq. ft.
Impervious surface ratio existing	<u>91.9%</u>	% of lot area
Impervious surface ratio proposed	<u>63.4%</u>	% of lot area

BUILDING AREA/LOT COVERAGE

Existing Building Footprint	<u>19,371</u>	sq. ft.
Proposed Building Footprint	<u>10,384</u>	sq. ft.
Proposed Building Footprint Net change	<u>8,987</u>	sq. ft.
Existing Total Building Floor Area	<u>Unknown</u>	sq. ft.
Proposed Total Building Floor Area	<u>40,615</u>	sq. ft.
Proposed Building Floor Area Net Change	<u>Unknown</u>	sq. ft.
New Building	<u>Yes</u>	(yes or no)
Building Area/Lot coverage existing	<u>Unknown</u>	% of lot area
Building Area/Lot coverage proposed	<u>160</u>	% of lot area

ZONING

Existing	
Proposed, if applicable	<u>Downtown Residential</u>

LAND USE

Existing	
Proposed	<u>Residential</u>

RESIDENTIAL, IF APPLICABLE

Existing Number of Residential Units	<u>Unknown</u>
Proposed Number of Residential Units	<u>30 units</u>
Subdivision, Proposed Number of Lots	<u>Not Applicable</u>

PARKING SPACES

Existing Number of Parking Spaces	<u>Unknown</u>
Proposed Number of Parking Spaces	<u>37 spaces (waiver requested)</u>
Required Number of Parking Spaces	<u>59 spaces</u>
Number of Handicapped Parking Spaces	<u>4 spaces</u>

ESTIMATED COST OF PROJECT

\$5.58 million

DELEGATED REVIEW AUTHORITY CHECKLIST

SITE LOCATION OF DEVELOPMENT AND STORMWATER MANAGEMENT

Existing Impervious Area	<u>36,774</u>	sq. ft.
Proposed Disturbed Area	<u>43,156</u>	sq. ft.
Proposed Impervious Area	<u>25,370</u>	sq. ft.

- 1. If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with MDEP.*
- 2. If the proposed impervious area is greater than one acre including any impervious area crated since 11/16/05, then the applicant shall apply for a MDEP Stormwater Management Permit, Chapter 500, with the City.*
- 3. If total impervious area (including structures, pavement, etc) is greater than 3 acres since 1971 but less than 7 acres, then the applicant shall apply for a Site Location of Development Permit with the City. If more than 7 acres then the application shall be made to MDEP unless determined otherwise.*
- 4. If the development is a subdivision of more than 20 acres but less than 100 acres then the applicant shall apply for a Site Location of Development Permit with the City. If more than 100 acres then the application shall be made to MDEP unless determined otherwise.*

TRAFFIC ESTIMATE

Total traffic estimated in the peak hour-existing Refer to Narrative

Total traffic estimated in the peak hour-proposed (Since July 1, 1997) Refer to Narrative

Zoning Summary

1. Property is located in the Downtown Residential zoning district.
2. Parcel Area: 0.92 acres / 40,000 square feet(sf).

Regulations	<u>Required/Allowed</u>	<u>Provided</u>
Min Lot Area	<u>5,000 sf</u>	<u>40,000 sf</u>
Street Frontage	<u>50' / 200' on Bartlett &</u>	<u>200' on Pierce</u>
Min Front Yard	<u>None unless est. setback exists/15.5'</u>	
Min Rear Yard	<u>10'</u>	<u>/ 26' Lot 110 on Pierce Street</u>
Min Side Yard	<u>10'</u>	<u>/ 10'</u>
Max. Building Height	<u>60'</u>	<u>/ 45'</u>
Use Designation	<u>Residential</u>	<u>/ Residential</u>
Parking Requirement	<u>Required: 2 spaces per unit with 3 or more bedrooms, 1 ½ spaces per unit with 1 or 2 bedrooms, 1 space per efficiency unit, 0.2 spaces per dwelling unit for visitors</u>	
Total Parking:	<u>59 spaces / 37 spaces (a waiver is requested)</u>	
Overlay zoning districts (if any):	<u>Not Applicable</u>	
Urban impaired stream watershed?	<u>NO</u>	

DEVELOPMENT REVIEW APPLICATION SUBMISSION

Submission shall include payment of fee and fifteen (15) complete packets containing the following materials:

1. Full size plans containing the information found in the attached sample plan checklist.
2. Application form that is completed and signed.
3. Cover letter stating the nature of the project.
4. All written submittals including evidence of right, title and interest.
5. Copy of the checklist completed for the proposal listing the material contained in the submitted application.

Refer to the application checklist for a detailed list of submittal requirements.

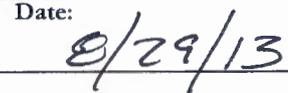
L/A's development review process and requirements have been made similar for convenience and to encourage development. Each City's ordinances are available online at their prospective websites:

Auburn: www.auburnmaine.org under City Departments/ Planning and Permitting/Land Use Division/Zoning Ordinance

Lewiston: <http://www.ci.lewiston.me.us/clerk/ordinances.htm> Refer to Appendix A of the Code of Ordinances

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, I certify that the City's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for development review only; a Performance Guarantee, Inspection Fee, Building Permit Application and other associated fees and permits will be required prior to construction.

Signature of Applicant: 	Date: 
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Development Review Checklist

City of Auburn Planning and Permitting Department
City of Lewiston Department of Planning and Code Enforcement



THE FOLLOWING INFORMATION IS REQUIRED WHERE APPLICABLE TO BE SUBMITTED FOR AN APPLICATION TO BE COMPLETE

PROJECT NAME: Lewiston Affordable Housing – Volunteers of America Northern New England

PROPOSED DEVELOPMENT ADDRESSES: 139, 145, 149, 155 Bartlett St & 110, 114, 116 & 122 Pierce St Lewiston, Maine

PARCEL ID#: RE00001605, RE00006324, RE00007322, RE00002077, RE00001253, RE00007825, RE00007152, RE00008457

Required Information		Check Submitted		Applicable Ordinance	
		Applicant	Staff	Lewiston	Auburn
Site Plan					
C1.0	Owner's Names/Address	X			
C1.0	Names of Development	X			
C2.0	Professionally Prepared Plan	X			
C1.0	Tax Map or Street/Parcel Number	X			
C1.0/2.0	Zoning of Property	X			
C2.0	Distance to Property Lines	X			
C1.0/2.0/3.0	Boundaries of Abutting land	X			
C1.0/2.0	Show Setbacks, Yards and Buffers	X			
NA	Airport Area of Influence (Auburn only)	NA			
C2.0	Parking Space Calcs	X			
C2.0	Drive Openings/Locations	X			
C1.0/2.0	Subdivision Restrictions	X			
C2.0	Proposed Use	X			
	PB/BOA/Other Restrictions				
	Fire Department Review				
C2.0	Open Space/Lot Coverage	X			
C1.0	Lot Layout (Lewiston only)	X			
C1.0	Existing Building (s)	X			
C1.0	Existing Streets, etc.	X			
C1.0	Existing Driveways, etc.	X			
C2.0	Proposed Building(s)	X			
C2.0	Proposed Driveways	X			
Landscape Plan					
L1.0	Greenspace Requirements	X			

L1.0	Setbacks to Parking	X			
L1.0	Buffer Requirements	X			
L1.0	Street Tree Requirements	X			
L1.0	Screened Dumpsters	X			
L1.0	Additional Design Guidelines	X			
L1.0	Planting Schedule	X			
Stormwater & Erosion Control Plan					
	Compliance w/ chapter 500	X			
C1.0	Show Existing Surface Drainage	X			
C1.0	Direction of Flow	X			
C1.0	Location of Catch Basins, etc.	X			
	Drainage Calculations				
C3.0	Erosion Control Measures	X			
	Maine Construction General Permit	NA			
	Bonding and Inspection Fees	TBD			
	Post-Construction Stormwater Plan	X			
	Inspection/monitoring requirements	X			
	Third Party Inspections (Lewiston only)	TBD			
Lighting Plan					
	Full cut-off fixtures	X			
	Meets Parking Lot Requirements	X			
Traffic Information					
	Access Management	X			
	Signage	X			
	PCE - Trips in Peak Hour	X			
	Vehicular Movements	X			
	Safety Concerns	X			
	Pedestrian Circulation	X			
	Police Traffic				
	Engineering Traffic				
Utility Plan					
C2.0	Water				
Ability to Serve Letter	Adequacy of Water Supply	X			
	Water main extension agreement				
Ability to Serve Letter	Sewer	X			
	Available city capacity				
C2.0	Electric	X			
C2.0	Natural Gas	X			
C2.0	Cable/Phone	X			
Natural Resources					
NA	Shoreland Zone				
NA	Flood Plain				
NA	Wetlands or Streams				
NA	Urban Impaired Stream				

NA	Phosphorus Check				
NA	Aquifer/Groundwater Protection				
NA	Applicable State Permits				
NA	No Name Pond Watershed (Lewiston only)				
NA	Lake Auburn Watershed (Auburn only)				
NA	Taylor Pond Watershed (Auburn only)				
Right Title or Interest		To be provided			
	Verify	NA			
	Document Existing Easements, Covenants, etc.				
Technical & Financial Capacity					
	Cost Est./Financial Capacity				
	Performance Guarantee				
State Subdivision Law					
	Verify/Check	X			
	Covenants/Deed Restrictions				
	Offers of Conveyance to City				
	Association Documents				
	Location of Proposed Streets & Sidewalks				
	Proposed Lot Lines, etc.				
	Data to Determine Lots, etc.				
	Subdivision Lots/Blocks				
	Specified Dedication of Land				
Additional Subdivision Standards					
	Single-Family Cluster (Lewiston only)				
	Multi-Unit Residential Development (Lewiston only)				
	Mobile Home Parks				
	Private Commercial or Industrial Subdivisions (Lewiston only)				
	PUD (Auburn only)				
A jpeg or pdf of the proposed site plan					
Final sets of the approved plans shall be submitted digitally to the City, on a CD or DVD, in AutoCAD format R 14 or greater, along with PDF images of the plans for archiving					

TABLE OF CONTENTS

SECTION A – Utilization of the site
SECTION B – Traffic movement into and out of the development area
SECTION C – Access into the site
SECTION D – Internal vehicular circulation
SECTION E – Pedestrian circulation
SECTION F – Stormwater management
SECTION G – Erosion Control
SECTION H – Water supply
SECTION I – Sewage disposal
SECTION J – Utilities
SECTION K – Natural features
SECTION L – Groundwater protection
SECTION M – Water and air pollution
SECTION N – Exterior lighting
SECTION O – Waste disposal
SECTION P – Lot layout
SECTION Q – Landscaping
SECTION R – Shoreland relationship
SECTION S – Open Space
SECTION T – Technical and financial capacity
SECTION U – Buffering
SECTION V – Compliance with district regulations
SECTION W – Design consistent with performance standards
SECTION X – Coordination with state subdivision law

SECTION A – Utilization of the site

The proposed project consists of the development of a 30-unit multi-family affordable housing apartment building in an area where previous apartment buildings were recently destroyed by fire. The proposed four-story apartment building will fit harmoniously into the surrounding area as the building style will be similar to the existing abutting building (i.e. four-story building with flat roof). The building will be located on the western upgradient portion of the site, with parking located on the eastern downgradient portion of the site, thereby maintaining the existing drainage patterns on the site. The project will also include the development of a landscaped common area encompassing one entire 5,000 square foot parcel.

There are no environmentally sensitive areas or unique natural features located within the site as it was previously entirely developed with housing and parking and minimal landscaped areas. The proposed development will result in a net decrease in impervious area across the site of approximately 29%, thereby improving the environmental and visual quality of the site.

SECTION B – Traffic movement into and out of the development area

The proposed building will be located with the primary entrances to the building on Pierce Street. Vehicular access will be provided via a new parking lot with entrances from Bartlett Street. Because there will be a net decrease in the total number of apartment units located on these lots, the peak hour trips generated will decrease from the pre-development condition. Bartlett Street and surrounding roads have adequate capacity for the proposed traffic. Based on this information, there will not be any adverse impacts to the existing level of service of Pierce and Bartlett Streets.

SECTION C – Access into the site

The project is located between Bartlett and Pierce Streets. Two vehicular access/egress points will be located on Bartlett Street. There will be no vehicular access from Pierce Street. Grades into and out of the parking lot meet the City of Lewiston standards. Adequate sight distance is provided in both directions on Bartlett Street.

SECTION D – Internal vehicular circulation

Vehicles expected to utilize the parking lot are primarily passenger vehicles of tenants, guests, and maintenance staff. The largest vehicles expected to enter and exit the site are trash collection trucks. Minimum aisle widths of 24 feet have been provided within the parking lot, which will be adequate for the turning movements of both passenger vehicles and trash trucks. Given the proposed layout, all vehicles exiting the facility will be able to enter Bartlett Street without backing.

SECTION E – Pedestrian circulation

Pedestrian access to the site will be provided from both Bartlett Street and Pierce Street sidewalks. The portion of street sidewalks within the right-of-ways adjacent to the project will be reconstructed to the City of Lewiston Standards.

SECTION F – Stormwater management

Stormwater runoff rates were analyzed for both the pre and post-development conditions. The proposed project will reduce the total impervious area for the site by approximately 30%. The reduction in impervious area will allow for greater infiltration and a reduction in post-development peak flow rates.

Please refer to the attached report entitled “Stormwater Drainage Plan, Lewiston Affordable Housing” dated August 29, 2013.



918 Brighton Avenue | Portland, Maine 04102

Stormwater Drainage Plan
Lewiston Affordable Housing
August 29, 2013

Project Understanding

Volunteers of America Northern New England (VOANNE, the Applicant), has retained Walsh Engineering Associates, Inc. (WEA) to prepare a Stormwater Drainage Plan for the development of a 30-unit multi-family residential apartment complex located on Bartlett and Pierce Streets in Lewiston, Maine in accordance with Section 27-1536 of the City Zoning Ordinance.

Pre Development Conditions

The applicant is proposing to construct a 30-unit multi-family affordable housing apartment complex with a footprint of approximately 10,380 square feet located on the following parcels:

- 139 Bartlett Street - Map 196/ Lot128
- 145 Bartlett Street – Map 196/ Lot 126
- 149 Bartlett Street – Map 196/ Lot 125
- 155 Bartlett Street – Map 196 / Lot 124
- 110 Pierce Street – Map 196/ Lot 108
- 114 Pierce Street – Map 196/ Lot 109
- 116 Pierce Street – Map 196/ Lot 110
- 122 Pierce Street – Map 196/ Lot 111

The existing parcels are located in a residential neighborhood. Seven of the lots contained buildings that were recently damaged by fire. The remaining lot (145 Bartlett) contained a paved parking lot. Five of the fire damaged buildings have been removed. Prior to removal of the buildings the lots contained primarily impervious ground cover of buildings and paved parking areas and walkways. Approximately 25,837 square feet of area drains toward Bartlett Street, of which 23,512 square feet is impervious. Approximately 14,163 square feet of area drain toward Pierce Street, of which 13,262 square feet is impervious. The total impervious coverage of the lots prior to demolition was approximately 92%.

According to the NRCS Medium Intensity Soil Survey for Androscoggin County, soils at the site consist of Made Land (Md), which is classified as hydrologic soil group (HSG) C.

The Bartlett Street parcels and the eastern half of the Pierce Street parcels slope towards Bartlett Street at approximately 3%. The western half of the Pierce Street parcels slope toward Pierce Street at approximately 3%. Stormwater runoff is collected in the municipal stormwater collection system in Bartlett and Pierce Streets. Separate stormwater and sanitary collection is provided in both streets.

Post Development Conditions

The proposed multi-family apartment complex will consist of a four-story building with a footprint of approximately 10,380 square feet, a 37 space parking lot, and a common area, and associated landscaping. Runoff from the parking lot, common area, and landscaped area east of the building will be collected in catch basins and directed to the municipal stormwater collection system in Bartlett Street. Runoff from the roof and the western side of the building will be collected in roof drains and catch basins and directed to the stormwater collection system in Pierce Street.

The total impervious area in the developed condition will be approximately 25,370 square feet, which is a reduction of approximately 11,404 square feet (29%) from the existing condition.

The total disturbed area will be contained to the extents of the subject properties, which totals 40,000 square feet. Therefore, no permits from the Maine DEP are required for the project.

Stormwater Quantity

Pre and post development stormwater quantity analysis was performed using HydroCAD v.9.10 stormwater modeling software to determine the pre and post development flow rates contributing to the Pierce and Bartlett Street stormwater collection systems. The analysis was performed using the 25-year 24 hour storm event (5.4 inches) with Type III distribution for Androscoggin County. Peak flow rates from the project site contributing to the stormwater collection system in each street are summarized in the table below.

Table 1 Peak Stormwater Runoff Rates from Project Site (c.f.s)		
25-Year Storm	Pre Development	Post Development
Bartlett Street	3.2	2.9
Pierce Street	1.7	1.6

As shown in Table 1, the post development runoff rates from the site directed to each street have been reduced from the pre development condition. Therefore, no adverse effects to downgradient drainage systems are anticipated as a result of the proposed development.

Pre and post development drainage plans and HydroCAD analysis are included in Appendix A.

Erosion and Sedimentation Control

Temporary erosion and sedimentation control measures shall include installation of silt fence on downgradient portions of the construction site, mulching, temporary seeding, installation of catch basin inlet protection, and installation of a construction entrance at the proposed driveway location. If sediment is tracked onto Bartlett and/or Pierce Streets, it will be swept up at the end of each working day.

Permanent erosion and sedimentation control measures shall include stabilization techniques such as bituminous pavement and permanent vegetation. For more detailed information

regarding erosion and sedimentation control measures, see the Erosion and Sedimentation Control Plan included in Section G of this application.

Conclusions

The proposed development has been designed to manage stormwater runoff while maintaining existing drainage patterns at the site. The stormwater management plan will not significantly affect offsite drainage systems. The proposed stormwater management system meets the requirements of the City of Lewiston Zoning Ordinance.

Respectfully,

A handwritten signature in cursive script, reading "William R. Walsh, III".

William R. Walsh, III, PE
Walsh Engineering Associates, Inc.

Enc. Appendix A: Pre and Post Development Drainage Plans
Pre and Post Development HydroCAD Analysis

SECTION G – Erosion Control

Erosion control for the site will utilize the State of Maine Erosion & Sediment Control BMPs. Construction of the project will utilize practices of a construction entrance, catch basin inlet protection, and dust control. These measures will limit the transport of sediment from the site.

Refer to the attached plan entitled “Erosion & Sedimentation Control Plan for Lewiston Affordable Housing,” dated August 29, 2013.



918 Brighton Avenue | Portland, Maine 04102

EROSION AND SEDIMENTATION CONTROL PLAN
for
Lewiston Affordable Housing
at
Bartlett & Pierce Street
Lewiston, Maine
August 29, 2013

INTRODUCTION

The following plan for controlling sedimentation and erosion in this project is based on conservation practices found in the Maine Erosion & Sediment Control BMPS Manual, Maine Department of Environmental Protection, March 2003, or latest edition. The contractor who implements this plan shall be familiar with this publication and adhere to it and the practices presented herein.

The existing project site is situated on a 40,000 square foot parcel of land consisting of buildings, pavement, and lawn areas. The existing impervious area is 92%.

The proposed site improvements include the construction of a 30-unit apartment complex with a building footprint and parking area encompassing 25,500 ± square feet, landscaping, and installation of utilities and stormwater management amenities.

Reference is made to the erosion control plans included with the plan set, showing the locations and types of proposed measures contained in this report.

GENERAL EROSION AND SEDIMENTATION CONTROL PRACTICES

The following is a list of general erosion control practices that will be used to prevent erosion and sedimentation before, during and after the construction of this project. In addition, special care shall be used at all times to:

- 1) Limit disturbance and, hence, erosion
- 2) Correct any erosion problems immediately
- 3) Regularly monitor the implemented practices, especially after every rainfall
- 4) Revegetate disturbed areas as soon as possible after construction
- 5) Conform to all requirements/standards of the site's Maine DEP Erosion & Sediment Control BMP Manual.

Silt Fence

As noted on the plans, silt fence shall be installed on the downgradient portions of the site.

Catch Basin/Field Inlet Protection

A silt sack sediment barrier, or approved equal, shall be installed at the existing and proposed catch basins/field inlets as shown on the plans.

Construction Entrance

A crushed stone construction entrance shall be installed where the construction equipment will be entering Main Street. The location and specifications for the entrance are noted on the plans and details.

CONSTRUCTION PHASE

The following general practices will be implemented to prevent erosion during construction on this project:

1. Only those areas under active construction will be cleared and left in an untreated or unvegetated condition. Once construction of an area is complete, final grading, loaming and seeding shall occur immediately (refer to "Post Construction Revegetation" section). If during final grading, loaming and seeding can not occur immediately, it shall be done prior to any storm event and within 15 days of completing construction in the area. If final grading, loaming and seeding cannot occur within 15 days, or if the area is not under active construction for a period longer than 15 days, see Item No. 4 below.
2. Prior to the start of construction in a specific area, silt fencing shall be installed on downgradient portions of the site as located on the plans to protect against any construction related erosion. In addition, immediately following construction of catch basins/field inlets, install silt sack sediment barriers, or approved equal, as shown on the plans.
3. Topsoil will be stockpiled when necessary in areas which have minimum potential for erosion and will be kept as far as possible from existing drainage areas and wetlands. All stockpiles expected to remain longer than 15 days shall be :
 - A. Treated with anchored mulch (within 5 days of the last deposit of stockpiled soil).
 - B. Seeded with conservation mix and mulched immediately.

Stockpiles expected to remain longer than 3 days shall be encircled with haybales or silt fence at the toe of the pile.
4. All disturbed areas expected to remain longer than 15 days shall be:
 - A. Treated with straw at a rate of 70-90 lbs. per 1000 square feet from 4/16 to 10/1, or at a rate of 150-200 lbs. per 1000 square feet from 10/1 to 4/15.
 - B. Seeded with conservation mix of perennial rye grass (1.0 lbs/1000 sq.ft.) and mulched immediately. From 10/1 to 4/15, follow the seeding rates as outlined below in sub-section 4.D. of the "Post Construction Revegetation" section.
 - C. Monitored every two weeks until seeding can occur and remulched as needed to protect slopes.
5. All grading will be held to a maximum 3:1 slope where practical. Greater slopes may be used where the banks are protected with soft armour matting, erosion control matting, or riprap. All slopes will be stabilized with permanent seeding immediately after final grading is complete. (It is understood that immediately means within 5 days of the completion of work. See Post-Construction revegetation for seeding specification.)
6. Construction traffic will be directed over the construction entrance and existing and proposed driveway. Any areas subject to rutting will be stabilized immediately. The crushed stone construction entrance shall be maintained by the addition of more crushed

stone as needed as the voids become filled. Bartlett and Pierce Street shall be swept daily should sediment be tracked onto it.

POST CONSTRUCTION REVEGETATION

The following general practices will be implemented to prevent erosion as soon as an area is ready to undergo final grading:

1. A minimum of 6" of loam will be spread over disturbed areas and graded to a uniform depth and natural appearance.
2. Lawn Areas: "Estate Green" grass seed by Allen, Sterling & Lothrop (Falmouth, Maine), or approved equal.
3. Mulch shall be hay or straw mulches that are dry and free from undesirable seeds and course materials.
 - A. Application rate must be 2 bales (70-90 lbs.) per 1,000 square feet or 1.5 to 2 tons (90-100 bales) per acre to cover 75 to 90% of the ground surface.
 1. Drive over with tracked construction equipment on grades of 5% and less.
 2. Blanket with tacked photodegradable/biodegradable netting on grades greater than 5%.
 - A. Hydro-mulch shall consist of a mixture of asphalt, wood fibre or paper fibre and water, which is sprayed over a seeded area. Hydro-mulch shall not be used between 10/1 and 4/15.
4. Construction shall be planned to eliminate the need for seeding between October 1st and April 15th. Should seeding be necessary between these dates, the following procedure shall be followed:
 - A. Only unfrozen loam shall be used.
 - B. Loaming, seeding and mulching will not be done over snow or ice cover. If snow exists, it must be removed prior to placement of seed.
 - C. Where permanent seeding is necessary, Annual Winter Rye (1.2 lbs/1000 s.f.) shall be sown instead of the previously noted seeding rate.
 - D. Where temporary seeding is required, Annual Winter Rye (2.5 lbs/1000 s.f.) shall be sown instead of the previously noted seeding rate.
 - E. Fertilizing, seeding and mulching shall be done on loam the day the loam is spread.
 - F. Hay mulch shall be secured with photodegradable/biodegradable netting. Tracking by machinery alone will not suffice. Winter mulching rates, as specified above in subsection 5.A. of the "Construction Phase" section, should be applied during this period.

5. Following final seeding, the site will be inspected every 30 days until 80% cover has been established. Reseeding will be carried out by the contractor within 10 days of notification by the design professional that the existing catch is inadequate.

MONITORING SCHEDULE

The contractor shall be responsible for installing, monitoring, maintaining, repairing, replacing and removing all of the erosion and sedimentation controls or appointing a qualified subcontractor to do so.

Maintenance measures will be applied as needed during the entire construction cycle. Immediately following any significant rainfall, and at least once a week, a visual inspection will be made of all erosion and sedimentation controls as follows:

1. Silt fence shall be inspected and repaired. Sediment trapped behind these barriers shall be excavated when it reaches a depth of 6" and redistributed to areas undergoing final grading.
2. Catch basin protections shall be inspected and repaired. Sediment trapped in the silt sack, or other protection, shall be cleaned out when it reaches a depth of 6" and redistributed to areas undergoing final grading.
3. Construction entrance shall be visually inspected and repaired as needed. Any areas subject to rutting shall be stabilized immediately. If the voids of the construction entrance become filled with mud, more crushed stone shall be added as needed. The public roadway shall be swept should mud be deposited/tracked onto them.

STANDARDS FOR STABILIZING SITES FOR THE WINTER

The following standards and methodologies shall be used for stabilizing the site during the winter construction period

1. **Standard for the timely stabilization of disturbed slopes** (Any area having a grade greater than 25%) – The contractor will seed and mulch all slopes to be vegetated by September 15th. If the contractor fails to stabilize any slope to be vegetated by September 15th, then the contractor will take one of the following actions to stabilize the slope for late fall and winter.
 - A. Stabilize the soil with temporary vegetation and erosion control mats – By October 1st the contractor will seed the disturbed slope with winter rye at a rate of 3 pounds per 1000 square feet and then install erosion control mats or anchored hay mulch over the seeding. The contractor will monitor growth of the rye over the next 30 days.
 - B. Stabilize the slope with wood-waste compost – The contractor will place a six-inch layer of wood-waste compost on the slope by November 15th. The contractor will not use wood-waste compost to stabilize slopes having grades greater than 50% (2H:IV) or having groundwater seeps on the slope face.
 - C. Stabilize the slope with stone riprap – The contractor will place a layer of stone riprap on the slope by November 15th. The development's owner will hire a registered professional engineer to determine the stone size needed for stability on the slope and to design a filter layer for underneath the riprap.

2. **Standard for the timely stabilization of disturbed soils** – By September 15th the contractor will seed and mulch all disturbed soils on the site. If the contractor fails to stabilize these soils by this date, then the contractor will take on of the following actions to stabilize the soil for late fall and winter.
 - A. Stabilize the soil with temporary vegetation – By October 1st the contractor will seed the disturbed soil with winter rye at a seeding rate of 3 pounds per 1000 square feet, lightly mulch the seeded soil with hay or straw at 75 pounds per 1000 square feet, and anchor the mulch with plastic netting. The contractor will monitor growth of the rye over the next 30 days. If the rye fails to grow at least three inches or fails to cover at least 75% of the disturbed soil before November, 1, then the contractor will mulch the area for over-winter protection as described in item iii of this standard.
 - B. Stabilize the soil with sod – The contractor will stabilize the disturbed soil with properly installed sod by October 1st. Proper installation includes the contractor pinning the sod onto the soil with wire pins, rolling the sod to guarantee contact between the sod and underlying soil, and watering the sod to promote root growth into the disturbed soil.
 - C. Stabilize the soil with mulch – By November 15th the contractor will mulch the disturbed soil by spreading hay or straw at a rate of at least 150 pounds per 1000 square feet on the area so that no soil is visible through the mulch. Immediately after applying the mulch, the contractor will anchor the mulch with netting or other method to prevent wind from moving the mulch off the disturbed soil

EROSION CONTROL REMOVAL

An area is considered stable if it is paved or if 80% growth of planted seeds is established. Once an area is considered stable, the erosion control measures can be removed as follows:

1. Silt Fence
Silt fence shall be disposed of legally and properly off-site. All sediment trapped behind these controls shall be distributed to an area undergoing final grading or removed and relocated off-site.
2. Catch Basin Inlet Protections
The catch basin/field inlet protections shall be disposed of legally and properly off-site. All sediment trapped in/around/behind these controls shall be removed and relocated off-site or to an area undergoing final grading. The sediment trapped by these devices shall not be regraded locally since they exist in drainage ways.
3. Miscellaneous
Once all the trapped sediments have been removed from the temporary sedimentation devices the disturbed areas must be regraded in an aesthetic manner to conform to the surrounding topography. Once graded these disturbed areas must be loamed (if necessary), fertilized, seeded and mulched in accordance with the rates previously stated.

The above erosion controls must be removed within 30 days of final stabilization of the site.

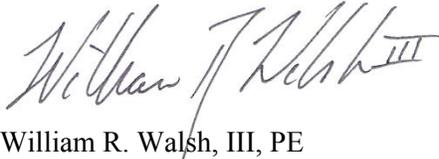
Conformance with this plan and following these practices will result in a project that complies with the State Regulations and the Standards of the Natural Resources Protection Act, and will protect water quality in areas downstream from the project.

ANTICIPATED CONSTRUCTION SCHEDULE

Site improvements will most likely begin in the spring of 2013, depending on final approval. The following schedule is anticipated for the construction of the residential home:

- | | |
|--|-------------------------|
| 1. Estimated Construction Time | 1 Year |
| 2. Erosion Control Measures Installed | Week 1 |
| 3. Site Clearing and Grubbing | Week 1 – Week 3 Month 1 |
| 4. Building Foundation Installation | Month 1 – Month 3 |
| 5. Utility Installation | Month 2 - Month 6 |
| 6. Building Construction | Month 1 – Month 12 |
| 7. Parking Lot Construction | Month 3 – Month 12 |
| 8. Removal of Erosion Control Measures | Month 12 |

Prepared By:



William R. Walsh, III, PE
Walsh Engineering Associates, Inc.

SECTION H – Water supply

Sufficient supply of potable water will be provided by the City of Lewiston Water District. A 3-inch type 'K' copper domestic water service will be provided to the building from Bartlett Street. All work will be in conformance with city utility standards.

Fire suppression supply will be provided by the City of Lewiston Water District. A separate 6" ductile Iron fire suppression service will be provided to the building from Bartlett Street.

According to Ryan Barnes, PE, Project Engineer for the Department of Public Works, the city records indicate residual pressure of between 70 and 80 PSI at Bartlett and Birch Street. This will provide adequate service for the projects fire and domestic water needs. Refer to email dated 8/23/2013 attached.

Amie Chiasson

From: Silas Canavan
Sent: Thursday, August 29, 2013 12:32 PM
To: amie@walsh-eng.com
Subject: FW: Bartlett Street - Utility Information

Silas Canavan, PE
Walsh Engineering Associates, Inc.

918 Brighton Avenue
Portland, ME 04102
P 207.553.9898
www.walsh-eng.com

Confidentiality Statement:

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From: Ryan Barnes [mailto:RBarnes@lewistonmaine.gov]
Sent: Friday, August 23, 2013 1:02 PM
To: bill@walsh-eng.com
Cc: Silas Canavan (silas@walsh-eng.com); Richard Burnham; Kevin Gagne; Jeff Beaulé; David Hediger
Subject: Bartlett Street - Utility Information

Bill,

I looked into our records regarding the utilities in Pierce and Bartlett Street that you requested for your project. Our model indicate between 70 and 80 psi for residual pressure at the intersection of Bartlett Street and Birch Street, and the existing sewer main on Bartlett Street is a 12" ACP main scheduled to be lined next year, which should have adequate capacity to handle the additional flow from your development.

I have taken a quick look through the plans and overall it will be great improvement to the area, LPW will have a few minor comments after we have looked through the plans in more detail, which we will get out early next week.

If your drainage assessment is completed early next week I would be happy to review it before I go on vacation on Thursday.

Thanks,

Ryan Barnes, PE, CPESC
Project Engineer, Department of Public Works
City of Lewiston, All-America City, 2007
103 Adams Ave.
Lewiston, ME 04240
207.513.3003, Ext. 3422
Fax: 207.784.5647
rbarnes@lewistonmaine.gov
<http://www.ci.lewiston.me.us>
TDD/TTY 207.513.3007

SECTION I - Sewage disposal

An 8-inch SDR 35 PVC sanitary sewer service will be provided to the building from the municipal sewage collection system in Bartlett Street. The connection to the existing sewer main will be made with an 8-inch 'Interta-Tee' connection into the 12" ACP main. Ryan Barnes, PE, Project Engineer for the Public Works Department has indicated there is sufficient capacity for the proposed project via email dated 8/23/2013 attached. The sewer service will be installed per the City of Lewiston standards.

Amie Chiasson

From: Silas Canavan
Sent: Thursday, August 29, 2013 12:32 PM
To: amie@walsh-eng.com
Subject: FW: Bartlett Street - Utility Information

Silas Canavan, PE
Walsh Engineering Associates, Inc.

918 Brighton Avenue
Portland, ME 04102
P 207.553.9898
www.walsh-eng.com

Confidentiality Statement:

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From: Ryan Barnes [mailto:RBarnes@lewistonmaine.gov]
Sent: Friday, August 23, 2013 1:02 PM
To: bill@walsh-eng.com
Cc: Silas Canavan (silas@walsh-eng.com); Richard Burnham; Kevin Gagne; Jeff Beaulé; David Hediger
Subject: Bartlett Street - Utility Information

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If your drainage assessment is completed early next week I would be happy to review it before I go on vacation on Thursday.

Thanks,

Ryan Barnes, PE, CPESC
Project Engineer, Department of Public Works
City of Lewiston, All-America City, 2007
103 Adams Ave.
Lewiston, ME 04240
207.513.3003, Ext. 3422
Fax: 207.784.5647
rbarnes@lewistonmaine.gov
<http://www.ci.lewiston.me.us>
TDD/TTY 207.513.3007

SECTION J - Utilities

Electrical

Electrical service will be provided by Central Maine Power. An underground 3-phase electrical service will be provided from the utility pole across Bartlett Street from the proposed parking lot. The primary service will be connected to a transformer located near the southwestern corner of the parking lot. An "Ability to Serve" letter from CMP is included in this section.

Communication services (telephone, internet, and cable television) will be provided by the local providers in the vicinity of the project. Coordination with these utilities has not been completed at this time.

Gas

Natural gas service will be brought to the project from the existing mains on Bartlett. Refer the attached letter from Unitil.



August 16, 2013

Silas Canavan
Walsh Engineering Associates, Inc.
918 Brighton Ave
Portland, Maine 04102

Subject: Request for "Letter of Ability to Serve" for Lewiston Affordable Housing in Lewiston, Maine

Dear Silas;

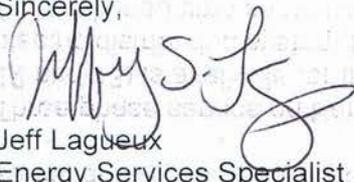
Thank you for contacting Central Maine Power Company (CMP) to inquire about the Bartlett Street location you are studying for Lewiston Affordable Housing. The purpose of this communication is to acknowledge receipt of your August 05, 2013 message requesting ability to serve for the site referenced above.

Three phase service on Bartlett Street, Walnut Street and a portion of Pierce Street (CMP pole 12 and 13) is available for this proposed development. As you may know, extension of the electric distribution system is subject to the terms of CMP's current power line extension policy. As much lead time as you can reasonably provide to me before the project breaks ground is always very much appreciated.

All underground high voltage power line extensions require a site plan with GPS coordinates indicated on the four corners of the plot. Upon completion of load analysis and site plan review, CMP Engineering will issue a construction drawing for your service. The release of the construction drawing initiates the construction cost design process. When this process is completed, a construction cost invoice will be provided to the customer or customer's agent. The customer is responsible for the total cost of three phase construction. This invoice will be valid for 90 days. I hope this information will be helpful with your planning.

In the meantime, please contact me if you have any more questions. I can be reached at 207-753-3451. I look forward to hearing from you soon.

Sincerely,



Jeff Lagbeux
Energy Services Specialist

740 Main Street, Lewiston, ME 04240
Telephone 800.750.4000, Fax 207.753.3167





August 19, 2013

Ms. Amie Chiasson
Walsh Engineering Associates
918 Brighton Avenue
Portland, ME 04103

Re: Bartlett & Pierce Street, Lewiston Maine

Dear Ms. Amie:

Thank you for your interest in using natural gas for the above referenced project.

Unitil has natural gas in the vicinity of this project to provide service. Both Bartlett and Pierce currently have a 2" plastic inserted main on intermediate pressure. The evaluation to complete the design, costs and determining if any customer contribution will be needed. Unitil welcomes the opportunity for further discussions regarding this project.

If you have any further questions or require additional information, please contact me directly at (207) 541-2536 or at Mathers@unitil.com.

Sincerely,

Bridget L. Mathers
Business Development Representative
Unitil Corporation
(o) 207-541-2536 (f) 207-541-2586

ME GAS CUSTOMER ENERGY SOLUTIONS
1075 Forest Avenue
Portland, ME 04103-3586

T 888-486-4845 www.unitil.com

SECTION K – Natural features

There are no existing natural features within the site boundary. The proposed development will result in a net decrease in impervious area across the site of approximately 29%. As well, portions of the site will be dedicated open space park/playground which will include some plantings and green space, thereby adding green space to the neighborhood.

SECTION L – Groundwater protection

The proposed project is not anticipated to have an impact on groundwater conditions.

SECTION M - Water and air pollution

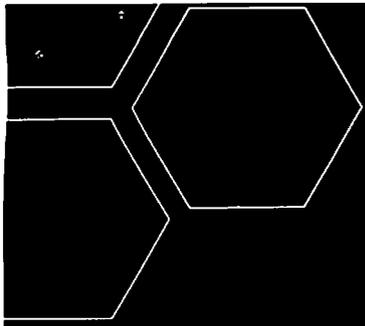
The proposed project will decrease the amount of impervious area and reduce the runoff from the site, and increasing infiltration thereby improving water quality. The proposed building will utilize high efficiency gas boilers, thereby reducing the air emissions from the pre-development conditions.

SECTION N – Exterior lighting

Exterior lighting will be provided as follows:

- All entrances will have canopy lighting.
- Internal sidewalks, east of the proposed building will utilize 3; 12-ft pole mounted, LED, full cutoff, high efficiency lights.
- Parking lot will be lighted using 4; 20' pole mounted, LED, full cutoff, high efficiency lights.

The lighting plan proposed will provide adequate lighting for the safety of the residents.

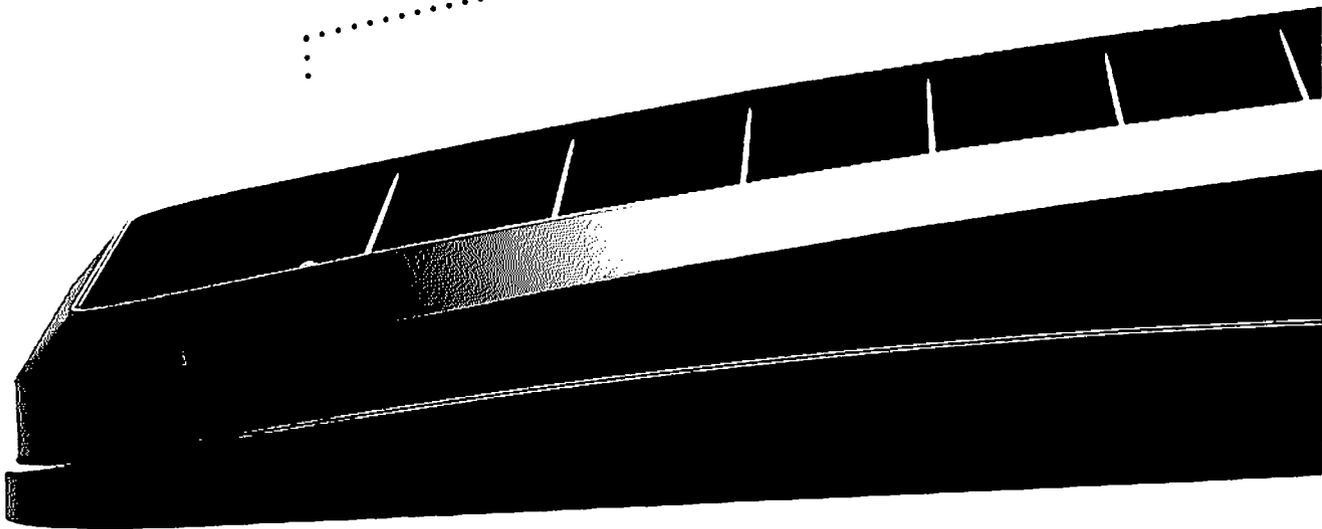


VIPER

LED ROADWAY LIGHTING

I INTEGRATED HEAT DISSIPATION

The Viper LED lighting system from BEACON PRODUCTS offers a low-profile, ultimate solution in pathway, roadway, and parking applications. With its contemporary-streamlined design, it leads the industry with a unique visual appearance that is sure to complement both new and existing architecture.



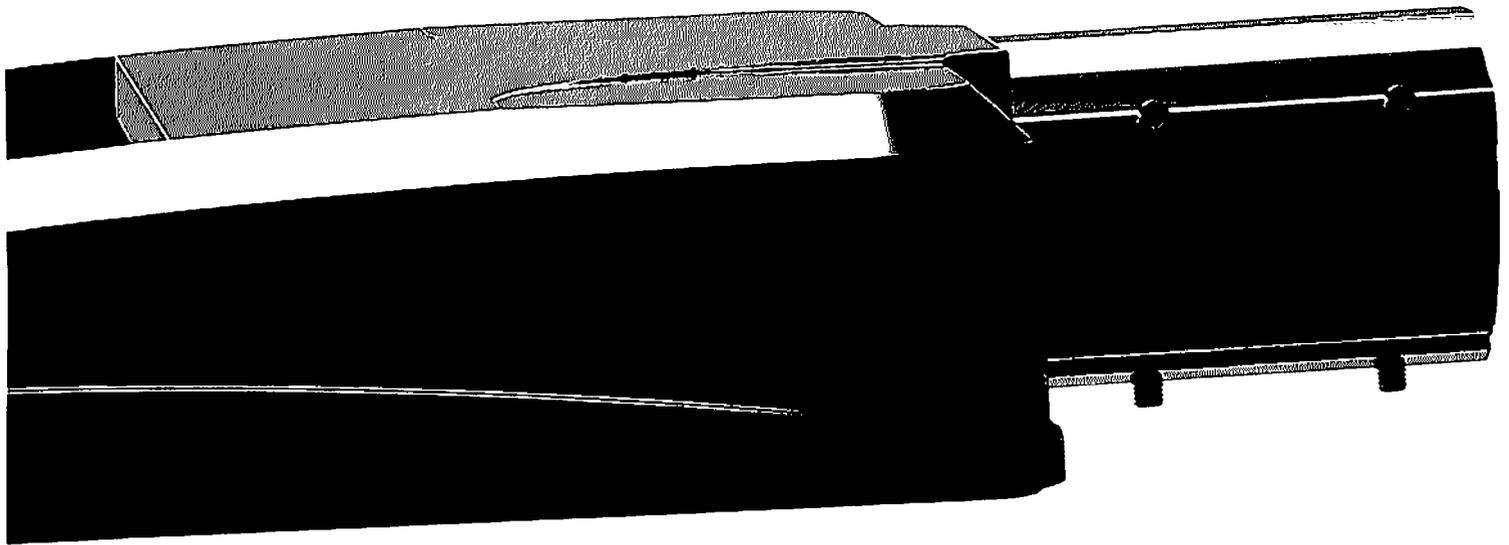
A AERODYNAMIC BODY

The clean design generates a universal appearance that will compliment today's and yesterday's architectural styles. Aesthetically pleasing style ensures a low EPA of 1ft² for the large Viper and 0.67ft² for the small Viper.

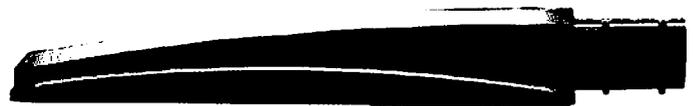
- › *Contributes to a 'Green' environment thru power savings*
- › *Contemporary & Elegant Design*
- › *103 lu/w efficiency*
- › *2 sizes (VP-S and VP-L) offer a TOTAL appearance in all applications*
- › *9 wattages from 50W up thru 280W of LED efficiency*
- › *6 lighting distributions puts light where it is needed, not wasted*
- › *LifesShield™ thermal circuit protection insures optimum LED performance*
- › *5 mounting options*

The Viper's unique design offers an added advantage in thermal management thereby providing even longer life of the high wattage LED configurations while its unique visual appearance is sure to complement the both new and existing architecture.

This Viper is THE cutting edge in LED style, performance and technology.



Large Viper (VP-L)
shown with 2" slip fitter (SF2) option



Small Viper (VP-S)
shown with 2" slip fitter (SF2) option



SECTION 0 – Waste disposal

Solid waste generated during construction activities will be disposed by the Contractor at a licensed facility.

The Owner will contract with a waste disposal company for the routine collection of trash and recycled materials generated by tenants. An interior space will be provided for tenants to dispose of trash and recycling. An exterior dumpster is provided for the accumulation of waste between scheduled collection times.

No hazardous waste is anticipated to be generated during construction or during site operations.

SECTION P – Lot layout

See attached plans for site layout.

In general, the building has been situated to as to provide the primary access points from Pierce Street entrances as required by the design standards. Parking for 37 cars has been provided easterly of the facility for the residents. Open space for the tenants will be provided on lot 139 Bartlett Street. A passive recreation and park area will utilize landscape plantings, a walkway, and bench seating. The landscaped common area will consist of the entire 5,000 square-foot lot located at 139 Bartlett Street.

SECTION Q – Landscaping

The focus of the landscape design is on incorporating tree plantings wherever space allows. These plantings are used to: define the edge of the project site, provide shade along the walks and parking areas, separate/buffer the residential building from the parking area. A foundation shrub planting is proposed around the building to soften the building geometry and provide a transition from architecture to ground. Planted islands at the parking lot entrance are proposed to separate the walk from the parking area and to soften the parking area appearance.

A seating area (bench & shrubs) has been incorporated into the walk at the northern building entrance on the Bartlett Street side. A loop walk with seating and large shade trees is proposed for the park space. A shrub border is proposed along the park's rear boundary with intermittent shrub beds located along the sides.

See attached L1.0 Landscape & Lighting Plan.

SECTION R – Shoreland relationship

The project is not located near the shoreline or within the Shoreland Zone.

SECTION S – Open Space

A 5,000 square foot common space will be provided on lot 139 Bartlett Street. The open space will consist of landscaped park area.

A loop walk with seating, shrub beds and large shade trees is proposed for the park space. The shrub border is proposed along the rear boundary with intermittent shrub beds located along the sides. The trees will provide shade and interest while at the same time allow visitors & public safety officials to look into the park from the street.

SECTION T – Technical and financial capacity

The Applicant Volunteers of American Northern New England (VOANNE) is a leading non-profit organization that provides quality affordable housing throughout northern New England. VOANNE is one of the 38 affiliates of Volunteers of America throughout the country that has helped more than 2 million people in 44 states and over 8,000 people annually in Maine. VOANNE works diligently and is committed to help those that need it most, dedicated to empowering their residents and helping to bring together the community resources to create safe, comfortable homes. VOANNE has developed projects throughout the state that include affordable senior housing, veterans housing and behavioral health housing. In northern New England, VOANNE has 160 paid staff and over 400 volunteers that carry out their mission of service.

Funding for the project will be obtained following the preliminary approval from the City of Lewiston Planning Board. Evidence of sufficient financial resources will be provided to the City following preliminary approval by the Planning Board, but prior to Final Approval.

Civil Engineering for the project will be provided by Walsh Engineering Associates, Inc. (WEA) of Portland, Maine. WEA is a well-established professionally licensed engineering firm with many years of experience designing and permitting construction projects in the state of Maine.

Architectural design for the project is provided by Robert Foster of R.J.F. Architects of Portland, Maine. R.J.F. Architects is a well-established professionally licensed architecture firm with many years of experience designing and permitting construction projects in the state of Maine.

SECTION U – Buffering

The project is located within a residential section of the City and surrounded by residential uses on all sides. Although buffering is not required in this zone, the design will utilize a landscaping plan that will add vegetation and green space to the neighborhood.

SECTION V – Compliance with district regulations

The project has been designed in accordance with the regulations of the Downtown Residential Zone standards, with the following exceptions:

Parking:

The City ordinance requires that 59 parking spaces are provided based on the number and size of the proposed apartments (see parking requirements on sheet C2.0). The applicant is requesting a waiver of this requirement from the City and will provide 37 parking spaces for the project. The space available for development only allows for a 37 space parking lot, which provides at least one space per apartment. In addition, sufficient parking is available on both Pierce and Bartlett Streets if additional parking is required for tenants and guests.

SECTION W – Design consistent with performance standards

The project has been designed in accordance with the performance standards set forth in the City of Lewiston Land Use Ordinance.

SECTION X – Coordination with state subdivision law

1. The project will not cause undue water or air pollution. See section M above.
2. The project will be provided with a sufficient water supply. See section H above.
3. The project will not cause unreasonable burden on the existing water supply. See section H above
4. The project will not cause unreasonable soil erosion. See section G above.
5. The project will not cause unreasonable road congestion. See sections B – D above.
6. The project will be provided with adequate sewage disposal. See section I above.
7. The project will not adversely affect the existing sewage collection system. See section I above.
8. The project will not adversely affect the scenic or natural beauty of the area. See section K above.
9. The project is in conformance with the City Land Use Ordinance.
10. The Owner has adequate financial and technical capacity. See section T above.
11. The project is not located within the Shoreland Zone.
12. The project will not adversely affect groundwater conditions. See section L above.
13. The project is not located within a 100-year flood zone.
14. The project will not have an adverse impact on solar access to adjacent parcels as the building style will be similar to the existing buildings in the vicinity.

PLAN REFERENCES:

- EXISTING CONDITIONS SHOWN HEREON ARE BASED ON A COMPILATION OF THE FOLLOWING INFORMATION:
 - CITY OF LEWISTON GIS INFORMATION
 - CITY OF LEWISTON AERIAL PHOTOGRAPHY (2006)
 - GOOGLE MAP AERIAL PHOTOGRAPH AND STREET VIEW
 - PIERCE STREET AND BARTLETT STREET AS-BUILT PROFILES PROVIDED BY THE CITY OF LEWISTON (1973 & 1974)
- PROPERTY LINES SHOWN HEREON ARE APPROXIMATE BASED ON CITY GIS INFORMATION. A BOUNDARY SURVEY HAS NOT BEEN COMPLETED.
- ALL ELEVATIONS SHOWN ARE APPROXIMATE BASED ON THE FOLLOWING:
 - CONTOUR ELEVATIONS ARE BASED ON PUBLICLY AVAILABLE LIDAR TOPOGRAPHY ADJUSTED TO NGVD 29.
 - UTILITY ELEVATIONS ARE BASED ON CITY AS-BUILT DRAWINGS ADJUSTED TO APPROXIMATELY NGVD 29.

PARCEL INFORMATION:

- STREET ADDRESSES: 139, 145, 149 & 155 BARTLETT STREET
110, 114, 116 & 122 PIERCE STREET
- PARCELS SHOWN HEREON IS TOWN OF LEWISTON TAX MAP/LOT - OWNER:
BARTLETT STREET - MAP 196/LOT 128 - LAURENCE SMITH, MAP 196/LOT 126, 125 - ST LAURENT HOUSING ASSOCIATES
PIERCE STREET - MAP 196/LOT 124 - L J M, LLC
PIERCE STREET - MAP 196/LOT 108, 109 - ST LAURENT HOUSING ASSOCIATES,
MAP 196/LOT 110 - GILBERT DENIS L,
MAP 196/LOT 111 - BERENYL FRANK
- TOTAL AREA OF PARCEL: 40,000 SF
- CURRENT ZONE: DOWNTOWN RESIDENTIAL (DR)

ZONING + DIMENSIONAL REQUIREMENTS:

THE PROJECT IS LOCATED WITHIN THE DOWNTOWN RESIDENTIAL (DR) ZONE:

- MINIMUM LOT SIZE: 5,000 SF
 - MINIMUM STREET FRONTAGE: 50'
 - MINIMUM LOT SIZE: 5,000 SF
 - MINIMUM DENSITY: 1,250 SF PER UNIT
 - MAXIMUM IMPERVIOUS SURFACE: 75%
 - MINIMUM FRONT LOT SETBACK: NONE (UNLESS ESTABLISHED UNIFORM SETBACK EXISTS)
 - MINIMUM SIDE LOT SETBACK: 10'
 - MINIMUM REAR LOT SETBACK: 10'
 - MAXIMUM BUILDING HEIGHT: 60'
 - RECREATION FACILITIES - 500 SF PER DWELLING UNIT SET ASIDE FOR RECREATION USE
 - PRIVATE OUTDOOR SPACE - OUTDOOR SPACE IMMEDIATELY ADJACENT TO THE UNIT WHERE THE ARCHITECTURE MAKES THIS POSSIBLE
 - STORAGE - 400 CU. FT. OF PRIVATE, LOCKABLE STORAGE SPACE PER UNIT. ALSO MAKE PROVISIONS FOR THE SAFE STORAGE OF ITEMS SUCH AS RECREATIONAL VEHICLES, BOATS, ETC. SCREEN AND LANDSCAPE THESE AREAS.
 - OPEN SPACE - 25% OF THE TOTAL LOT AREA WILL BE SET ASIDE AS OPEN SPACE
- *ZONING STANDARDS FROM CITY OF LEWISTON LAND USE ORDINANCE, AMENDED OCTOBER 5, 2000.

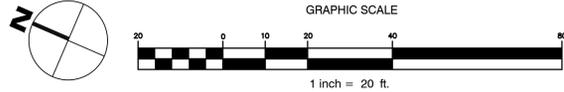
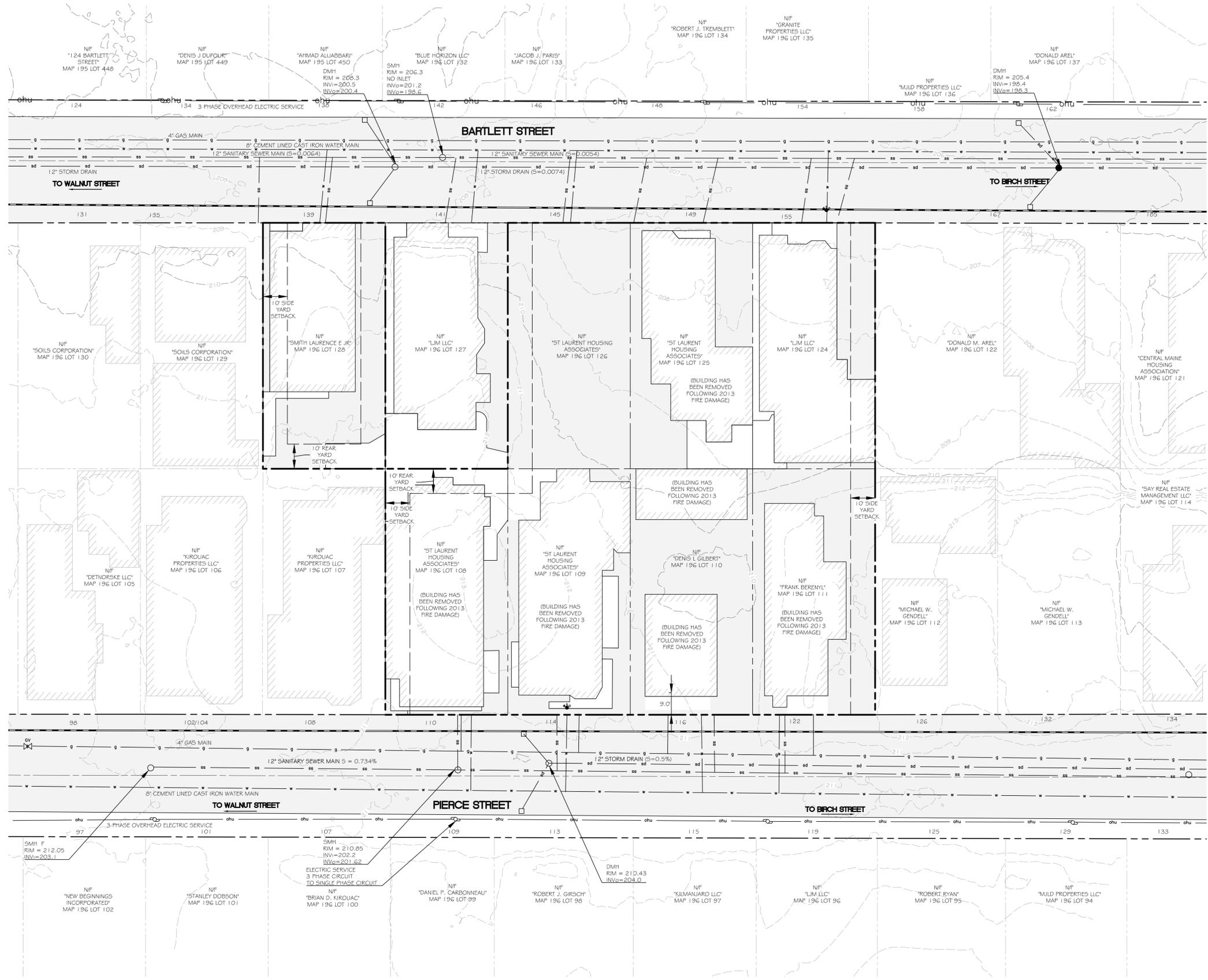
EXISTING IMPERVIOUS AREA CALCULATION

DESCRIPTION	IMPERVIOUS AREA (S.F.)
TOTAL (8 PARCELS)	36,774
TOTAL PARCEL AREA	40,000
PERCENT IMPERVIOUS COVERAGE	91.9%
PERVIOUS AREA	3,226

NOTES:
1. THESE CALCULATIONS/AREAS ARE BASED ON AERIAL PHOTOGRAPHS AND CITY GIS INFORMATION.

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ROAD CENTERLINE
- ABUTTING PROPERTY LINE
- PROPERTY SETBACK LINE
- STORM DRAIN MANHOLE
- STORM DRAIN CATCH BASIN
- STORM DRAIN LINE
- SANITARY SEWER MANHOLE
- SANITARY SEWER LINE
- WATERLINE
- WATER LINE GATE VALVE
- WATER LINE SHUT-OFF VALVE
- GAS LINE
- GAS LINE GATE VALVE
- ELECTRIC LINE
- UTILITY POLE
- OVERHEAD UTILITY
- BUILDING
- EDGE OF PAVEMENT
- INTERMEDIATE CONTOUR
- INDEX CONTOUR
- GRANITE CURB



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STATE OF MAINE
WILLIAM R. WALSH, III
No. 8204
LICENSED PROFESSIONAL ENGINEER
8/29/13

Lewiston Affordable Housing
Bartlett & Pierce Street
Lewiston, Maine

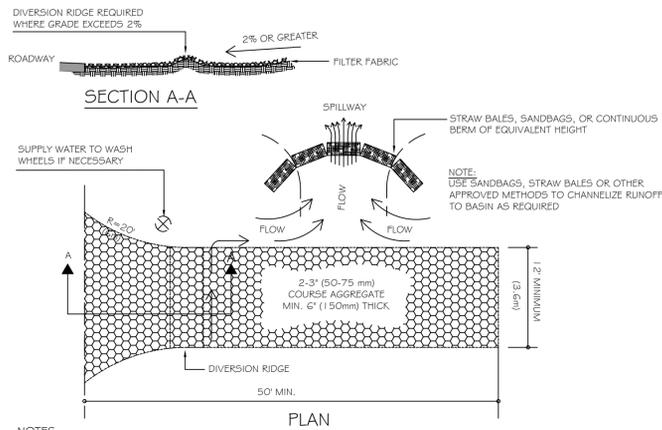
Prepared For:
Volunteers of America Northern New England
14 Maine Street
Brunswick, Maine

Rev.	Date	Description	Drawn	Check

Sheet Title:
Existing Conditions Plan

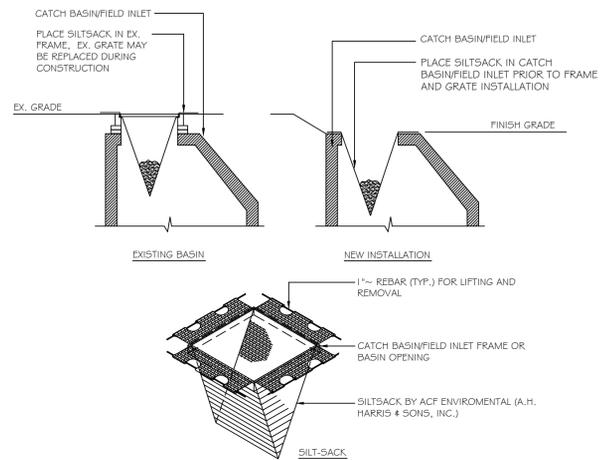
Job No.: 235 Sheet No.: **C1.0**
Date: August 29, 2013
Scale: 1" = 20'
Drawn: AMC
Checked: WRW

FOR PERMITTING ONLY - NOT FOR CONSTRUCTION



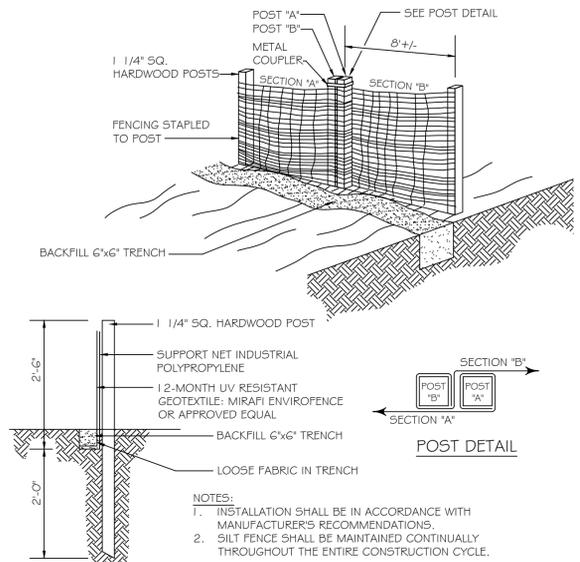
NOTES:
 1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS ONTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

1 CONSTRUCTION ENTRANCE
 C4.0 NOT TO SCALE



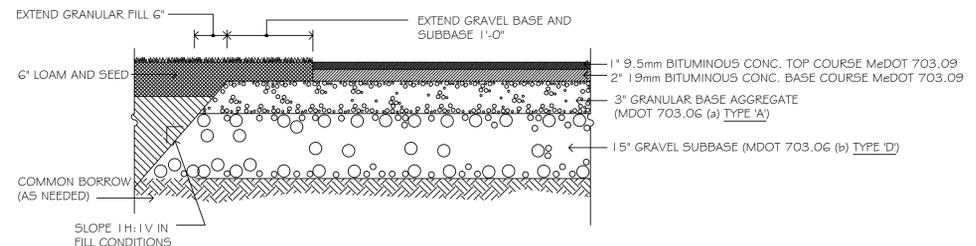
NOTES:
 1. INSTALLATION PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
 2. EMPTY AND REMOVE SEDIMENT FROM SILT-SACK WHEN RESTRAINT CORD IS NO LONGER VISIBLE. CLEAN, RINSE AND REPLACE AS NEEDED.
 3. CONTRACTOR SHALL INSPECT CATCH BASIN PROTECTION AFTER EACH MAJOR STORM EVENT AND CLEAN SILT AS NEEDED.
 4. ROUND SILT-SACKS SHALL BE USED FOR ROUND CATCH BASIN GRATES.

2 CATCH BASIN PROTECTION DETAIL
 C4.0 NOT TO SCALE

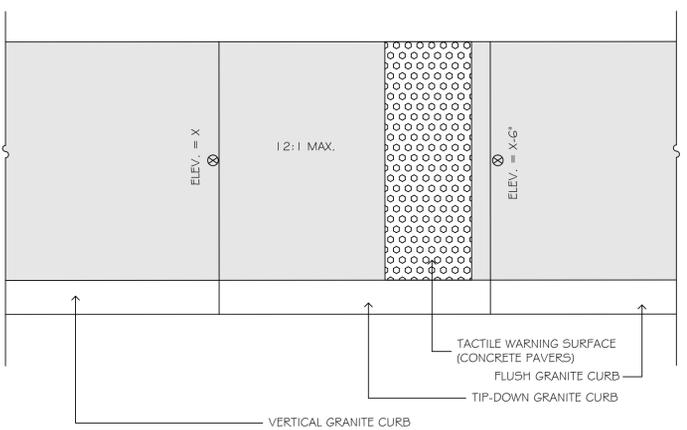


NOTES:
 1. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 2. SILT FENCE SHALL BE MAINTAINED CONTINUALLY THROUGHOUT THE ENTIRE CONSTRUCTION CYCLE.

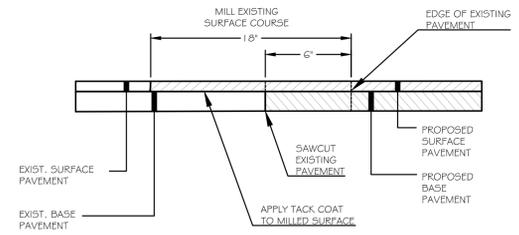
3 PREFABRICATED SILT FENCE
 C4.0 NOT TO SCALE



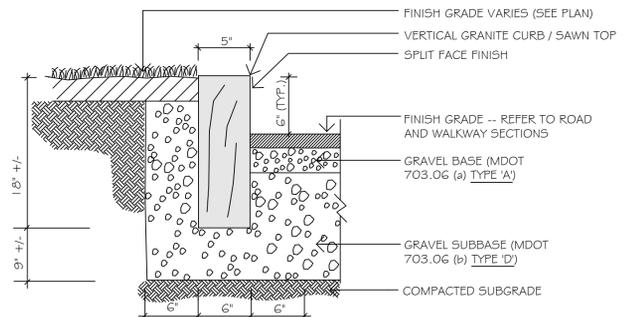
4 PAVEMENT SECTION: PARKING LOT
 C4.0 NOT TO SCALE



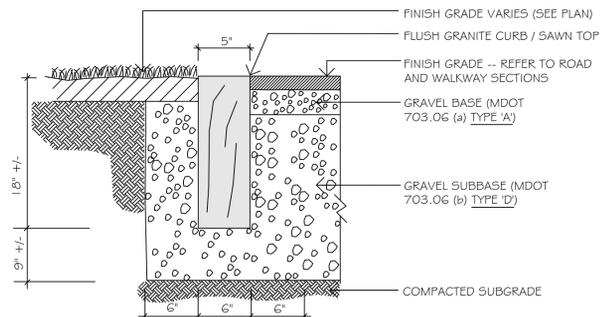
5 A.D.A ACCESSIBLE RAMP
 C4.0 NOT TO SCALE



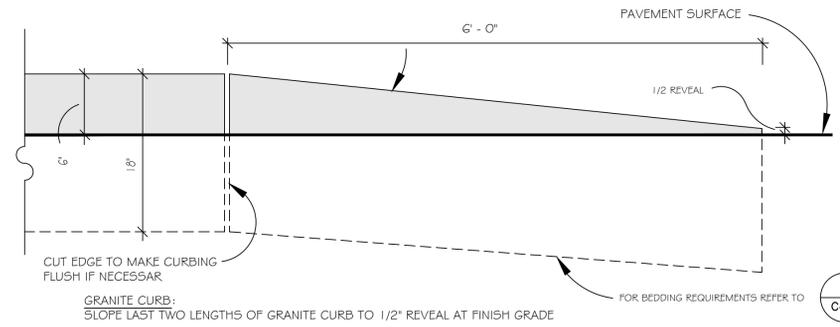
6 HMA PAVEMENT BUTT JOINT DETAIL
 C4.0 NOT TO SCALE



7 VERTICAL GRANITE CURB INSTALLATION (PARKING LOT)
 C4.0 NOT TO SCALE

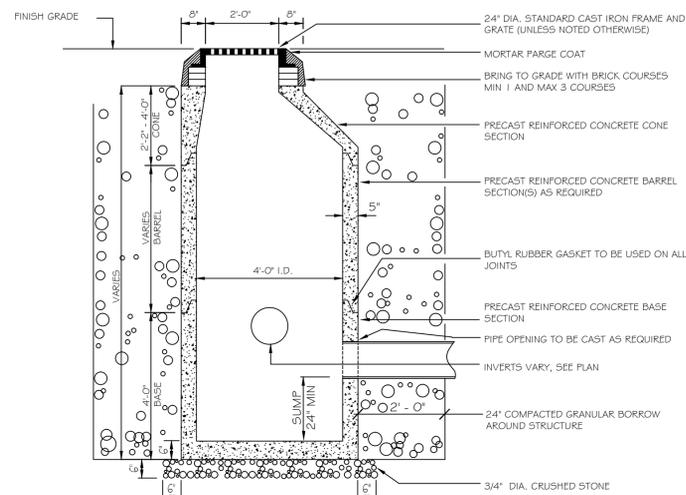


8 FLUSH GRANITE CURB INSTALLATION (PARKING LOT)
 C4.0 NOT TO SCALE



9 TIP-DOWN GRANITE CURB
 C4.0 NOT TO SCALE

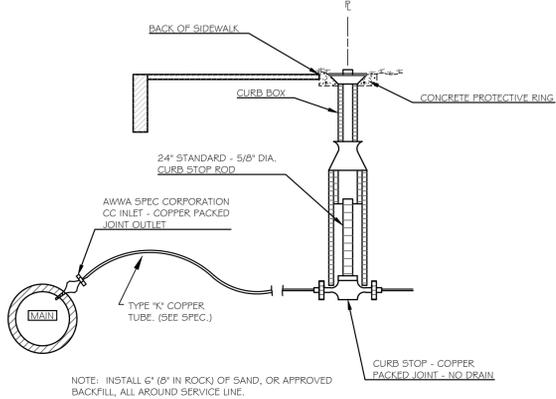
Rev.	Date	Description	Drawn	Check



- NOTES:
1. CONCRETE 4000 PSI AFTER 28 DAYS.
 2. REINFORCING H-20 LOADING 4x4 / 4x4 W/M. SLAB TOP - NO. 5 BARS.
 3. EACH CASTING TO HAVE LIFTING HOLES TO BE FILLED WITH NON-SHRINK MORTAR.

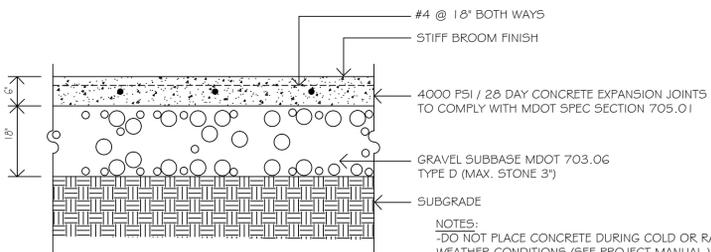
1 PRECAST CONCRETE CATCH BASIN (PARKING LOT)

C4.1 NOT TO SCALE



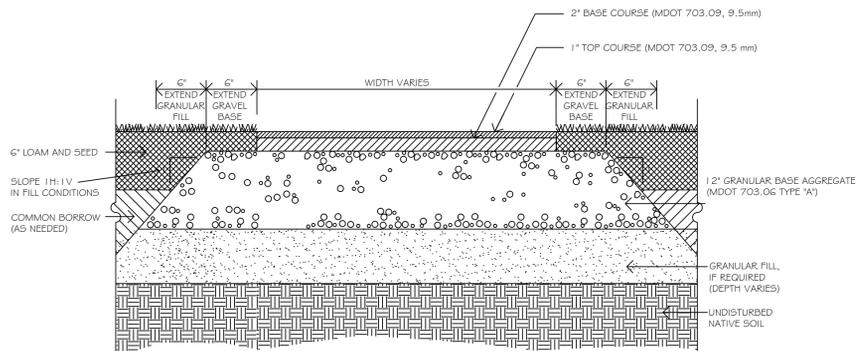
2 STANDARD CORPORATION STOP DETAIL

2
C4.1



3 CONCRETE PAD AT BUILDING ENTRANCE/ DUMPSTER PAD

3
C4.1



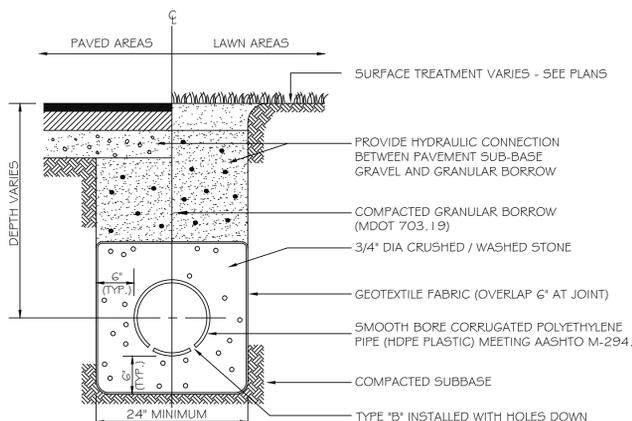
4 ACCESSIBLE PARKING SIGN INSTALLATION DETAIL

4
C4.1

- NOTES:
- SIGN DIMENSIONS:
 - RESERVED PARKING: 12' x 18'
 - VAN ACCESSIBLE: 6' x 12'

5 VALVE AND VALVE BOX INSTALLATION DETAIL

5
C4.1



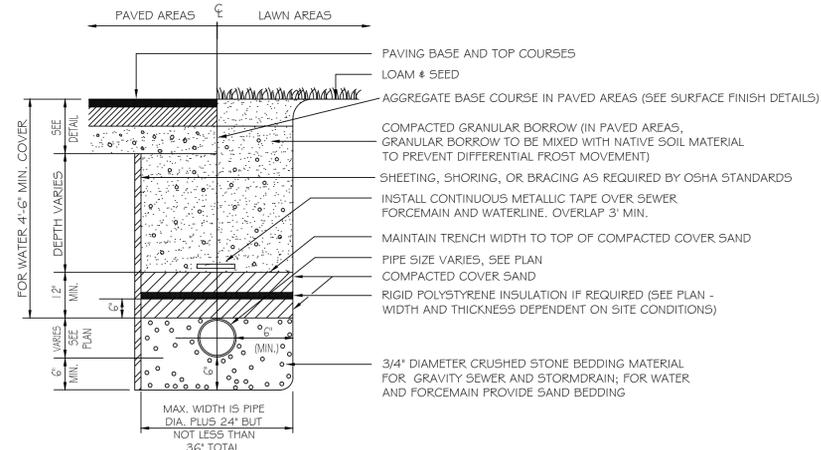
- NOTES:
1. BACKFILL MATERIAL WITHIN TRENCH BEYOND UNDERDRAIN LATERAL LIMITS SHALL, AS A MINIMUM, CONFORM TO THE REQUIREMENTS OF GRANULAR BORROW.
 2. UNDERDRAIN SHALL CONFORM TO THE REQUIREMENTS OF MDOT 605.04, TYPE 'B', EXCEPT AS NOTED.
 3. OUTLETS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM AS SHOWN ON THE PLANS, OR GRADED BY GRAVITY TO A SUITABLE DISCHARGE POINT.

8 UNDERDRAIN TRENCH DETAIL

8
C4.1

6 BITUMINOUS CONCRETE WALKWAY PAVING SECTION (PARKING LOT)

6
C4.1

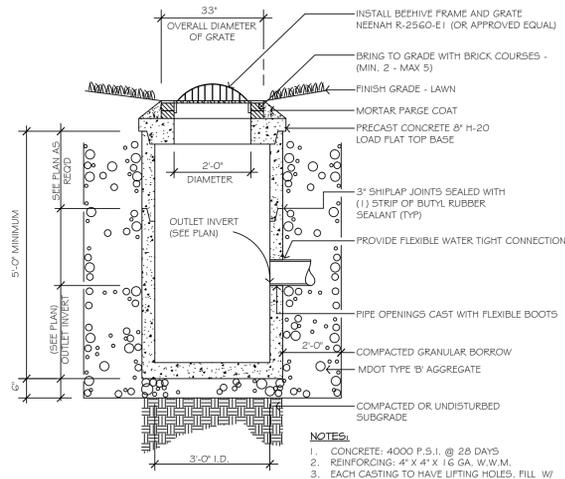


9 TYPICAL PIPE TRENCHING DETAIL (PARKING LOT)

9
C4.1

9 FIELD INLET DETAIL

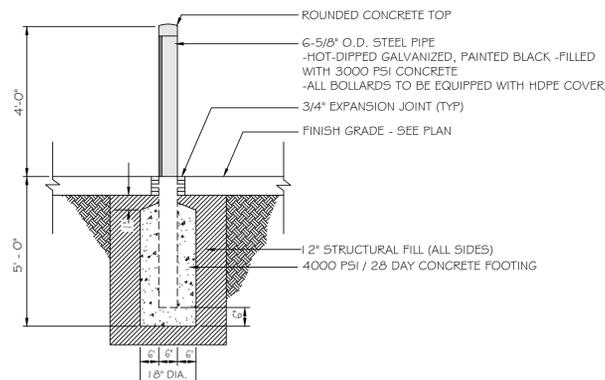
9
C4.1



- NOTES:
1. CONCRETE: 4000 P.S.I. @ 28 DAYS
 2. REINFORCING: 4" x 4" x 1/8 GA. W.W.M.
 3. EACH CASTING TO HAVE LIFTING HOLES. FILL W/ NON-SHRINK, NON-METALLIC GROUT

10 STEEL BOLLARD

10
C4.1



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STATE OF MAINE
WILLIAM R. WALSH, III
No. 8204
LICENSED PROFESSIONAL ENGINEER
8/29/13

Lewiston Affordable Housing
Bartlett & Pierce Street
Lewiston, Maine
Prepared For:
Volunteers of America Northern New England
14 Maine Street
Brunswick, Maine

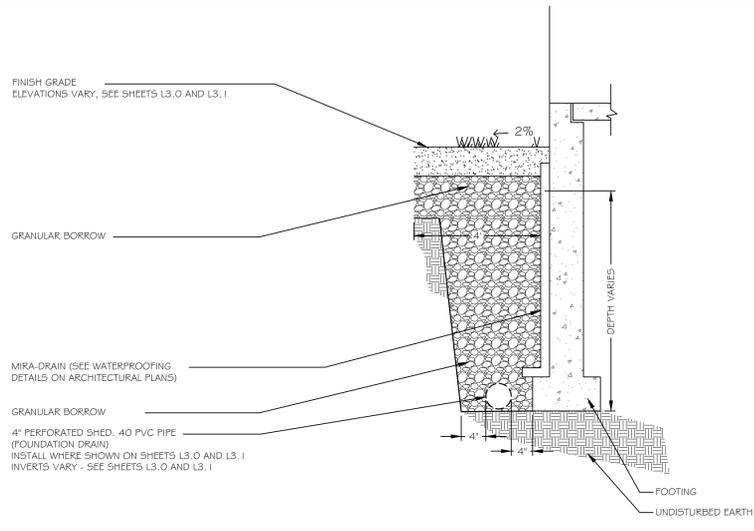
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Sheet Title:
Site Details

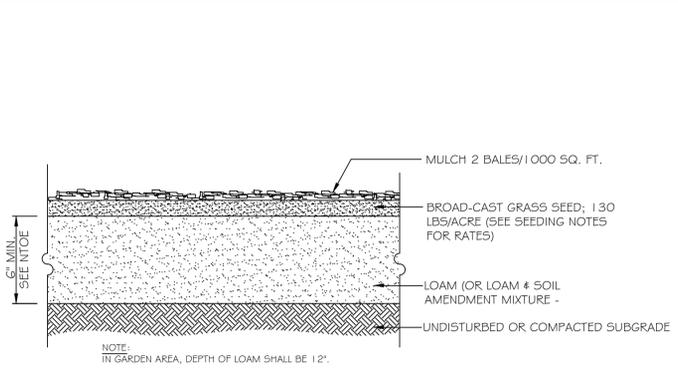
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Date: August 29, 2013
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Checked: WRW

C4.1

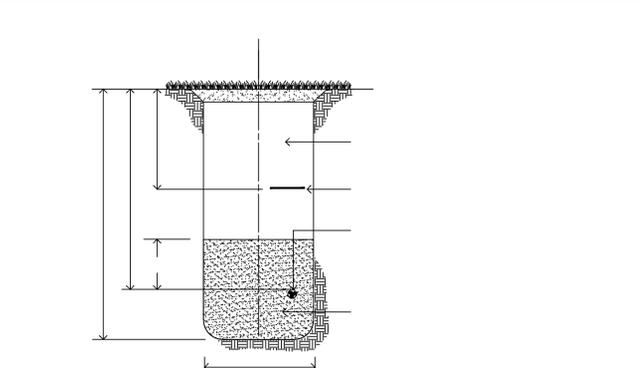
FOR PERMITTING ONLY - NOT FOR CONSTRUCTION



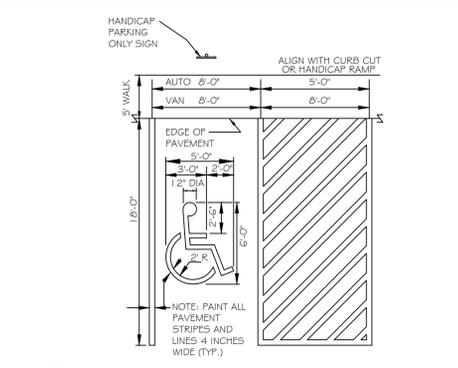
1 FOUNDATION DRAIN DETAIL
C4.2 NOT TO SCALE



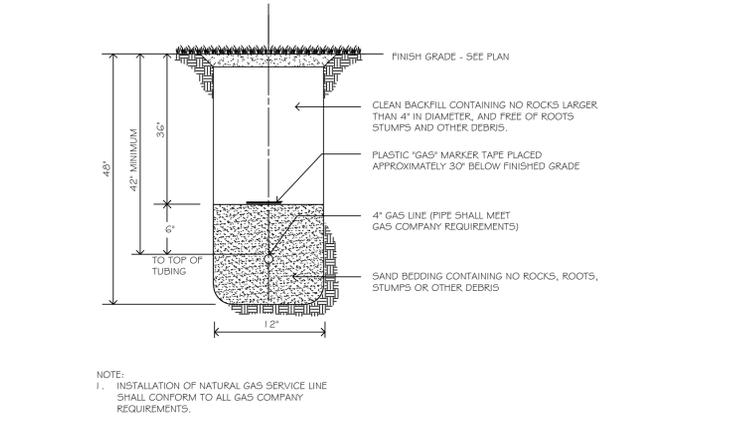
2 LOAM AND SEED DETAIL
C4.2 NOT TO SCALE



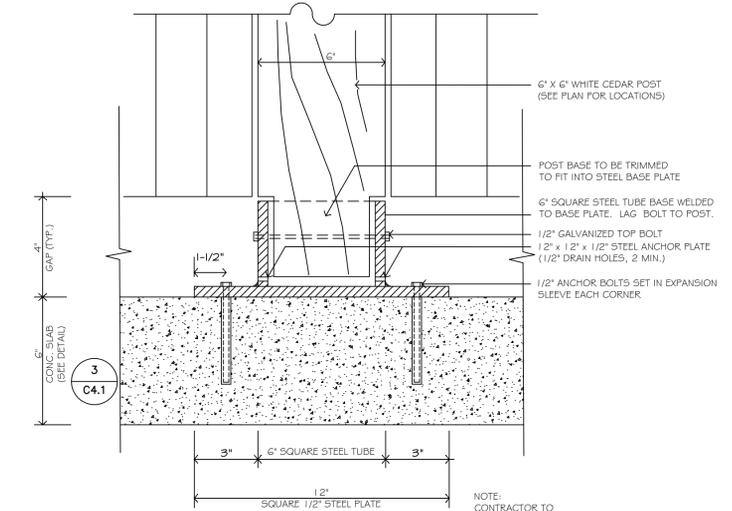
3 SECONDARY OR SERVICE CABLE INSTALLATION DETAIL
C4.2 NOT TO SCALE



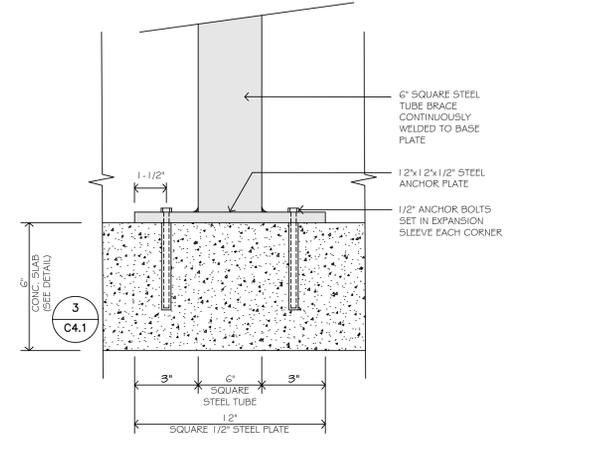
4 ACCESSIBLE PARKING STALL DETAIL
C4.2 NOT TO SCALE



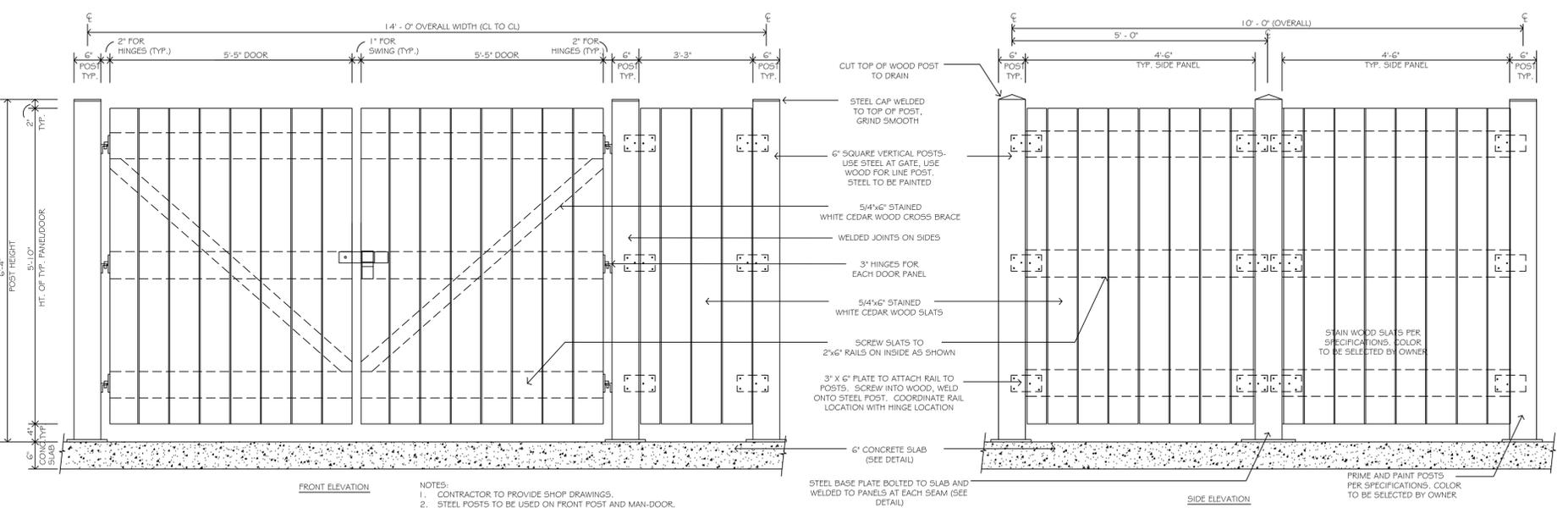
5 NATURAL GAS SERVICE TRENCH SECTION
C4.2 NOT TO SCALE



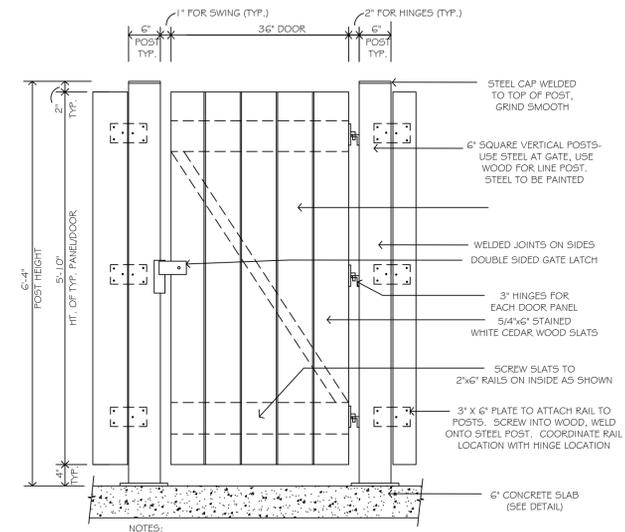
6 BASE PLATE / WOOD POST DETAIL
C4.2 NOT TO SCALE



7 BASE PLATE / STEEL POST DETAIL
C4.2 NOT TO SCALE

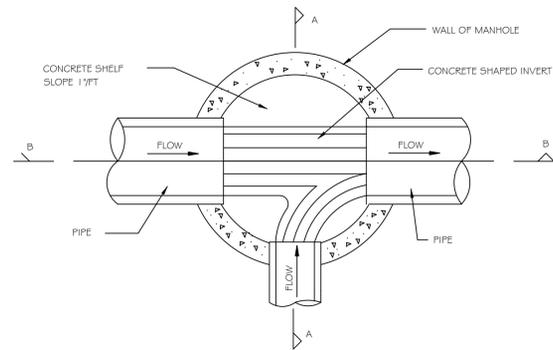


8 DUMPSTER ENCLOSURE: FRONT AND SIDE ELEVATIONS
C4.2 SCALE: NOT TO SCALE

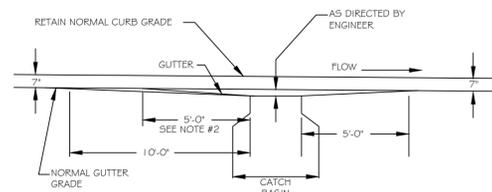


9 DUMPSTER ENCLOSURE MAN-DOOR ELEVATION
C4.2 NOT TO SCALE

Rev.	Date	Description	Drawn	Check

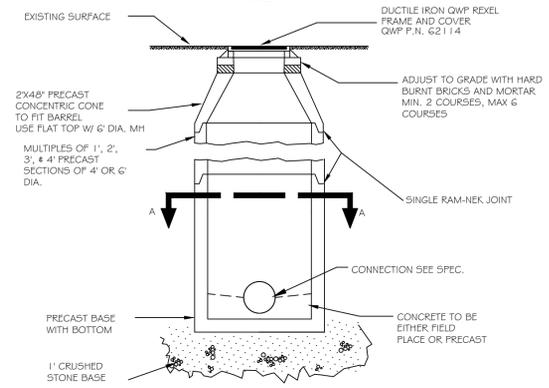
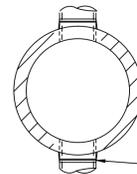


PLAN

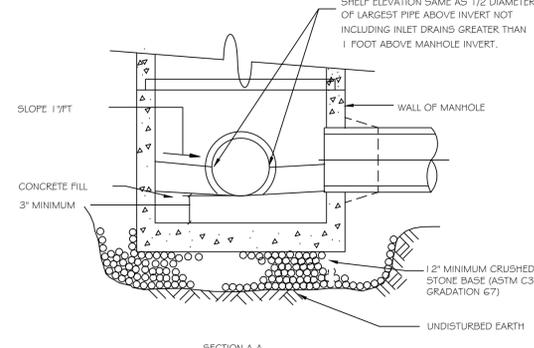


NOTE:
 1. CASCADE GRATES SHALL BE INSTALLED ON GRADIENT OF THE GUTTER. THE GRATES SHALL BE DEEPERSED 2" BELOW THE NORMAL GUTTER GRADE UNLESS THIS DEPRESSION INTERFERES WITH TRAFFIC. PARALLEL BAR GRATES SHALL BE INSTALLED ON A LEVEL GRADIENT. DIMENSIONS ARE NOMINAL.
 2. IF CATCH BASIN IS TO BE INSTALLED IN A LOW POINT OR INTERSECTION OF DESCENDING STREETS, GUTTER SHALL BE GRADED EQUALLY, 5' FROM BOTH SIDES OF CATCH BASIN.

3
C4.4 GUTTER GRADE TRANSITION AT CATCH BASIN
 NOT TO SCALE

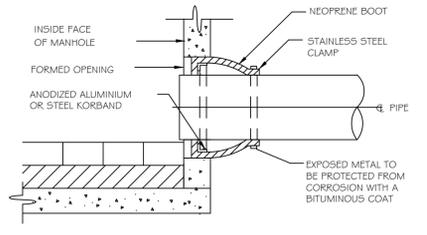


SECTION B-B



SECTION A-A

1
C4.4 PRECAST DRAIN MANHOLE DETAIL
 NOT TO SCALE

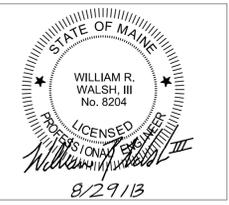


KOR-N-SEAL BOOT (FOR 1.8" - PIPE OR LESS)

2
C4.4 MANHOLE/CATCH BASIN CONNECTION DETAIL
 NOT TO SCALE

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Lewiston Affordable Housing
 Bartlett & Pierce Street
 Lewiston, Maine
 Prepared For:
 Volunteers of America Northern New England
 14 Maine Street
 Brunswick, Maine

Rev.	Date	Description	Drawn	Check

Sheet Title:
Site Details

Job No.: 235 Sheet No.:
 Date: August 29, 2013
 Scale: NOT TO SCALE
 Drawn: AMC
 Checked: WRW

C4.4

LANDSCAPE NOTES:

- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- LANDSCAPE CONTRACTOR IS ENCOURAGED TO PROVIDE THE LANDSCAPE ARCHITECT WITH CONCERNS AND/OR SUGGESTIONS WITH REGARDS TO PROPOSED PLANT MATERIAL SELECTION PRIOR TO PLACING A PURCHASE ORDER.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING. CLARIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT PRIOR TO PRICING ANY PLANT MATERIAL.
- ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S 'AMERICAN STANDARD OF NURSERY STOCK'.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE AT THE SITE. PLANTS WHICH ARE REJECTED SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- ALL TREES AND SHRUBS TO BE BALLED IN BURLAP OR CONTAINERIZED.
- MULCH FOR PLANTED AREAS TO BE ACED SPRUCE AND FIR BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- NO PLANTS SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING AND BEFORE CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SHRUB GROUPINGS SHALL BE INCORPORATED INTO BEDS. WHERE MULCHED PLANT BED ABUTS LAWN, CONTRACTOR SHALL PROVIDE A TURF CUT EDGE.
- ALL TREES ALONG WALK AND PARKING AREAS SHALL BEGIN BRANCHING AT 6' HT. MIN.
- ALL PLANT MATERIAL OR REPRESENTATIVE SAMPLES SHALL BE LEGIBLY TAGGED WITH PROPER COMMON AND BOTANICAL NAMES. TAGS SHALL REMAIN ON THE PLANTS UNTIL FINAL ACCEPTANCE.
- CONTRACTOR SHALL LOAMED DISTURBED AREAS AS FOLLOWS:
 - LAWN AREAS 6" DEPTH OF TOPSOIL
 - CURBED PARKING LOT ISLANDS 18" DEPTH OF TOPSOIL
- SEED MIXTURES FOR AREAS TO BE SEEDED SHALL BE AS FOLLOWS:
 - LAWN AREAS SHALL BE SEEDED WITH SEED TYPE % BY WEIGHT CREEPING RED FESCUE (MIN. 2 VARIETIES) 45%, KENTUCKY BLUEGRASS (MIN. 2 VARIETIES) 30%, PERENNIAL RYE GRASS 20%, SEEDING RATE PER 1000 SQ.FT. 4 LBS. MIN.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF FINAL ACCEPTANCE.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND OR CAPPED OR DEMOLISHED AS REQUIRED.

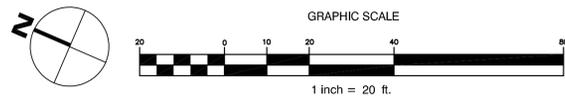
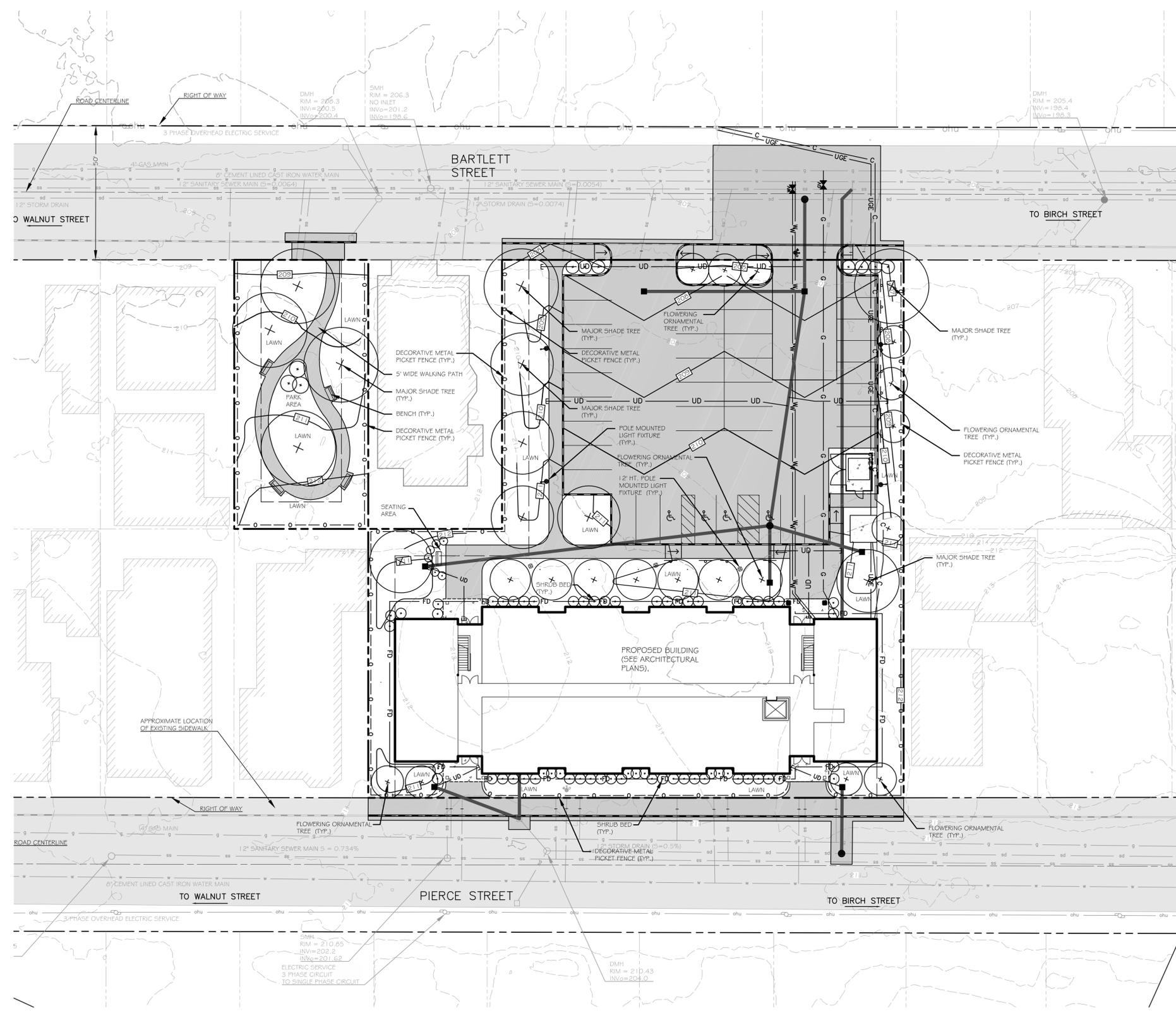
PLANT LIST

SYMBOL	QTY.	ROOTS	SIZE	PLANT NAME
	11	B+B	3" CAL.	ASH VARIETIES: (AUTUMN PURPLE, EMPIRE, SKYLINE, GREEN SUMMIT) HONEY LOCUST VARIETIES: (SHADEMASTER, SKYLINE) LINDEN VARIETIES: (AMERICAN, REDMOND, GREENSPIRE, LITTLELEAF) MAPLE VARIETIES: (ARMSTRONG, AUTUMN BLAZE, SENTINEL, RED SUNSET, RED MAPLE, SUGAR MAPLE) RED OAK WHITE OAK RIVER BIRCH GINKGO
	19	B+B	1 1/2" CAL. MIN.	CHERRY VARIETIES: (SARGENT, SAND, ACCOLADE, KOREAN) CRAB APPLE VARIETIES: (JAPANESE FLOWERING, PINK SPIRE) KOUSA DOGWOOD JAPANESE TREE LILAC VARIETIES WASHINGTON HAWTHORNE PEAR VARIETIES: (ARISTOCRAT, CHANTICLEER, REDSPIRE) MAGNOLIA VARIETIES
	79	CONT. AND B+B	18"-42" HT. OR 20" SPD.	AZALEA VARIETIES BLUEBERRY BURNING BUSH DOGWOOD VARIETIES EDONIMUS VARIETIES FORSYTHIA LILAC VARIETIES VIBURNUM VARIETIES ARBOVITAE AZALEA VARIETIES ANDROMEDA VARIETIES HYDRANGEA VARIETIES JAPANESE YEM JUNIPER VARIETIES LEUCOTHOE RHODODENDRON VARIETIES

LEGEND	
EXISTING	PROPOSED
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ROAD CENTERLINE
	ABUTTING PROPERTY LINE
	STORM DRAIN MANHOLE
	STORM DRAIN CATCH BASIN
	STORM DRAIN LINE
	SANITARY SEWER MANHOLE
	SANITARY SEWER LINE
	WATERLINE
	WATER LINE GATE VALVE
	WATER LINE SHUT-OFF VALVE
	GAS LINE
	GAS LINE GATE VALVE
	ELECTRIC LINE
	UTILITY POLE
	OVERHEAD UTILITY
	BUILDING
	EDGE OF PAVEMENT
	GRANITE CURB

LIGHTING KEY:

- POLE MOUNTED FIXTURES TO BE THE VIPER (LARGE) LED FIXTURE AS MANUFACTURED BY BEACON PRODUCTS, AT A MOUNTING HEIGHT OF 20 FEET.
- POLE MOUNTED FIXTURES TO BE THE VIPER (SMALL) LED FIXTURE AS MANUFACTURED BY BEACON PRODUCTS, AT A MOUNTING HEIGHT OF 12 FEET.



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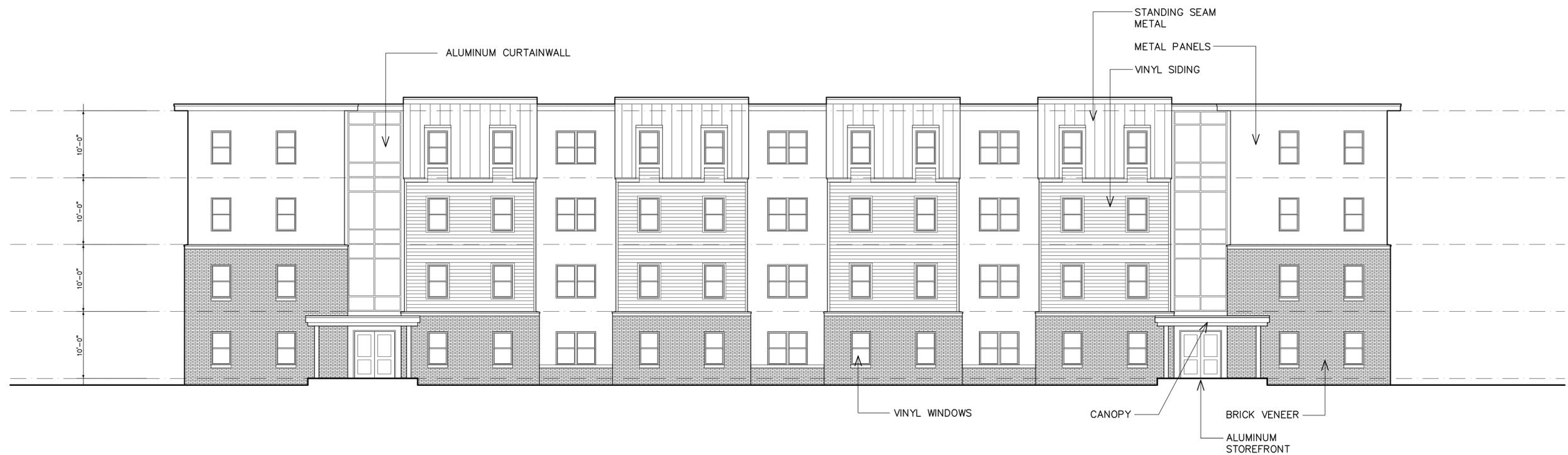
Affordable Housing
Bartlett & Pierce Street
Lewiston, Maine

Volunteers of America Northern New England
14 Maine Street
Brunswick, Maine

Rev.	Date	Description	Drawn	Check

Sheet Title: Landscape and Lighting Plan

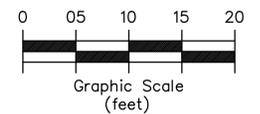
Job No.: 235 Sheet No.:
Date: August 21, 2013
Scale: L1.0
Drawn: AMC
Checked: WRW



CONCEPTUAL BUILDING ELEVATION

LEWISTON AFFORDABLE HOUSING

Volunteers of America Northern New England
Lewiston, Maine



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DATE: 08-12-13