

CITY OF LEWISTON
PLANNING BOARD MEETING
Monday, June 10, 2013 – 5:30 P.M.
City Council Chambers, First Floor
Lewiston City Building
27 Pine Street, Lewiston

AGENDA

I. ROLL CALL

II. ADJUSTMENTS TO THE AGENDA

III. CORRESPONDENCE

IV. PUBLIC HEARINGS:

1. Application submitted by Harriman Associates on behalf of the City of Lewiston for improvements and modifications to the recreational fields at Franklin Pasture, including the installation of new turf fields.
2. Proposed amendment to Appendix A, of the Zoning and Land Use Code, Article VI, Section 4(c) Nonconforming uses, Abandonment, which would exempt single-family detached dwelling on individual lots and two-family dwelling on individual lots from becoming nonconforming uses upon abandonment.

V. OTHER BUSINESS:

- a) Disposition of City Properties: 1 Acorn Lane, 6 Galina Avenue, 8 Galina Avenue, 6 Marie Circle Rear, and 48 River Street.
- b) Discussion on Comprehensive Plan and Planapalooza
- c) Any other business Planning Board Members may have relating to the duties of the Lewiston Planning Board.

VIII. READING OF THE MINUTES: Motion to adopt the draft minutes from April 22, 2013

VII. ADJOURNMENT



CITY OF LEWISTON

Department of Planning & Code Enforcement



TO: Planning Board
FROM: David Hediger, City Planner
DATE: June 7, 2013
RE: June 10m 2013 Planning Board Agenda Item IV(a)

Application submitted by Harriman Associates on behalf of the City of Lewiston for improvements and modifications to the recreational fields at Franklin Pasture, including the installation of new turf fields.

Harriman Associates on behalf of the City of Lewiston has submitted an application for improvements and modifications to the recreational fields at Franklin Pasture, including the installation of new turf fields.

Franklin Pasture is located on an approximately 100 acre parcel in the center of Lewiston within the Institutional Office (IO) district, in which academic uses are allowed as a permitted use. The land contains Marcotte Park, Lewiston High School, Longley Elementary, the Culinary Arts Center, and various recreational facilities. The City of Lewiston is proposing to implement a series of renovations and upgrades to the recreational facilities located in Franklin Pasture. This application is for a series of related improvements and renovations to various existing recreational facilities. In order to organize the improvements, the applicants have identified seven specific areas within Franklin Pasture that are part of the overall improvement scheme. However, they are relatively independent of the other portions of the site and will likely be improved independent of one another. These areas are designated as Upper Franklin, Marcotte Park, Shoebox, Franklin Baseball, Franklin Main, Tennis Courts and Lewiston High School (LHS) Practice Field. A description of said improvements is provided in Section 1 of the application. The first phase of improvements proposed includes the installation of a turf field on Upper Franklin (the football field).

The proposed improvements require a modified Site Law permit from DEP. This determination was made by DEP upon their position that the city of Lewiston may not have delegated review authority over its own projects. However, given the Planning Board's past involvement with reviews of activity within Franklin Pasture on behalf of DEP, the Planning Board will be reviewing this project as an amendment to a previously approved plan, pursuant to Article XIII, Section 2(a)(10). This section provides staff to handle the proposed improvements as a de minimis change, thereby not requiring a public hearing. However, to remain consistent with past practices involving this property, staff has made the decision that review of the proposed improvements will be handled by the Planning Board with notification having been provided to abutters.

Staff notes the following with respect to the proposed improvements:

- When considering all of the proposed improvements, the amount of impervious area will be reduced by approximately 7,860 square feet. Therefore, no new stormwater improvements are being proposed.
- The proposed turf field on Upper Franklin is a pervious surface that infiltrates rain water into a gravel base. Any remain stormwater drains into the existing stormwater pond.
- Construction of the Upper Franklin turf field will result in over one acre of disturbance in an urbanized area. Therefore, the project is subject to additional post construction stormwater management standards contained in Article XIII, Section 15 of the Zoning and Land Use Code. Specifically, the applicant is required to provide a performance guarantee with respect to the ongoing maintenance, repair, or replacement of the sites stormwater system. The applicant has indicated in their response letter dated June 5, 2013 that said documentation will be recorded in the registry of deeds. Staff recommends as a condition of approval to be noted on the plan that no construction activity commence until a performance guarantee is provided to the city's satisfaction in accordance with Article XIII, Section 15(e)(3) of the Zoning and Land Use Code.
- The application seeks approval for a number of improvements. However, the full design of improvements has been limited to the turf field at Upper Franklin. Other improvements, including bathroom improvements proposed for the tennis courts and proposed lighting for the practice field have not been designed at this time. Therefore, the applicant has requested a condition of approval that requires City of Lewiston staff and/or the Planning Board review and approval these additional improvements prior to construction. Staff supports to conditions and will defer to the Board as to whether final design and approval of the next phases of development should rest with staff or the Planning Board.
- All other review comments by staff have been addressed to the City's satisfaction per the applicant's response letter dated June 5, 2013.

This project is subject to development review approval from the Planning Board pursuant to Article XIII, Section 4 of the Zoning and Land Use Code.

ACTIONS NECESSARY

1. Make a motion to consider an application submitted by Harriman Associates on behalf of the City of Lewiston for improvements and modifications to the recreational fields at Franklin Pasture, including the installation of new turf fields.
2. Obtain input on the application;
3. Make a determination that the application is complete;
4. Make a motion finding that the application meets all of the necessary criteria contained in the Zoning and Land Use Code, including Article XIII, Section 4 of the Zoning and Land Use Code and to grant approval to the City of Lewiston for improvements and modifications to the recreational fields at Franklin Pasture, including the installation of new turf fields, subject to any concerns raised by the Planning Board or staff.



June 5, 2013

Mr. David Hediger, City Planner
City of Lewiston
27 Pine Street
Lewiston, ME 04240

Re: City of Lewiston
Franklin Pasture
Lewiston, ME
Project No. 12729
City of Lewiston Planning Board – Project Review

Dear David:

Thank you for your comments on the Franklin Pasture project. We have revised the site plans in response to comments from you and Ryan Barnes. We have reiterated the comments followed by our response below.

1. The application makes reference in several sections about proposed lighting for the practice field. No details or plans have been provided for this improvement. Please clarify. If details associated with these improvements are not prepared at this time due to the phasing of the project, at a minimum, staff will recommend as a condition of approval that said improvements may not occur until approved by city staff and/or the Planning Board.
Response: The lighting for the Lewiston High School practice field has not been designed at this time. The lighting is anticipated to be very similar to the existing system at Franklin Main. We would request a condition of approval that requires the City of Lewiston planning staff and/or Planning Board review and approval prior to construction.
2. The application makes reference in several sections about bathroom improvements proposed for the tennis courts. No details or plans have been provided for this improvement. Please clarify. If details associated with these improvements are not prepared at this time due to the phasing of the project, at a minimum, staff will recommend as a condition of approval that said improvements may not occur until approved by city staff and/or the Planning Board.
Response: Bathroom improvements at the tennis courts are also a future phase and are not designed at this time. We would request a condition of approval that requires the City of Lewiston planning staff and/or Planning Board review and approval prior to construction.
3. Staff understands this is a phased project. Please clarify the area of disturbance proposed, specifically the first phase associated with the turf field. If there is one acre or more of disturbance, performance guarantee in accordance with Article XIII, Section 15 is applicable.
Response: The disturbance of the site is in excess of one acre and requires approval under Article XIII Section 15, Post Construction Stormwater Management Standards. The City will file

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AUBURN, ME 04210
207.784.5100

123 MIDDLE STREET
PORTLAND, ME 04101
207.775.0053

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MANCHESTER, NH 03103
603.626.1242

www.harriman.com



David Hediger
June 5, 2013
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documentation with the Planning Board and record in the Androscoggin Registry of Deeds in accordance with the Land Use Ordinance.

4. None of the site plans show the existing drainage outlet structure to the existing stormwater pond. This information should be provided. Also, while a maintenance plan for the existing and proposed stormwater improvements has been provided, there are immediate maintenance issues that must be addressed to said pond, as observed on April 12, 2013 with the applicant representatives. Please include and reference said improvements/maintenance to pond.
Response: The existing outlet structure to the existing stormwater pond has been added to the site plan. A note is also added to the plan to address maintenance of the pond.
5. The application does not include an erosion control plan. Please address this.
Response: Site Plans C30.1, C30.2 have been revised to depict additional erosion control measures. Erosion and sediment control notes are on plan sheet C00.3.

Ryan Barnes Comments:

Application

1. Section 1 - The proposed schedule does not specify when the repair/maintenance work will be completed on the existing pond. We would recommend that this work be completed at the same time as the artificial turf field at Franklin Main since the contractor will have equipment on site capable of doing the work in the immediate vicinity of the pond.
Response: The maintenance of the existing pond should be completed soon. The schedule for the field construction may or may not correspond with the needed maintenance. The maintenance of the existing pond should be done by a different contractor other than the new sports field construction to insure that the maintenance work is completed in a timely manner.
2. Section 12 specifies that removing sediment from the pond will be necessary every 2-5 years, however, there is no stable access available for even a small excavator and truck to access the pond for this work. We would recommend that an access way be created if feasible, to allow for future maintenance to occur without further damaging the integrity of the slopes of the ponds.
Response: Our current plan to access the pond is to use the existing spillway for construction equipment to access the pond. We welcome the opportunity to work with the Public Works Department on developing a plan for more permanent access to the pond for future maintenance.

Plan Set

1. Sheet C00.2-Note #8 of the General Site notes is not complete.
Response: This note has been removed. A general note regarding subsurface exploration has been added to the title block area.



David Hediger
June 5, 2013
Page 3 of 3

2. During the onsite meeting with John Kuchinski, several items were discussed as being needed in the repair/maintenance of the pond, including but not limited to:
- Removing the sediment that has accumulated in the pond
 - Repairing/stabilizing areas washed out due to culverts discharging into the pond
 - Removing woody growth from pond
 - Rehabbing the emergency spillway

The necessary repair/maintenance work that will be completed by the contractor should be shown on a plan sheet including any necessary details for the work to be completed.

Response: We have noted on plan sheet C30.1 that the existing pond shall be maintained as described in the above comment.

We look forward to presenting this project before the Planning Board on June 10. We have included nine reduced copies of the plans, completed application form, and a stormwater report from the MEDEP Site Law application in this submission. We have also included four full size sets of plans with copies of the application and stormwater report. If you have any questions or concerns relating to this project, please contact myself or Frank Crabtree.

Sincerely,
Harriman

John D. Kuchinski, P.E.
jkuchinski@harriman.com

stroy

Enclosures: Application, Checklist, Plans, Stormwater Section

cc: Heather Hunter, City of Lewiston



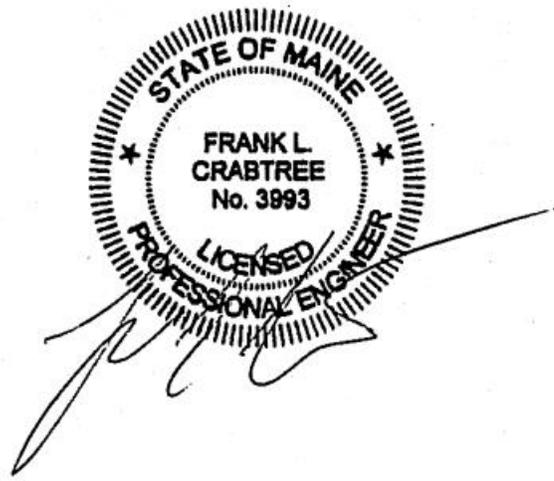
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**CITY OF LEWISTON
FRANKLIN PASTURE
RECREATIONAL FACILITIES MODIFICATIONS**

*Bartlett Street
Lewiston Maine*
PROJECT # 12729

April 19, 2013

Maine Department of Environmental Protection
Site Location of Development Act Application



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April 23, 2013

Ms. Beth Callahan beth.callahan@maine.gov
Maine Department of Environmental Protection
17 State House Station
Augusta, ME 04333

Re: City of Lewiston
Franklin Pasture
Lewiston, ME
Project No. 12729
Site Location of Development Act Permit Application

Dear Beth:

Enclosed are two full copies of the Site Location of Development Act application for the proposed modifications to the recreational facilities at Franklin Pasture in the City of Lewiston, ME. The project is contained within Bartlett Street, East Street, Webster Street, Birch Street, Caron Street and Sylvan Street, and contains approximately 110 acres that also includes Lewiston High School. This project will only impact the recreational facilities as described in the application package. The majority of the site disturbance involves replacing two existing grass sports fields with synthetic turf.

Please review this enclosed information, and let us know if you have any questions or comments. Thank you.

Sincerely,
Harriman

John D. Kuchinski, P.E.
jkuchinski@harriman.com

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Enclosures: Development Act Applications (2)

CC: David Hedigar, Lewiston City Planner
Heather Hunter, Lewiston Financial Director

www.harriman.com

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SITE LOCATION OF DEVELOPMENT PERMIT APPLICATION 38 M.R.S.A. §§481-490

PLEASE TYPE OR PRINT IN *INK ONLY*

This application is for: (CHECK THE ONE THAT APPLIES)		<input type="checkbox"/> 20 acre development	<input type="checkbox"/> Marine Oil Terminal	<input type="checkbox"/> Major Amendment
		<input type="checkbox"/> Planning Permit	<input checked="" type="checkbox"/> Structure	<input checked="" type="checkbox"/> Minor Amendment
		<input type="checkbox"/> Metallic Mining	<input type="checkbox"/> Subdivision	
1. Name of Applicant:	City of Lewiston Contact: Heather Hunter	6. Name of Agent: (if applicable)	Harriman Associates Contact: Frank L. Crabtree, PE	
2. Applicant's Mailing Address:	27 Pine Street Lewiston, ME 04240	7. Agent's Mailing Address:	46 Harriman Drive Auburn, ME 04210	
3. Applicant's Daytime Phone #:	(207) 513-3017	8. Agent's Daytime Phone #:	784-5100	
4. Applicant's Fax #: (if available)		9. Agent's Fax #:	782-3017	
5. Applicant's e-mail address: (license will be sent via e-mail)	HHunter@lewistonmaine.gov	10. Agent's e-mail address (license will be sent via e-mail)	fcrabtree@harriman.com	

PROJECT INFORMATION

11. Name of Development:	Franklin Pasture Recreational Fields			
12. Map and Lot #'s:	Map 175: Lot 1	Lot #: 24	13. Deed Reference #'s:	Book #: 342, Page #: 198
14. Location of Project City/Town:	Lewiston	15. County:	Androscoggin	16. UTM Northing
				17. UTM Easting
18. Brief Description of Project including total parcel size:	Installation of artificial turf sports fields at two location in Franklin Pasture and other improvements to the recreation facilities including expansion of restroom facilities.			
19. Type of Direct Watershed: (Check all that apply)	<input type="checkbox"/> Lake not most at risk <input checked="" type="checkbox"/> River, stream or brook <input type="checkbox"/> Coastal wetland <input type="checkbox"/> Lake most at risk <input type="checkbox"/> Urban impaired stream <input type="checkbox"/> Wellhead or public water <input type="checkbox"/> Lake most at risk, severely blooming <input type="checkbox"/> Freshwater wetland			
19. Name of Waterbody Project Site drains to:	Androscoggin River.			
21. Amount of Developed Area:	Total acres: 50.1	Existing Developed area: acres 50.1 (including impervious)	New Developed area: 0 acres (including impervious)	
22. Amount of Impervious Area:	Total acres: 17.2	Existing Impervious area: acres 17.4	New Impervious area: (-8,000 sf)	
23. Development started prior to obtaining a license?:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
24. Development or any portion of the site subject to enforcement action?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		If yes, name of enforcement staff involved?	
25. Common scheme of development?:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	26. Title, Right or Interest:	<input checked="" type="checkbox"/> own <input type="checkbox"/> lease	<input type="checkbox"/> purchase option <input type="checkbox"/> written agreement
27. Natural Resources Protection Act permit required?:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes:	<input type="checkbox"/> PBR	<input type="checkbox"/> Tier 1 Full Permit <input type="checkbox"/> Tier 2
28. Existing DEP Permit number (if applicable):	L-18581-22-H-B			
29. Names of DEP staff person(s) present at the pre-application meeting:	Beth Callahan, Art McGlaflin			
30. Does agent have an interest in project? If yes, what is the interest?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			

CERTIFICATIONS AND SIGNATURES LOCATED ON PAGE 2

08/08

IMPORTANT: IF THE SIGNATURE BELOW IS NOT THE APPLICANT'S SIGNATURE, ATTACH LETTER OF AGENT AUTHORIZATION SIGNED BY THE APPLICANT.

By signing below the applicant (or authorized agent), certifies that he or she has read and understood the following :

CERTIFICATIONS / SIGNATURES

"I certify under penalty of law that I have personally examined the information submitted in this document and all attachments thereto and that, based on my inquiry of those individuals immediately responsible for obtaining the information, I believe the information is true, accurate, and complete. I am aware there are significant penalties for submitting false information, including the possibility of fine and imprisonment. I authorize the Department to enter the property that is the subject of this application, at reasonable hours, including buildings, structures or conveyances on the property, to determine the accuracy of any information provided herein.

Signed: Heather Hunter Title Finance Director / Treasurer Date: 4/18/13

Notice of Intent to Comply with Maine Construction General Permit

With this Site Law application form and my signature, I am filing notice of my intent to carry out work which meets the requirements of the Maine Construction General Permit (MCGP). I have read and will comply with all of the MCGP standards.

If this form is not being signed by the landowner or lessee of the property, attach documentation showing authorization to sign.

Signed Heather Hunter Date: 4/18/13

NOTE: You must file a MCGP Notice of Termination (Form K) within 20 days of completing permanent stabilization of the project site.

CERTIFICATION

The person responsible for preparing this application and/or attaching pertinent site and design information hereto, by signing below, certifies that the application for development approval is complete and accurate to the best of his/her knowledge.

Signature: [Signature]

Name (print): Frank L. Crabtree, PE

Date: 4-23-13

Re/Cert/Lic No.: _____
Engineer ME #3993
Geologist _____
Soil Scientist _____
Land Surveyor _____
Site Evaluator _____
Active Member of the Maine Bar _____
Professional Landscape Architect _____
Other _____

"I hereby authorize the DEP to send me an electronically signed decision on the license I am applying for with this application by emailing the decision to the address located on the front page of this application (see #5 for the applicant and #10 for the agent). *Do not sign if you elect to "opt out" or receive the decision via regular mail.*

Signed (Applicant) Heather Hunter Date: 4/18/13

and/or

Signed (Agent) _____ Date: _____

**PUBLIC NOTICE:
NOTICE OF INTENT TO FILE**

Please take notice that

City of Lewiston, 29 Pine Street Lewiston Maine, 04240 ,
Tel. 513-3017

(Name, Address and Phone # of Applicant)

is intending to file:

A Site Location of Development Act permit application with the Maine Department of Environmental Protection pursuant to the provisions of 38 M.R.S.A. §§ 481 thru 490; and

April 17, 2013
(anticipated filing date)

The applications are for:

Modifications to existing sports fields to convert them to artificial turf, resurface track, pave existing gravel paths and parking, and a small addition to an existing concession stand.
(description of the project)

at the following location:

Franklin Pasture, Lewiston Maine
(project location)

A request for a public hearing or a request that the Board of Environmental Protection assume jurisdiction over this application must be received by the Department in writing, no later than 20 days after the application is found by the Department to be complete and is accepted for processing. A public hearing may or may not be held at the discretion of the Commissioner or Board of Environmental Protection. Public comment on the application will be accepted throughout the processing of the application.

The application will be filed for public inspection at the Department of Environmental Protection's office in Augusta during normal working hours. A copy of the application may also be seen at the municipal offices in Lewiston, Maine.
(town)

Written public comments may be sent to the regional office in Augusta, where the application is filed for public inspection:

MDEP, Central Maine Regional Office, 17 State House Station, Augusta, Maine 04333-0017

PUBLIC NOTICE FILING AND CERTIFICATION

The DEP Rules, Chapter 2, require an applicant to provide public notice for all Site Location projects with the exception of minor revisions and condition compliance applications. In the notice, the applicant must describe the proposed activity and where it is located. "Abutter" for the purposes of the notice provision means any person who owns property that is BOTH (1) adjoining and (2) within one mile of the delineated project boundary, including owners of property directly across a public or private right of way.

1. **Newspaper:** You must publish the Notice of Intent to File in a newspaper circulated in the area where the activity is located. The notice must appear in the newspaper within 30 days prior to the filing of the application with the Department. You may use the attached Notice of Intent to File form, or one containing identical information, for newspaper publication and certified mailing.
2. **Abutting Property Owners:** You must send a copy of the Notice of Intent to File by certified mail to the owners of the property abutting the activity. Their names and addresses can be obtained from the town tax maps or local officials. They must receive notice within 30 days prior to the filing of the application with the Department.
3. **Municipal Office:** You must send a copy of the Notice of Intent to File and a **duplicate of the entire application** to the Municipal Office.

ATTACH a list of the names and addresses of the owners of abutting property.

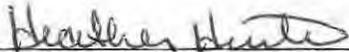
CERTIFICATION

By signing below, the applicant or authorized agent certifies that:

1. A Notice of Intent to File was published in a newspaper circulated in the area where the project site is located within 30 days prior to filing the application;
2. A certified mailing of the Notice of Intent to File was sent to all abutters within 30 days of the filing of the application;
3. A certified mailing of the Notice of Intent to File, and a duplicate copy of the application was sent to the town office of the municipality in which the project is located; and
4. Provided notice of, if required, and held a public informational meeting in accordance with Chapter 2, Rules Concerning the Processing of Applications, Section 14, prior to filing the application. Notice of the meeting was sent by certified mail to abutters and to the town office of the municipality in which the project is located at least ten days prior to the meeting. Notice of the meeting was also published once in a newspaper circulated in the area where the project site is located at least seven days prior to the meeting.

The Public Informational Meeting was held on Not Applicable
Date

Approximately N.A. members of the public attended the Public Informational Meeting.


Signature of Applicant or authorized agent

4/18/13
Date

SUBMISSIONS CHECKLIST

If a provision is not applicable, put "NA"

Section 1. Development description

- A. Narrative
 - 1. Objectives and details
 - 2. Existing facilities (with dates of construction)
- B. Topographic map
 - 1. Location of development boundaries
 - 2. Quadrangle name
- C. Construction plan
 - 1. Outline of construction sequence (major aspects)
 - 2. Dates
- D. Drawings
 - 1. Development facilities
 - a. Location, function and ground area
 - b. Length/cross-sections for roads
 - 2. Site work (nature and extent)
 - 3. Existing facilities (location, function ground area and floor area)
 - 4. Topography
 - a. Pre- and post-development (contours 2 ft or less)
 - b. Previous construction, facilities and lot lines

Section 2. Title, right or interest (copy of document)

Section 3. Financial capacity

- A. Estimated costs
- B. Financing
 - 1. Letter of commitment to fund
 - 2. Self-financing
 - a. Annual report
 - b. Bank statement
 - 3. Other
 - a. Cash equity commitment
 - b. Financial plan
 - c. Letter
 - 4. Affordable housing information

Section 4. Technical ability (description)

- A. Prior experience (statement)
- B. Personnel (documents)

Section 5. Noise

- A. Developments producing a minor noise impact (statement)
 - 1. Residential developments
 - 2. Certain non-residential subdivisions
 - 3. Schools and hospitals
 - 4. Other developments
 - a. Type, source and location of noise
 - b. Uses, zoning and plans
 - c. Protected locations
 - d. Minor nature of impact
 - e. Demonstration
- B. Developments producing a major noise impact (full noise study)

- N/A
 - N/A
1. Baseline
 - a. Uses, zoning and plans
 - b. Protected locations
 - c. Quiet area
 2. Noise generated by the development
 - a. Type, source and location of noise
 - b. Sound levels
 - c. Control measures
 - d. Comparison with regulatory limits
 - e. Comparison with local limits

X **Section 6. Visual quality and scenic character**(narrative, description, visual impact analysis)

X **Section 7. Wildlife and fisheries** (narrative)

X **Section 8. Historic sites** (narrative)

X **Section 9. Unusual natural areas** (narrative)

Section 10. Buffers

X A. Site plan and narrative

Section 11. Soils

- X A. Soil survey map and report
 - X 1. Soil investigation narrative
 - X 2. Soil survey map
- X B. Soil survey intensity level by development type
 1. Class A (High Intensity) Soil Survey
 2. Class B (High Intensity) Soil Survey
 3. Class C (Medium High-Intensity) Soil Survey
 4. Class D (Medium Intensity) Soil Survey
- C. Geotechnical Investigation
- X D. Hydric soils mapping

Section 12. Stormwater management

- X A. Narrative
 - X 1. Development location
 - X 2. Surface water on or abutting the site
 - X 3. Downstream ponds and lakes
 - X 4. General topography
 - X 5. Flooding
 - X 6. Alterations to natural drainage ways
 - X 7. Alterations to land cover
 - X 8. Modeling assumptions
 - X 9. Basic standard
 - X 10. Flooding standard
 - X 11. General standard
 - X 12. Parcel size
 13. Developed area
 14. Disturbed area
 15. Impervious area
- X B. Maps
 - X 1. U.S.G.S. map with site boundaries
 - X 2. S.C.S. soils map with site boundaries
- X C. Drainage Plans (a pre-development plan and a post-development plan)
 - X 1. Contours
 - X 2. Plan elements
 - X 3. Land cover types and boundaries
 - X 4. Soil group boundaries

- X 5. Stormwater quantity subwatershed boundaries
- X 6. Stormwater quality subwatershed boundaries
- X 7. Watershed analysis points
- X 8. Hydrologic flow lines (w/flow types and flow lengths labeled)
- X 9. Runoff storage areas
- X 10. Roads and drives
- X 11. Buildings, parking lots, and other facilities
- X 12. Drainage system layout for storm drains, catch basins, and culverts
- X 13. Natural and man-made open drainage channels
- X 14. Wetlands
- X 15. Flooded areas
- X 16. Benchmark
- X 17. Stormwater detention, retention, and infiltration facilities
- X 18. Stormwater treatment facilities
- X 19. Drainage easements
- X 20. Identify reaches, ponds, and subwatersheds matching stormwater model
- X 21. Buffers
- N/A D. Runoff analysis (pre-development and post development)
 - N/A 1. Curve number computations
 - N/A 2. Time of concentration calculations
 - N/A 3. Travel time calculations
 - N/A 4. Peak discharge calculations
 - N/A 5. Reservoir routing calculations
- N/A E. Flooding Standard
 - N/A 1. Variance submissions (if applicable)
 - N/A a. Submissions for discharge to the ocean, great pond, or major river
 - N/A i. Map
 - N/A ii. Drainage plan
 - N/A iii. Drainage system design
 - N/A iv. Outfall design
 - N/A v. Easements
 - N/A b. Insignificant increase
 - N/A i. Downstream impacts
 - N/A c. Submissions for discharge to a public stormwater system
 - N/A i. Letter of permission
 - N/A ii. Proof of capacity
 - N/A ii. Outfall analysis and design (pictures)
 - N/A 2. Sizing of storm drains and culverts
 - N/A 3. Stormwater ponds and basins
 - N/A a. Impoundment sizing calculations
 - N/A b. Inlet calculations
 - N/A c. Outlet calculations
 - N/A d. Emergency spillway calculations
 - N/A e. Subsurface investigation report
 - N/A f. Embankment specifications
 - N/A g. Embankment seepage controls
 - N/A h. Outlet seepage controls
 - N/A i. Detail sheet
 - N/A j. Basin cross sections
 - N/A k. Basin plan sheet
 - X 4. Infiltration systems
 - N/A a. Well locations map
 - X b. Sand and gravel aquifer map
 - X c. Subsurface investigation report with test pit or boring logs
 - X d. Permeability analysis
 - X e. Infiltration structure design
 - X f. Pollutant generation and transport analysis
 - N/A g. Monitoring and operations plan
 - N/A i. Locations of storage points of potential contaminants
 - N/A ii. Locations of observation wells and infiltration monitoring plan

- N/A iii. Groundwater quality monitoring plan
- N/A 5. Drainage easement declarations.
- N/A F. Stormwater quality treatment plan peak discharge calculations
- N/A 1. Basic stabilization plan
 - N/A a. Ditches, swales, and other open channel stabilization
 - N/A b. Culvert and storm-drain outfall stabilization
 - N/A c. Earthen slope and embankment stabilization
 - N/A d. Disturbed area stabilization
 - N/A e. Gravel roads and drives stabilization
- X 2. General Standard
 - X a. Calculations for sizing BMP
 - X b. Impervious area calculation
 - X c. Developed area calculation
 - X d. Summary spreadsheet of calculations
- N/A 3. Phosphorus control plan
 - N/A a. Calculations for the site's allowable phosphorus export
 - N/A b. Calculations for determining the developed site's phosphorus export
 - N/A c. Calculations for determining any phosphorus compensation fees
- N/A 4. Offset Credits
 - N/A a. Urban impaired stream
 - N/A Offset credit calculation
 - N/A b. Phosphorus credit determination
 - N/A i. Location map
 - N/A ii. Scaled plan
 - N/A iii. Title and right
 - N/A iv. Demolition plan
 - N/A v. Vegetation plan
 - N/A vi. Offset credit calculation
 - N/A vii. Calculation for the new allowable export
- N/A 5. Runoff treatment measures
 - N/A a. structural measures
 - N/A i. Design drawings and specifications
 - N/A ii. Design calculations
 - N/A iii. Maintenance plan
 - N/A iv. TSS removal or phosphorus treatment factor determinations
 - N/A v. Stabilization plan
 - N/A b. Vegetated buffers
 - N/A i. Soil survey
 - N/A ii. Buffer plan
 - N/A iii. Turnout and level spreader designs
 - N/A iv. Deed restrictions
- N/A 6. Control plan for thermal impacts to coldwater fisheries
- N/A 7. Control plan for other pollutants
- N/A 8. Engineering inspection of stormwater management facilities
- X G. Maintenance of common facilities or property
- X 1. Components of the maintenance plan
 - X A. Maintenance of facilities by owner or operator
 - X 1. Site owner or operator (name legally responsible party)
 - X 2. Contact person responsible for maintenance
 - X 3. Transfer mechanism
 - X 4. List of facilities to be maintained
 - X 5. List of inspection and maintenance tasks for each facility
 - X 6. Identifications of any deed covenants, easements, or restrictions
 - X 7. Sample maintenance log
 - X 8. Copies of any third-party maintenance contracts
 - N/A B. Maintenance of facilities by homeowner's association
 - N/A 1. Incorporation documents for the association

- N/A 2. Membership criteria
- N/A 3. Association officer responsible for maintenance
- N/A 4. Establishment of fee assessment for maintenance work
- N/A 5. Establishment of lien system
- N/A 6. Reference to department order(s) in association charter
- N/A 7. Transfer mechanism from developer to association
- N/A 8. List of facilities to be maintained
- N/A 9. Identification of any deed covenants, easements, or restrictions
- N/A 10. Renewal of covenants and leases
- N/A 11. List of inspection and maintenance tasks for each facility
- N/A 12. Sample maintenance log
- N/A 13. Copies of any third-party maintenance contracts
- X C. Maintenance of facilities by municipality or municipal district
 - X 1. Identification of the municipal department or utility district
 - X 2. Contact person responsible for maintenance
 - X 3. Evidence of acceptance of maintenance responsibility
 - X 4. Transfer mechanism from developer
 - X 5. List of facilities to be maintained
 - X 6. List of inspection and maintenance tasks for each facility
 - X 7. Identifications of any deed covenants, easements, or restrictions
 - X 8. Sample maintenance log
- X 2. General inspection and maintenance requirements
 - X a. Drainage easements
 - X b. Ditches, culverts, and catch-basin systems
 - X c. Roadways and parking surfaces
 - X d. Stormwater detention and retention facilities
 - X 1. Embankment inspection and maintenance
 - X 2. Outlet inspection and clean-out
 - X 3. Spillway maintenance
 - X 4. Sediment removal and disposal
 - X e. Stormwater infiltration facilities
 - X 1. Sediment protection plan
 - X 2. Infiltration rehabilitation plan
 - X 3. Sediment removal and disposal
 - N/A 4. Groundwater monitoring plan
 - N/A f. Proprietary treatment devices
 - N/A g. Buffers
 - N/A h. Other practices and measures

Section 13. Urban Impaired Stream Submissions

- N/A 1. Off-site credits
- N/A 2. Compensation fees (Urban Impaired Stream/Phosphorus)
- N/A 3. Development impacts

Section 14. Basic Standards

- X A. Narrative
 - X 1. Soil types
 - X 2. Existing erosion problems
 - X 3. Critical areas
 - X 4. Protected natural resources
 - X 5. Erosion control measures
 - X 6. Site stabilization
- X B. Implementation schedule
- X C. Erosion and sediment control plan
 - X 1. Pre-development and post-development contours
 - X 2. Plan scale and elements
 - X 3. Land cover types and boundaries
 - X 4. Existing erosion problems
 - X 5. Critical areas
 - X 6. Protected natural resources

- X 7. Locations (general)
- X 8. Locations of controls
- X 9. Disturbed areas
- X 10. Stabilized construction entrance
- X D. Details and specifications (for both temporary and permanent measures)
- X E. Design calculations
- X F. Stabilization plan
 - X 1. Temporary seeding
 - X 2. Permanent seeding
 - X 3. Sodding
 - X 4. Temporary mulching
 - X 5. Permanent mulching
- X G. Winter construction plan
 - X 1. Dormant seeding
 - X 2. Winter mulching
- N/A H. Third-party inspections
 - N/A 1. Inspector's name, address, and telephone number
 - N/A 2. Inspector's qualifications
 - N/A 3. Inspection schedule
 - N/A 4. Contractor contact
 - N/A 5. Reporting protocol

Section 15. Groundwater

- X A. Narrative
 - X 1. Location and maps
 - N/A 2. Quantity
 - N/A 3. Sources
 - N/A 4. Measures to prevent degradation
- N/A B. Groundwater protection plan
- N/A C. Monitoring plan
 - N/A 1. Monitoring points
 - N/A 2. Monitoring frequency
 - N/A 3. Background conditions
 - N/A 4. Monitoring parameters
 - N/A 5. Personnel qualifications
 - N/A 6. Proof of training
 - N/A 7. Equipment and methods
 - N/A 8. Quality assurance/quality control
 - N/A 9. Reporting requirements
 - N/A 10. Remedial action plan
- N/A D. Monitoring well installation report
 - N/A 1. Well location map
 - N/A 2. Elevation data
 - N/A 3. Well installation data
 - N/A 4. Well construction details
 - N/A 5. Borehole logs
 - N/A 6. Summary of depth measurements
 - N/A 7. Characteristics of subsurface strata
 - N/A 8. Well installation contract
 - N/A 9. Schematic cross-sections
 - N/A 10. Monitoring point summary table
 - N/A 11. Protective casing
 - N/A 12. On-site well identification

Section 16. Water supply

- X A. Water supply method
 - N/A 1. Individual wells (evidence of sufficient/healthful supply)
 - N/A a. Support of findings by well drillers
 - N/A b. Support of findings by geologist

- N/A 2. Common well(s) (reports)
- N/A a. Hydrogeology report
- N/A b. Engineering report
- N/A c. Well installation report
- N/A d. Long-term safe yield and zone of influence determination
- N/A e. Public water supply
 - N/A i. Proposed well or wells
 - N/A ii. Existing well or wells
 - N/A iii. Water quality analysis
- N/A 3. Well construction in shallow-to-bedrock areas
- N/A 4. Additional information
- N/A 5. Off-site utility company or public agency
- N/A 6. Other sources
- X B. Subsurface wastewater disposal systems (locations of systems and wells)
- X C. Total usage (statement re: total anticipated water usage)

Section 17. Wastewater disposal

- N/A A. On-site subsurface wastewater disposal systems (investigation results)
- N/A 1. Site plan
- N/A 2. Soil conditions summary table
- N/A 3. Logs of subsurface explorations
- N/A 4. Additional test pits, borings or probes
 - N/A a. Soil conditions A
 - N/A b. Soils with Profiles 8 and 9 parent material
 - N/A c. Soil conditions D
 - N/A d. Disposal field length 60 feet or greater
- N/A 5. 3-bedroom design
- N/A 6. Larger disposal systems
 - N/A a. System design details
 - N/A b. Plan view
 - N/A c. Cross sections
 - N/A d. Test pit data
 - N/A e. Mounding analysis
- N/A B. Nitrate-nitrogen impact assessment
- N/A 1. When required
 - N/A a. Exempted_____
 - N/A i. Conventional systems meeting certain setbacks
 - N/A ii. Denitrification systems
 - N/A b. Special conditions and other exemptions
- N/A 2. Assumptions
 - N/A a. Initial concentration
 - N/A b. Background concentration
 - N/A c. Contribution from development
 - N/A d. Mixing and dilution
 - N/A e. Severe-drought scenario
 - N/A f. Wastewater flow to subsurface wastewater disposal fields
- N/A 3. Assessment report minimum requirements
 - N/A a. Narrative and calculations
 - N/A b. Site plan
 - N/A i. Well locations
 - N/A ii. 10 mg/l and 8 mg/l isocons
 - N/A iii. Groundwater contours and groundwater flow divides
 - N/A c. References
- N/A 4. Denitrification systems
 - N/A a. Design plans and specifications
 - N/A b. Installation information
 - N/A c. Monitoring plan
 - N/A d. Maintenance

- N/A e. Backup system
- X D. Municipal facility or utility company letter
- N/A E. Storage or treatment lagoons

- X **Section 18. Solid waste** (list: type, quantity, method of collection and location)
- X A. Commercial solid waste facility (final disposal location)
 - X B. Off-site disposal of construction/demolition debris (final disposal location)
 - N/A C. On-site disposal of woodwaste/land clearing debris
 - N/A 1. Applicability of rules (evidence re: applicability of rules)
 - N/A 2. Burning of wood wastes
 - N/A a. Delineation on site plan
 - N/A b. Plans for handling unburned woodwaste and woodash
 - N/A c. Evidence of capacity to accept waste (approved facility)
 - N/A d. Usage of materials
 - N/A e. Data on mixing ratios and application rates
 - N/A D. Special or Hazardous Waste

- Section 19. Flooding**
- X A. Explanation of flooding impact
 - X B. Site plan showing 100-year flood elevation
 - N/A C. Hydrology analysis
 - X D. FEMA flood zone map with site boundaries

- Section 20. Blasting**
- N/A A. Site Plan or map
 - N/A B. Report
 - 1. Assessment
 - 2. Blasting plan

- Section 21. Air emissions** (narrative and summary)
- N/A A. Point and non-point sources identified
 - N/A B. Emission components (point sources)

- Section 22. Odors**
- N/A A. Identification of nature/source
 - N/A B. Estimate of areas affected
 - N/A C. Methods of control)

N/A **Section 23. Water vapor** (narrative)

N/A **Section 24. Sunlight** (statement and drawing, if required)

- Section 25. Notices**
- X A. Evidence that notice sent
 - X B. List of abutters for purposes of notice

Supplimental requirements for Wind Energy Developments only:

- Section 26. Shadow flicker**
- N/A A. A copy of the Windpro Anaylsis and associated narrative

- Section 27. Public Safety**
- N/A A. Design safety certifications or other documents attesting to the safety of the wind turbine equipment.
 - N/A B. Evidence pertaining to overspeed controls
 - N/A C. Site plan documenting safety setbacks zones for each wind turbine
 - N/A B. Other documents as necessary to demonstrate safety considerations

Section 28. Tangible Benefits

N/A A. Narrative demonstration of tangible benefits

Section 29. Decommissioning

N/A A. Description of implementation trigger for decommissioning

N/A B. Description of extent of decommissioning

N/A C. Itemization of total cost to complete decommissioning

N/A D. Demonstration of financial assurance for completeness of decommissioning plan

Section 30. Generating Facility-visual Quality and Scenic Character

N/A A. (narrative, description, visual impact analysis)

CERTIFICATION – SITE LOCATION OF DEVELOPMENT LAW

(To be completed and sent to the DEP after the contractor and any subcontractors have been shown a copy of the approval with conditions by the developer, and the owner and each contractor and subcontractor have certified, on this form provided by the department, that the approval and conditions have been received and read, and the work will be carried out in accordance with the approval and conditions.)

Name of Applicant: City of Lewiston _____

Town where project located: Lewiston _____

Type of project: Franklin Pasture _____

Permit number: _____

Work done by a contractor or subcontractor pursuant to an approval under the Site Location of Development Act (Site Law) may not begin before the contractor and any subcontractors have been shown a copy of the approval with conditions by the developer, and the owner and each contractor and subcontractor have certified, on this form provided by the department, that the approval and conditions have been received and read, and the work will be carried out in accordance with the approval and conditions. Completed certifications forms must be forwarded to the department.

This certification form must be completed and mailed to sent to Shari Berry Goodwin, Department of Environmental Protection, Bureau of Land and Water Quality, 17 State House Station, Augusta, Maine 04333 or to the project manager at the appropriate office prior to start of construction. Separate forms may be submitted for each person, or persons may be listed on a single form. List the name, address, phone number, of each person signing the form.

I certify that I have personally received and read the approval and conditions described below, and that the work will be carried out in accordance with the approval and conditions.

Owner (Applicant) Name (typed or printed), address, and phone number :	
Signature:	

Contractor Name (typed or printed), address, and phone number:	
Signature:	

Subcontractor Name (typed or printed), address, and phone number:	
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**CITY OF LEWISTON
FRANKLIN PASTURE
Lewiston, Maine**

DEP SITE LOCATION MINOR AMENDMENT APPLICATION

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SECTION 1

DEVELOPMENT DESCRIPTION

Franklin Pasture is located on an approximately 100 acre parcel in the center of Lewiston. It is bound by East Avenue to the southeast, Bartlett Street to the southwest, Webster Street to the northeast and Birch, Caron and Sylvan Streets to the northwest. The land contains Marcotte Park (a city park), Lewiston High School, a Multi-Purpose Center, A Culinary Arts Center and various recreational facilities. The City of Lewiston is proposing to implement a series of renovations and upgrades to the recreational facilities located in Franklin Pasture.

Undeveloped portions of the Franklin Pasture land are steeply sloped, wooded, contain ledge and/or include wetland areas.

This application is for a series of related improvements and renovations to various recreational facilities. In order to organize the improvements, this application has identified seven (7) specific areas within Franklin Pasture that are part of the overall improvement scheme. However, they are relatively independent of the other portions of the site and could be considered individually. These areas are designated as Upper Franklin, Marcotte Park, Shoebox, Franklin Baseball, Franklin Main, Tennis Courts and Lewiston High School (LHS) Practice Field.

Upper Franklin

Improvements at Upper Franklin primarily consist of paving the existing gravel parking lot, paving an existing walkway along the first base line and construct a small building for a press box with storage below. The existing gravel parking lot is adjacent to a paved access drive and a paved multi-purpose trail. A walkway along the first base line will be 5 feet wide by approximately 125 feet long on the outside of the ball field fence. Other incidental improvements include installing field lights, a sound system, a new score board and replacing a portable irrigation system with a permanent system.



Marcotte Park

Improvements at the Marcotte Park section of Franklin Pasture involves the removal of approximately 4,000 square feet of pavement and removal of a paved access drive along the outfield. Also included is upgrading and expanding the existing support building. The support building is a storage shed and the new building will be slightly larger. The access road will be removed so that the softball field can be expanded. Other improvements include regarding and leveling the softball field and remove light poles along the edge of the field.

Shoebox

The shoebox is an area adjacent to the main sports field. Improvements in this section comprise of improving existing drainage and paving the existing gravel access road. Drainage improvements are to install approximately 300 linear feet of under-drain adjacent to the existing bleachers and grade the area to drain away from the bleachers.

Franklin Baseball

Improvements to the Franklin Baseball field are mainly to grade an existing grass

area adjacent to the field to provide a picnic and spectator viewing area. The existing area is fairly steep and is not a good place for a picnic. Also included is a small two story building to serve as a press box with storage at the lower level. Other improvements include adding a scoreboard, improvements to the cross country trail, field lighting and sound system, and replacing the manual irrigation system with an automatic system.

Franklin Main

Improvements to Franklin Main consist of installing a new artificial turf field in place of the existing natural turf field, relocating the two long jump areas, upgrading and expanding the concession stand and adding restroom facilities. Other improvements include resurfacing the track, repairing the existing fencing, upgrading the scoreboard, sound system and field lighting, and adding bleacher seats to the visitor side of the field.

Tennis Courts

Improvements to the tennis courts include a new bathroom facility and some additional moveable aluminum bleachers. Other improvements include resurfacing the tennis courts, upgrading and repairing surface drainage, and possibly installing a wind screen.

LHS Practice Field

Improvements at LHS practice fields include replacing the existing natural turf field with artificial turf. Other improvements include field lighting, some fixed aluminum bleachers, a scoreboard and a sound system.

- A. A Site Location Map is included at the end of this section.
- B. The proposed schedule for the construction of the building and site development, and for installation of erosion control and storm water management measures is as follows:

July 2013: Install erosion control barriers. Excavate main field and haul topsoil to Lewiston DPW stockpile off-site. Install crushed stone and artificial turf. Begin construction of concession stand addition.

August 2013: Complete construction of artificial turf sports field and concession stand addition. Install sod on any disturbed natural grass areas. Resurface track for September open. Install bleachers and relocate long jump/triple jump to Shoebox.

September 2013: Complete all construction and remove sediment control barriers.

Spring 2014: Inspect sod placement in disturbed areas and repair or replace from winter damage.

- June 2014: Resurface tennis courts. Install erosion control at access road in Marcotte Park. Remove paving areas around Marcotte Park including access road. Scarify gravel and install four inches of topsoil. Sow grass seed, lime and slow release fertilizer.
- June 2015: Construct 20 ft. by 30 ft. press box and storage building at Franklin Baseball.
- June 2016: Pave parking lot in Upper Franklin.
- June 2017: Construct infield at Marcotte Park softball field.
- June 2018: Begin construction of Lewiston High School (LHS) practice field artificial turf. Install erosion control barriers and construction entrance. Excavate topsoil and stockpile offsite. Install artificial turf field with crushed stone. Repair any disturbed natural grass areas with sod or loam and seed as appropriate.
- September 2018: Complete construction of artificial turf field. Remove erosion control barriers.
- Spring 2019: Inspect disturbed areas for any winter damage and repair or replace as needed.

C. The drawing set is attached.

SITE OVERVIEW PLAN	C00.1
SITE NOTES	C00.2
SITE EROSION CONTROL NOTES	C00.3
EXISTING SITE CONDITIONS AND DEMOLITION PLAN	C10.1
EXISTING SITE CONDITIONS AND DEMOLITION PLAN	C10.2
PRE-DEVELOPMENT DRAINAGE PLAN	C11.1
POST-DEVELOPMENT DRAINAGE PLAN	C12.1
SITE LAYOUT PLAN	C20.1
SITE LAYOUT PLAN	C20.2
SITE LAYOUT PLAN	C20.3
SITE LAYOUT PLAN	C20.4
SITE GRADING AND UTILITY PLAN	C30.1
SITE GRADING AND UTILITY PLAN	C30.2
SITE DETAILS	C50.1

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SECTION 2

TITLE, RIGHT, OR INTEREST

Copies of deeds attached.

Book 342 Page 198

Book 972 Page 399

Book 1029 Page 608

Book 2643 Page 211

KNOW ALL MEN BY THESE PRESENTS, that we, GEORGE A. HESS of Auburn and C. MARTIN BERMAN of Lewiston, both Androscoggin County, State of Maine, duly appointed and acting personal representatives of the ESTATE OF ROSARIO L. PAQUETTE, deceased, as shown by the probate records of the County of Androscoggin, Maine, Docket Number 89-163, and having given notice to each person succeeding to an interest in the real property described below at least ten (10) days prior to the sale, by the power conferred by the Probate Code and every other power, for consideration paid grant to the CITY OF LEWISTON, a municipal corporation, the real property in Lewiston, Androscoggin County, State of Maine described as follows:

A certain lot or parcel of land in said Lewiston, bounded and described as follows to wit: Commencing at a point in the northeasterly line of Bartlett Street six hundred fifty (650) feet northwesterly from the southeasterly line of Androscoggin Avenue, extended in a northeasterly direction; thence in a northwesterly direction by the said north easterly line of Bartlett Street fifty (50) feet; thence at right angles in a northeasterly direction one hundred (100) feet; thence at right angles in a southeasterly direction fifty (50) feet; thence at right angles in a southwesterly direction one hundred (100) feet to the point of beginning.

Subject to the restriction that no building erected upon the above described lot shall be placed nearer the line of Bartlett Street than fifteen (15) feet. Also subject to the restriction that no dwelling house which may be erected thereon shall be for the occupancy of not more than two (2) families and not more than one (1) such dwelling house shall be erected upon the above described lot.

THING the same premises conveyed in a deed from the Franklin Company to Rosario Paquette dated February 13, 1951 and recorded in the Androscoggin County Registry of Deeds in Book 342, Page 244.

TO HAVE AND TO HOLD the above granted premises unto the said City of Lewiston, its successors and assigns forever.

AND, we the said George A. Hess and C. Martin Berman, in our capacity do hereby covenant to and with the said City of Lewiston that we are the lawful personal representatives of the Estate of Rosario L. Paquette and that in making this conveyance we have, in all respects, acted in pursuance of the authority granted to us by the said Probate Code.

IN WITNESS WHEREOF, we have hereunto set our hands and seals on this 7th day of January, 1990.

WITNESS:

Hilda M. Townsend
CMB

Cynthia L. Holbrook
CMB

ROSARIO L. PAQUETTE ESTATE

George A. Hess
George A. Hess, Pers. Rep.

C. Martin Berman
C. Martin Berman, Pers. Rep.

STATE OF MAINE
ANDROSCOGGIN, SS.

January 7, 1990

Personally appeared the above-named C. Martin Berman and acknowledged the foregoing to be his free act and deed in his said capacity.

Before me,

Hilda M. Townsend
Notary Public/Attorney at Law

Printed or typed name of official: Hilda M. Townsend

Know all Men by these Presents,

That the Franklin Company, a Corporation duly established by law, in the State of Maine, in consideration of One Dollar paid by the City of Lewiston, a Municipal Corporation in the County of Androscoggin in the State of Maine the receipt whereof is hereby acknowledged, do hereby grant, convey, remise, release, and forever quit-claim unto the said City of Lewiston its successors...

A certain lot or parcel of land lying and being in said City of Lewiston bounded and described as follows to wit: Commencing at a granite monument in the Northwesterly line of Sylvan Avenue, as laid out and accepted by the Municipal Officers of said Lewiston extended in a Southwesterly direction, Seven Hundred ninety-five (795) feet Southwesterly from the Southwesterly line of Webster Street: Thence in a Southwesterly direction, by the said Northwesterly line of Sylvan Avenue extended in a Southwesterly direction, One Thousand and Seventy-eight and twenty-seven hundredths (1078.27) feet to a granite monument in the Easterly line of Howard Street, as laid out and accepted by the Municipal Officers of said Lewiston, extended in a Southerly direction: Thence in a Northerly direction by the said Easterly line of Howard Street extended in a Southerly direction Seven Hundred Fifteen and nine tenths (715.9) feet to a granite monument in the Southerly line of Birch Street, as laid out and accepted by the Municipal Officers of said Lewiston, extended in an Easterly direction: Thence in an Easterly direction by the said Southerly line of Birch Street, extended in an Easterly direction, Three Hundred nineteen and six tenths (319.6) feet to a granite monument located at a point Four Hundred Fifty (450) feet Northwesterly from and measured at right angles to the said Northwesterly line of Sylvan Avenue extended in a Southwesterly direction: Thence in a Northeasterly direction parallel with the said South Easterly line of Sylvan Avenue, extended in a Southwesterly direction, Two Hundred Ten and nine tenths (210.9) feet to a granite monument in the Easterly line of Jefferson Street, as laid out and accepted by the Municipal Officers of said Lewiston, extended in a South-erly direction: Thence in a Northerly direction by the said Easterly line of Jefferson Street extended in a Southerly direction Four Hundred Thirty-eight and five tenths (438.5) feet to a granite monument Three Hundred and Eighty-five hundredths feet (300.85) feet from the Southerly line of Walnut Street: Thence in a Southeasterly direction, parallel with the said Southwesterly line of Webster Street Eight Hundred Twenty-Six and twenty-eight hundredths (826.28) feet to the point of beginning. Subject to the restriction that for a period of twenty years from the date hereof the said premises shall be used only for school purposes and uses incident thereto and recreational purposes.

with all the privileges and appurtenances thereto belonging. We have and do hold the above released premises to the said City of Lewiston its successors their and assigns, to its use and behalf forever. And the said Corporation do covenant with the said City of Lewiston its Successors and assigns, that the premises are free from all incumbrances, made or suffered by said Corporation; and that the said Corporation shall warrant and defend the same to the said City of Lewiston its successors their and assigns forever, against the lawful claims and demands of all persons, claiming by, through, or under said Corporation, but against none other.

In Witness Whereof, the said Franklin Company has caused its corporate seal to be affixed to these presents, and the same to be signed by Charles Stetson its Treasurer thereunto duly authorized,

this fifth day of February in the year of our Lord one thousand nine hundred and twenty-four.

Signed, Sealed and Delivered in presence of FRANKLIN COMPANY (CORP. SEAL) Charles W. Jordan Charles Stetson Treasurer

Countersigned Raynor M. Gardner President

COMMONWEALTH OF MASSACHUSETTS.

Suffolk ss. Boston On the fifth day of February in the year of our Lord one thousand nine hundred and twenty-four personally appeared before me the above-named Charles Stetson Treasurer of the Franklin Company, and acknowledged the foregoing instrument to be the free act and deed of said Corporation.

Charles W. Jordan (SEAL) Commissioner of Maine

Received March 11, 1924 at 3 o'clock, 10 M. P. M. and recorded from the original.

DEP Site Location Application Lewiston Recreation Complex at Franklin Pasture

Know all Men by these Presents,

THAT the FRANKLIN COMPANY, a Corporation duly established by law in the State of Maine, in consideration of One dollar and other valuable consideration

This being a gift no documentary stamps are necessary.

paid by

THE INHABITANTS OF THE CITY OF LEWISTON a municipal corporation in Androscoggin County and State of Maine

the receipt whereof is hereby acknowledged, does hereby grant, convey, remise, release, and forever quit-claim unto the said Inhabitants of the City of Lewiston, its successors

and assigns.

A certain lot or parcel of land in Lewiston, County of Androscoggin and State of Maine and bounded and described as follows: Commencing at a point on the extension of the northwesterly line of Sylvan Avenue where it would intersect the southwesterly line of Caron Street, said streets being located as laid out and accepted by municipal officers of the City of Lewiston, said point also being the most easterly corner of a lot of land conveyed by this grantor to the inhabitants of the City of Lewiston by Deed #1843, dated Feb. 5, 1947 and recorded in the Androscoggin County Registry of Deeds, Book 342, Page 198; thence in a southwesterly direction along the southeasterly line of said land conveyed to the inhabitants of the City of Lewiston one thousand seventy-eight and twenty-seven hundredths feet (1,078.27) to a granite monument in the easterly line of Howard Street as laid out and accepted by the municipal officers of said Lewiston, extended in a southerly direction; thence in a southeasterly direction on a course at right angles to the last described course and on land of the grantor herein four hundred (400) feet to a stone monument; thence in a northeasterly direction along a line at right angles to the last described course one thousand two hundred twenty-eight and twenty-seven hundredths (1,228.27) feet to a stone monument, said monument being located one hundred (100) feet southwesterly as measured normal to the southwesterly line of Germaine Street as laid out and accepted by the municipal officers of said Lewiston extended southeasterly; thence in a northwesterly direction along a line parallel to the said southwesterly line of Germaine Street extended southeasterly about three hundred fifty (350) feet to a point on the southeasterly line of Sylvan Avenue; thence in a southwesterly direction along said southeasterly line of Sylvan Avenue one hundred fifty (150) feet to the intersection of said southeasterly line of Sylvan Avenue and the southwesterly line of Caron Street; thence in a northwesterly direction along the southwesterly line of Caron Street fifty (50) feet to the point of beginning. Containing about eleven (11) acres. Subject, however, to easement for a sewer as conveyed by this grantor to this grantee by deed #1764, dated June 10, 1936.

The within premises are conveyed subject to the express restriction that the grantee shall develop and perpetually hold the within premises only for educational, recreational, or cultural purposes for the benefit of the residents of the grantee and the residents of the municipalities in the surrounding area of the grantee. This conveyance is made on the express condition subsequent that the grantee shall expend for improvements of the within premises not less than the sum of \$200,000.00 within five years from the date of this conveyance to effectuate the intended purposes of this gift and in furtherance of this condition the grantee shall within three months from the end of said five year period file with the grantor its successors or assigns a written accounting for all such expenditures and the purpose for which such expenditures were made. Upon the failure of the grantee to comply with this condition, the title to the within premises together with all buildings, improvements, and any other additions to the premises shall revert to the grantor and the grantor shall have an immediate right of re-entry for possession of the within premises.

The grantee assumes and agrees to pay the 1957 real estate taxes.

with all the privileges and appurtenances thereto belonging.

KNOW ALL MEN BY THESE PRESENTS,

THAT the FRANKLIN COMPANY, a Corporation duly established by law in the State of Maine, in consideration of One Dollar and other valuable consideration paid by the CITY OF LEWISTON, a municipal corporation in the County of Androscoggin and State of Maine, the receipt whereof is hereby acknowledged, does hereby grant, convey, remise, release and forever quit-claim unto the said CITY OF LEWISTON its successors and assigns, a certain lot or parcel of land situated in said Lewiston, bounded and described as follows, to wit:

BEGINNING at the intersection of the northwesterly line of East Avenue with the northeasterly line of Bartlett Street; thence running northwesterly along the northeasterly line of Bartlett Street one thousand (1,000) feet to the southerly corner of a parcel of land conveyed by this grantor to Jean Poulin et al by deed no. 2045; thence northeasterly along the southeasterly line of said Poulin one hundred (100) feet to the easterly corner of said Poulin; thence northwesterly along the northeasterly line of said Poulin one hundred (100) feet to the northerly corner of said Poulin; thence southwesterly along the northwesterly line of Poulin one hundred (100) feet to the westerly corner of Poulin and the northeasterly line of Bartlett Street; thence northwesterly along the northeasterly line of Bartlett Street five hundred (500) feet to the southerly corner of land conveyed to Rosario Paquette by deed no. 1896 dated February 13, 1951; thence northeasterly along the southeasterly line of said Paquette one hundred (100) feet to the easterly corner of said Paquette; thence northwesterly along the northeasterly line of said Paquette fifty (50) feet to the northerly corner of said Paquette; thence southwesterly on the northwesterly line of said Paquette one hundred (100) feet to the westerly corner of said Paquette and the northeasterly line of Bartlett Street; thence northwesterly on the northeasterly line of Bartlett Street two hundred fifty (250) feet, more or less, to the southerly corner of land conveyed by this grantor to Lincoln Construction Inc. by deed no. 2059 dated August 26, 1964; thence northeasterly along the southeasterly line of said company two hundred fifty (250) feet to the easterly corner of said company; thence northwesterly along the northeasterly line of said deed no. 2059 and the northeasterly line of deed no. 1993 dated February 29, 1960 and deed no. 1986 dated March 12, 1959 both also conveyed by this grantor to said company four hundred fifty (450) feet to the northerly corner of the parcel described in said deed no. 1986; thence southwesterly along the northwesterly line of said construction company two hundred fifty (250) feet to the westerly corner of said deed no. 1986 and the northeasterly line of Bartlett Street; thence northwesterly along the northeasterly line of Bartlett Street fifty (50) feet to the southerly corner of land conveyed by this grantor to Robert Mailhot by deed no. 1989 dated August 7, 1959; thence northeasterly by the southeasterly line of said Mailhot line one hundred (100) feet to the easterly corner thereof; thence northwesterly along the northwesterly line of said Mailhot land eighty-eight and ninety-three

B. 1027
P. 545 //

hundredths (88.93) feet to the southerly line of land conveyed by this grantor to Rene J. Lecompte by deed no. 2028 dated October 10, 1962; thence running easterly along the southerly line of said Lecompte eight and eight tenths (8.8) feet to the southeasterly corner of said Lecompte; thence running northerly along the easterly line of said Lecompte land fifty (50) feet to the northeast corner thereof and continuing in the same course fifty (50) feet to the southeasterly corner of land conveyed by this grantor to Mar-Vac Photo Service by deed no. 2047 dated August 28, 1963, and the southwesterly corner of land conveyed by this grantor to said Mar-Vac by deed no. 3025 dated September 12, 1969; thence running easterly on the southerly line of said Mar-Vac one hundred (100) feet to the southeasterly corner of said Mar-Vac; thence running northerly on the easterly line of said Mar-Vac one hundred fifty (150) feet to the southeasterly corner of land conveyed by this grantor to Screen Printing Co. by deed no. 3017, dated November 14, 1968; thence running northerly on the easterly line of said Company fifty (50) feet to the northeasterly corner of said Company; thence continuing in the same northerly course to the southeasterly corner of land conveyed by this grantor to said St. Laurent by deed no. 3005 dated December 18, 1967; thence running northerly along the easterly line of said St. Laurent fifty (50) feet to the northeasterly corner of said St. Laurent and the southeasterly corner of land conveyed by this grantor to Noel Duelllette et al by deed no. 2099, dated October 2, 1967; thence northerly along the easterly line of said Duelllette land two hundred (200) feet to the northeasterly corner thereof and the southeasterly corner of land conveyed by this grantor to Elijah McKenney by deed no. 1319 dated June 19, 1911; thence continuing northerly along the easterly line of said McKenney land fifty (50) feet to the northeasterly corner thereof and the southeasterly corner of land conveyed by this grantor to said McKenney by deed no. 1162 dated May 6, 1903; thence northerly along the easterly line of said McKenney's land to the northeasterly corner thereof and the southerly line of Birch Street; thence running in an easterly direction along the southerly line of Birch Street fifty (50) feet to the northwesterly corner of land conveyed by this grantor to Louis Gabel et al by deed no. 1255 dated June 28, 1909; thence running southerly along the westerly line of said Gabel one hundred (100) feet to the southwesterly corner of Gabel's land; thence running easterly along the southerly line of said Gabel's land one hundred (100) feet to the southeasterly corner of Gabel's land; thence running northerly along the easterly line of said Gabel's land one hundred (100) feet to the southerly line of Birch Street; thence running easterly along the southerly line of Birch Street six hundred fifty (650) feet to the northwesterly corner of land conveyed by this grantor to the City of Lewiston by deed no. 1843 dated February 5, 1947; thence running southerly along the westerly line of said City of Lewiston's land seven hundred fifteen (715) feet, more or less, to the southwesterly corner of the parcel described in said deed no. 1843 and the northwesterly corner of land conveyed by this grantor to the City of Lewiston by deed no. 2085 dated March 16, 1967; thence running in a southeasterly direction along the southwesterly line of the City of Lewiston four hundred (400) feet to the southerly corner of said parcel conveyed in said deed no. 2085; thence running in a northeasterly direction along the southeasterly line of the land of said City of Lewiston twelve hundred twenty-eight (1228) feet, more or less, to the easterly corner of said City of Lewiston; thence running in a northwesterly

direction along the northeasterly line of land of the said City of Lewiston three hundred fifty (350) feet, more or less, to the southeasterly line of Sylvan Avenue; thence running northeasterly along the southeasterly line of Sylvan Avenue one hundred fifty (150) feet to the westerly corner of land conveyed by this grantor to Regina Marcotte et al by deed no. 2057 dated January 22, 1964; thence running in a southeasterly direction along the southwesterly line of said Marcotte one hundred (100) feet to the southerly corner of said Marcotte; thence running in a northeasterly direction along the southeasterly line of Marcotte one hundred (100) feet to the easterly corner of said Marcotte and the southerly corner of land conveyed by this grantor to Louis Collet et al by deed no. 2032 dated November 27, 1962; thence continuing northeasterly along the southeasterly line of said Collet to the easterly corner of said Collet; thence running northwesterly along the northeasterly line of said Collet one hundred (100) feet to the southeasterly line of Sylvan Avenue; thence running in a northeasterly direction along the southeasterly line of Sylvan Avenue fifty (50) feet to the westerly corner of land conveyed by this grantor to George B. O'Connell by deed no. 1842 dated February 5, 1947; thence running in a southeasterly direction along the southwesterly line of said O'Connell one hundred fifty (150) feet to the southerly corner of said O'Connell; thence running in a northeasterly direction along the southeasterly line of said O'Connell one hundred seventeen and one-half (117 1/2) feet to the easterly corner of O'Connell and the westerly corner of land conveyed by this grantor to Alma Goyette by deed no. 1660 dated November 4, 1964; thence running in a southeasterly direction along the southwesterly line of said Goyette fifty (50) feet to the southerly corner thereof and the westerly corner of land conveyed by this grantor to Francis Dube by deed no. 1622 dated June 12, 1923; thence continuing in a southeasterly direction along the southwesterly line of Dube fifty (50) feet to the southerly corner of said Dube; thence running northeasterly on the line of said Dube one hundred twenty-seven and five tenths (127.5) feet to the southwesterly line of Webster Street; thence running southeasterly on the southwesterly line of Webster Street one hundred fifty (150) feet to the northerly corner of land conveyed by this grantor to Henri Nolin by deed no. 1638 dated November 20, 1923; thence running southwesterly on the line of said Nolin one hundred twenty-seven and five tenths (127.5) feet to the westerly corner of said Nolin; thence running in a southeasterly direction along the southwesterly line of said Nolin fifty (50) feet to the southerly corner thereof and the westerly corner of land conveyed by this grantor to Henri Nolin by deed no. 1748, dated December 9, 1924; thence continuing in a southeasterly direction along the southwesterly line of said Nolin fifty (50) feet to the northwesterly line of land conveyed by this grantor to the Tri-Enterprise Corp. by deed no. 2013, dated December 11, 1961; thence running southwesterly along the northwesterly line of said Tri-Enterprise to the westerly corner of said Tri-Enterprise; thence running southeasterly along the southwesterly line of Tri-Enterprise one hundred fifty-four and seventy-seven hundredths (154.77) feet to the northwesterly line of East Avenue; thence running southwesterly along the northwesterly line of East Avenue fifty (50) feet; thence running northwesterly along the southwesterly side of proposed Barron Avenue one hundred twenty-five (125) feet; thence running at right angles southwesterly two hundred (200) feet; thence running southeasterly one hundred forty-two and fifty-two hundredths (142.52) feet to the northwesterly line of a parcel of land conveyed by this grantor to the City of Lewiston by deed no. 3003 dated November 17, 1967 (being a strip of land conveyed for the purpose of widening East Avenue); thence southwesterly along the northwesterly line of said parcel

ROBERT CASAVANT PARCEL

by this grantor to the Trustees of the Knights of Columbus Home Trust by deed no. 2024 as corrected by deed no. 2027 dated September 14, 1962; thence running northwesterly by the north-easterly line of said Trusts' land in said deed no. 2027 two hundred and fifty (250) feet to the northwesterly corner of said Trusts' land; thence southwesterly by the northwesterly line of said Trusts' land one hundred fifty (150) feet to the southwesterly corner of said Trusts' land and the northwesterly corner of land conveyed to said Trust by deed no. 2073 dated February 16, 1966; thence southwesterly by the northwesterly line of said Trusts' land described in deed no. 2073 one hundred (100) feet to the southwesterly corner of said Trusts' land and the northwesterly corner of land conveyed by this grantor to the Young Women's Christian Association by deed no. 3004 dated December 19, 1967; thence running along the northwesterly line of said Association three hundred fifty and one-half (350 1/2) feet to the northwesterly corner of land conveyed by this grantor to said Association by deed no. 3021 dated January 2, 1969 and continuing southwesterly along the northwesterly line of said last mentioned deed one hundred forty-nine (149) feet to the westerly corner of said Association; thence running in a southeasterly direction along the line of said Association two hundred forty (240) feet to the northwesterly line of East Avenue; thence running southwesterly by the northwesterly line of East Avenue sixteen hundred seventy-seven (1677) feet, more or less, to the point of beginning.

The premises are subject to sewer easements conveyed by this grantor to the City of Lewiston by deeds no. 1764, 1766 and 1957.

The premises are subject to such rights as may exist for the use of proposed Horton Street Extension bounded on the west by the east lines of deeds number 1162 and 1319 and on the east by the west line of deed no. 1255 and to proposed Barron Avenue bounded on the west by the east line of deed no. 2032 and on the east by the west line of deed no. 1842 and proposed Barron Avenue bounded on the east by the west line of deed no. 2013 and on the west by a line parallel and fifty (50) feet distant from the west line of parcel in deed no. 2013, and other rights of way of record.

with all the privileges and appurtenances thereto belonging.

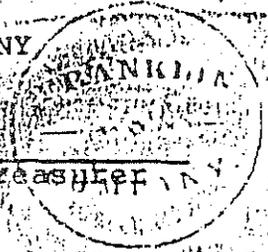
TO HAVE AND TO HOLD, the above released premises to the said City of Lewiston, its successors and assigns to its use and behoof forever. And the said Corporation does covenant with the said City of Lewiston its successors and assigns, that the premises are free from all incumbrances made or suffered by said Corporation; and that the said Corporation shall warrant and defend the same to the said City of Lewiston, its successors and assigns forever, against the lawful claims and demands of all persons claiming by, through, or under said Corporation, but against none other.

its corporate seal to be affixed to these presents, and the same to be signed by John W. King, its Treasurer, thereunto duly authorized, this *seventeenth* day of *February* in the year of our Lord one thousand nine hundred and seventy-one.

SIGNED, SEALED AND DELIVERED)
IN PRESENCE OF)

FRANKLIN COMPANY

By *John W King* Treasurer



COMMONWEALTH OF MASSACHUSETTS, SUFFOLK, SS., BOSTON:

On the *17th* day of *February* in the year of our Lord one thousand nine hundred and seventy-one, personally appeared before me, the above-named John W. King, Treasurer of the FRANKLIN COMPANY, and acknowledged the foregoing instrument to be the free act and deed of said Corporation, and his free act and deed.

Walter C. Nefferson
Commissioner of Notaries
Notary Public
Expires April 16, 1971



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and recorded from the original

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SECTION 3

FINANCIAL CAPACITY

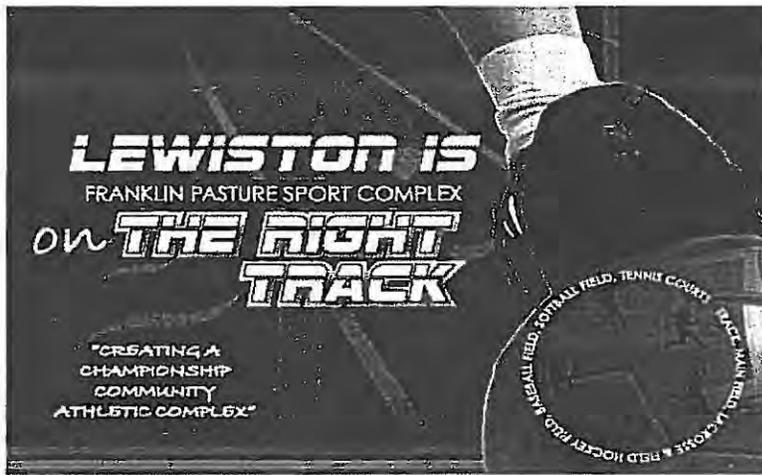
A. Estimated Costs:

The estimated total project cost is \$3,570,000 which is itemized as follows:

Upper Franklin	\$220,000
Marcotte Park	\$75,000
Shoebox	\$75,000
Franklin Baseball	\$500,000
Franklin Main	\$1,350,000
Tennis Courts	\$150,000
Lewiston High School Practice Field	<u>\$1,200,000</u>
 Total	 <u>\$3,570,000</u>

B. Financing:

The City of Lewiston will fund this project with a combination of capital improvement bonds and community fund raising.



Franklin Pasture
Trustees

For Project & Donation Information
Contact: Jason Fuller at 795-4190,
ext. 2211 or
jfuller@lewistonpublicschools.org

State of Maine
Department of Environmental Protection – Central Maine Regional Office
17 State House Station
Augusta, Maine 04333-0017

RE: Franklin Pasture Complex Permitting – Financial Capacity

To Whom It May Concern:

The City of Lewiston is proposing a \$5 million capital campaign to make improvements to their Franklin Pasture Sports Complex through several phases. Phase I includes the installation of artificial football turf, recoating the track, enhanced concessions, restrooms, and additional bleacher seating.

The City is currently involved in an ongoing Capital Campaign fund drive that partners various community members and business donations with bond proceeds and grant awards to be applied to this phase. We are committed to have all funding in place for Phase I prior to groundbreaking.

Regards,

Heather Hunter
City of Lewiston Finance Director
Franklin Pasture Committee Member

SECTION 4
TECHNICAL ABILITY

A. Prior Experience:

Harriman Architects and Engineers has been retained by the City of Lewiston to make improvements to the Franklin Pasture recreation facilities. Harriman is a well-established Maine consulting firm with a long history of commercial and institutional building and site work, and recreational facilities projects, with personnel experienced in all aspects of engineering design and Construction Administration.

Some of our recent local Maine DEP permitted projects include:

1. Durham Elementary School, Durham, #L-24207-22-A-N
2. Buxton Elementary School, MSAD#60, #L-24101-22-A-N
3. Maine Medical Center Scarborough Campus, Scarborough, #L-00084-19-J-M
4. Franklin Memorial Medical Center, Farmington, #L-7827-19-E-A
5. Westbrook Middle School, Westbrook, #L-23984-22-A-N
6. Central Maine Community College, Auburn, #L-14929-NJ-F-N
7. South Portland High School, S. Portland, #L-25344-22-A-N

The City of Lewiston has experience in operating and maintaining the existing Franklin Pasture recreational facilities as well as many other facilities throughout the city.

B. Personnel:

Designers' résumés are attached.



Frank L. Crabtree, P.E., LEED AP BD+C
Associate, Civil Engineer/Environmental Engineer
USGBC – LEED Project Administrator

Frank L. Crabtree's 35 years of experience includes a wide range of civil, environmental, and structural engineering. His project experience includes site engineering for education, healthcare, government, corporate, and retail projects. He has extensive experience in environmental storm water management and in managing the permitting and approval process required by state, federal, and municipal agencies.

EDUCATION

University of Maine
Bachelor of Science in Civil
Engineering

REGISTRATIONS
ME, NH, VT, CT

ACCREDITATION
Leadership in Energy and
Environmental Design
Accredited Professional (LEED AP
BD+C)

AFFILIATIONS
American Society of Civil
Engineers

U.S. Green Building Council,
Maine Chapter
Member

PRESENTATIONS
2010 – American Society of
Professional Estimators,
"LEED Changes"
2009 – U.S. Green Building
Council
Maine Chapter, "Site Design
for LEED
and DEP Standards"
2008 – Society for College
and University Planning,
North Atlantic Region
Symposium, Sustainability as
an Economic Driver: "Pathways
to Success, "Pathways to
Green"
2007 – Northern New England
Chapter of the American
Planning Association
"LEED Certified Construction"
2005 – Northern New England
Chapter
Eastern Region Association of
Physical Plant Administrators
Spring Education Conference
"LEED Implementation Lessons
from the Field"

Frank also coordinates Harriman's sustainability processing for the office and for our clients. Beginning with the certification of Maine's first LEED-certified school building, Frank has managed the process for many public and private sustainable projects over the past 6 years. He has much experience managing the team of designers, owner, and contractor through the various stages of the sustainability planning, designing, constructing, and certifying. Most of Frank's work has been with the US Green Building Council (USGBC) LEED Certification process, which has become the benchmark standard in the U.S. LEED projects that he has been responsible for coordinating include the following:

City of Auburn – *Auburn, Maine*
Auburn Hall, Addition and Renovations | Parking Garage

Lewiston City Hall – *Lewiston, Maine*
Site Renovations

Raymond A. Geiger Elementary School – *Lewiston, Maine*
Site Selection, Stormwater and Permitting

University of Southern Maine, Lewiston-Auburn College –
Lewiston, Maine
Site Engineering, Parking Lots and Permitting

Proctor & Gamble Manufacturing – *Lewiston, Maine*
Site Engineering and Permitting

High and Hammond Streets – *Lewiston, Maine*
Street Improvements

Lewiston Housing Authority – *Lewiston, Maine*
Hillview and Lafayette, Site Drainage Remediation

US Naval Shipyard – *Portsmouth, New Hampshire*
Site Improvements and Utilities Renovation

City of Old Town – *Old Town, Maine*
Municipal Building, Site Selection Study

Bethel Station – *Bethel, Maine*
Multi-use Downtown Development

Scarborough High School and Town Office – *Scarborough, Maine*
Site Planning, Expansion, Town Park and Permitting

SECTION 5

NOISE

This project is for renovations of a recreational facility that has been in existence and operational since 1947. The proposed improvement will not create any adverse noise impacts.

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SECTION 6

VISUAL QUALITY AND SCENIC CHARACTER

Improvements to the recreational facility will not change the visual impact of the site. This parcel is approximately 100 acres within ½ mile of the downtown Lewiston business district. This site offers recreational opportunities and a large area of open space. Much of the site is wooded with slopes and ravines. These features will not be altered.

This project will not disturb any existing elements of significant scenic character.

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SECTION 7

WILDLIFE AND FISHERIES

According to the attached letter from the Department of Inland Fisheries and Wildlife, there are no known threatened or endangered fish species or habitat in the area of the project. A follow-up letter was sent recently, and their response will be forwarded when it is received.



March 6, 2013

Mr. Steve Walker steve.walker@maine.gov
Environmental Review Coordinator
Department of Inland Fisheries and Wildlife
Augusta, ME 04333

Re: City of Lewiston
Franklin Pasture
Lewiston, ME
Project No. 12729
Site Location Permit – Project Review

Dear Steve:

We are currently in the process of assisting the City of Lewiston in site design for a new artificial turf sports field and other related improvements as part of an overall master plan to renovate the recreational facilities located in Franklin Pasture. Franklin Pasture is an approximately 100 acre parcel of land near the downtown business district that contains Lewiston High School, Lewiston Regional Technical Center and recreational facilities. These renovations will require modification of the existing Maine DEP Site Location of Development Act permit.

We are currently completing Maine DEP Permit Applications and need to include a letter from your department in determining if there are any areas of potential impacts to fisheries or wildlife habitat. Please reference the attached site location plan for your review. Please send us a letter of your assessment at your earliest convenience.

Sincerely,
Harriman

A handwritten signature in dark ink, appearing to read 'John D. Kuchinski'.

John D. Kuchinski, P.E.
jkuchinski@harriman.com

ksfi

Enclosures: Map

cc: Heather Hunter, City of Lewiston

86 HARRIMAN DRIVE
AUBURN, ME 04224
207.784.5100

173 MIDDLE STREET
PORTLAND, ME 04102
207.775.0093

ONE PERIMETER ROAD
MANCHESTER, NH 03103
603.626.1242

www.harriman.com



PAUL R. LePAGE
GOVERNOR

STATE OF MAINE
DEPARTMENT OF
INLAND FISHERIES & WILDLIFE
284 STATE STREET
41 STATE HOUSE STATION
AUGUSTA, MAINE
04333-0041

CHANDLER E. WOODCOCK
COMMISSIONER

March 12, 2013

John D. Kuchinski, P.E.
Harriman
46 Harriman Drive
Auburn, Maine 04210

RE: Information Request, Franklin Pasture Project, City of Lewiston (Project No. 12729)

Dear John:

Per your request received March 6, we have searched current Department records for known occurrences of Rare, Threatened, and Endangered species, designated Essential and Significant Wildlife Habitats, and fisheries habitat concerns within the vicinity of the Franklin Pasture project in Lewiston.

Our records indicate no occurrences of Rare, Threatened, or Endangered animal species within the project area. Additionally, our department has not mapped any Essential or Significant Wildlife Habitats or Fisheries Habitats that would be directly impacted by your project.

This consultation review has been conducted specifically for known MDIF&W jurisdictional features and should not be interpreted as a comprehensive review for the presence of all regulated features that may occur on site. Prior to the start of any future site disturbance we recommend additional consultation with the municipality, and other state resource agencies including the Maine Natural Areas Program and Maine Department of Environmental Protection in order to avoid unintended protected resource disturbance.

Please feel free to contact my office if you have any questions regarding this information, or if I can be of any further assistance.

Best regards,

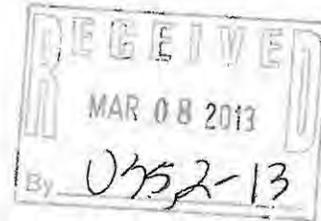
Steve Walker
Acting Environmental Review Coordinator

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SECTION 8

HISTORIC SITES

The attached letter was sent to the Maine Historic Preservation Commission (MHPC) for project review. Their approval stamp was placed on the letter, stating that no historic properties will be affected by this project.



March 6, 2013

Ms. Robin Reed robin.k.reed@maine.gov
Maine Historic Preservation Commission
55 Capitol Street
65 State House Station
Augusta, ME 04333

Re: City of Lewiston
Franklin Pasture
Lewiston, ME
Project No. 12729
Site Location Permit – Project Review

Dear Robin:

We are currently in the process of assisting the City of Lewiston in site design for a new artificial turf sports field and other related improvements as part of an overall master plan to renovate the recreational facilities located in Franklin Pasture. Franklin Pasture is an approximately 100 acre parcel of land near the downtown business district that contains Lewiston High School, Lewiston Regional Technical Center and recreational facilities. These renovations will require modification of the existing Maine DEP Site Location of Development Act permit.

We are currently completing Maine DEP Permit Applications and need to include a letter from your department in determining if there are any areas of potential impacts to fisheries or wildlife habitat. Please reference the attached site location plan for your review. Please send us a letter of your assessment at your earliest convenience.

Sincerely,
Harriman


John D. Kuchinski, P.E.
jkuchinski@harriman.com

ksfli

Enclosures: Map

cc: Heather Hunter, City of Lewiston

Based on the information submitted, I have concluded that there will be no historic properties affected by the proposed undertaking, as defined by Section 106 of the National Historic Preservation Act. Consequently, pursuant to 36 CFR 800.4(d)(1), no further Section 106 consultation is required unless additional resources are discovered during project implementation pursuant to 36 CFR 800.13.


Kirk F. Mohnney,
Deputy State Historic Preservation Officer
Maine Historic Preservation Commission

3/26/13
Date

46 HARRIMAN DRIVE
AUBURN, ME 04210
207.784.5100

123 MIDDLE STREET
PORTLAND, ME 04101
207.775.0053

ONE PERIMETER ROAD
MANCHESTER, NH 03103
603.626.1242

www.harriman.com

SECTION 9

UNUSUAL NATURAL AREAS

According to the attached letter from the Natural Heritage Program of the Department of Conservation, there are no unusual natural features of significance anticipated on the existing fully developed site.



March 6, 2013

Ms. Lisa St. Hilaire maine.nap@maine.gov
Maine Natural Areas Program, Department of Conservation
93 State House Station
17 Elkins Lane
Augusta, ME 04333

Re: City of Lewiston
Franklin Pasture
Fryeburg, ME
Project No. 12729
Site Location Permit – Project Review

Dear Lisa:

We are currently in the process of assisting the City of Lewiston in site design for a new artificial turf sports field and other related improvements as part of an overall master plan to renovate the recreational facilities located in Franklin Pasture. Franklin Pasture is an approximately 100 acre parcel of land near the downtown business district that contains Lewiston High School, Lewiston Regional Technical Center and recreational facilities. These renovations will require modification of the existing Maine DEP Site Location of Development Act permit.

We are currently completing Maine DEP Permit Applications and need to include a letter from your department in determining if there are any areas of potential impacts to fisheries or wildlife habitat. Please reference the attached site location plan for your review. Please send us a letter of your assessment at your earliest convenience.

Sincerely,
Harriman

48 HARRIMAN DRIVE
AUGUSTA, ME 04310
207.784.5100

John D. Kuchinski, P.E.
jkuchinski@harriman.com

1/3 MIDDLE STREET
PORTLAND, ME 04101
207.775.0033

ksfi

Enclosures: Map

cc: Heather Hunter, City of Lewiston

ONE PERIMETER ROAD
MANCHESTER, NH 03103
603.676.1242

www.harriman.com



STATE OF MAINE
DEPARTMENT OF CONSERVATION
93 STATE HOUSE STATION
AUGUSTA, MAINE
04333-0093

PAUL R. LEPAGE
GOVERNOR

WILLIAM H. BEARDSLEY
COMMISSIONER

March 6, 2013

John Kuchinski
Harriman
46 Harriman Drive
Auburn, ME 04101

Re: Rare and exemplary botanical features in proximity to: Turf sports field site, Lewiston, Maine

Dear Mr. Kuchinski:

I have searched the Natural Areas Program's Biological and Conservation Data System files in response to your request received March 6, 2013 for information on the presence of rare or unique botanical features documented from the vicinity of the project site in Lewiston, Maine. Rare and unique botanical features include the habitat of rare, threatened, or endangered plant species and unique or exemplary natural communities. Our review involves examining maps, manual and computerized records, other sources of information such as scientific articles or published references, and the personal knowledge of staff or cooperating experts.

Our official response covers only botanical features. For authoritative information and official response for zoological features you must make a similar request to the Maine Department of Inland Fisheries and Wildlife, 284 State Street, Augusta, Maine 04333.

According to the information currently in our Biological and Conservation Data System files, there are no rare botanical features documented specifically within the project area. This lack of data may indicate minimal survey efforts rather than confirm the absence of rare botanical features. You may want to have the site inventoried by a qualified field biologist to ensure that no undocumented rare features are inadvertently harmed.

If a field survey of the project area is conducted, please refer to the enclosed supplemental information regarding rare and exemplary botanical features documented to occur in the vicinity of the project site. The list may include information on features that have been known to occur historically in the area as well as recently field-verified information. While historic records have not been documented in several years, they may persist in the area if suitable habitat exists. The enclosed list identifies features with potential to occur in the area, and it should be considered if you choose to conduct field surveys.

This finding is available and appropriate for preparation and review of environmental assessments, but it is not a substitute for on-site surveys. Comprehensive field surveys do not exist for all natural areas in Maine, and in the absence of a specific field investigation, the Maine Natural Areas Program cannot provide a definitive statement on the presence or absence of unusual natural features at this site.

Letter to John Kuchinski, Harriman
Comments RE: sports field, Lewiston
March 6, 2013
Page 2 of 2

The Natural Areas Program is continuously working to achieve a more comprehensive database of exemplary natural features in Maine. We would appreciate the contribution of any information obtained should you decide to do field work. The Natural Areas Program welcomes coordination with individuals or organizations proposing environmental alteration, or conducting environmental assessments. If, however, data provided by the Natural Areas Program are to be published in any form, the Program should be informed at the outset and credited as the source.

The Natural Areas Program has instituted a fee structure of \$75.00 an hour to recover the actual cost of processing your request for information. You will receive an invoice for \$150.00 for two hours of our services.

Thank you for using the Natural Areas Program in the environmental review process. Please do not hesitate to contact me if you have further questions about the Natural Areas Program or about rare or unique botanical features on this site.

Sincerely,



Don Cameron
Ecologist
Maine Natural Areas Program
207-287-8041
don.s.cameron@maine.gov

SECTION 10

BUFFERS

Existing natural buffers will be maintained. Renovation of the recreational facilities is within existing disturbed and developed areas.

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SECTION 11

SOILS

A. Soil Survey:

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B. Limitations Report:

C. Site Engineering Report:

Limitations

1. High Groundwater

Methods of Correction

- Use perforated underdrain pipes in crushed stone beds, wrapped with geotextile fabric, around foundations and in other areas to remove groundwater.

- .

2. Frost heaving potential

- Place foundation walls at least 4 ft. 6 inches deep.
- Backfill around building and under walks and pavements with approx. 4 ft. of free-draining fill.
- Construct drives and parking pavements with clean free-draining gravel - use underdrains to remove groundwater.

D. Hydric soils:



Albert Frick Associates, Inc.

Soil Scientists & Site Evaluators

95A County Road Gorham, Maine 04038
(207) 839-5563 FAX (207) 839-5564

Albert Frick SS, SE
James Logan SS, SE
Matthew Logan SE

FRANKLIN PASTURE
(Lewiston High School)
Eastern Avenue
Lewiston, Maine

SOIL NARRATIVE

September, 1993

DATE: Soil profiles observed on September 23, 1993.

BASE MAP: Contour map 2-foot intervals, scaled 1"=80', provided by Aerial Survey, Inc..

GROUND CONTROL: Test pits located by toponetric hip chain measurement from known ground control points.

THE SOIL MAPPING CONFORMS WITH A CLASS C SURVEY.

Class C - Soil Survey

1. Mapping units of 3 acres or less.
2. Scale of 1" = 500' or larger.
3. Up to 50% inclusions in mapping units of which no more than 35% may be dissimilar soils.
4. Ground control - aerial photo interpretation utilizing natural features.
5. Base map does not require contour lines.

The accompanying soil profile descriptions, soil map and this soil narrative report were done in accordance with the standards adopted by the Maine Association of Professional Soil Scientists, and the Maine Board of Certification of Geologists and Soil Scientists.

This soil narrative report and accompanying soil map were prepared in order to verify and upgrade the medium intensity soil survey prepared for Androscoggin & Sagadahoc Counties by the U.S.D.A. Soil Conservation Service.

This was prepared for a Maine Department of Environmental Protection Site Location of Development project for the city of Lewiston.

Albert Frick C.S.S. #66, S.E. #163 10/22/93
Albert Frick Date

James Logan C.S.S. #213, S.E. #237 10/22/93
James Logan Date

DEP Site Location Application
Lewiston Recreation Complex
at Franklin Pasture

EXHIBIT

15-A

BUXTON (Eroded)

SETTING

Parent Material: Glaciolacustrine or glaciomarine sediments.
Landform: Coastal lowlands of river valleys
Position in Landscape: Uppermost positions on landforms
Slope Gradient Ranges: (D) 20+ %

COMPOSITION AND SOIL CHARACTERISTICS

Drainage Class: Moderately well drained, with a perched water table within one foot of the soil surface from November through May and during periods of prolonged precipitation. A portion of the soil surface has been stripped or eroded, thus, in places the depth to water table is reduced.

Typical Profile Description:
Surface layer: Dark brown silt loam, 0-8 inches
Subsurface layer: Dark yellowish-brown silt loam, 8-16 inches
Subsoil layer: Light olive brown silty clay loam, 16-21 inches
Substratum: Olive and olive-gray silty clay, 21-65 inches

Hydrologic Group: Group C

Surface Run Off: Medium or rapid depending on slope.

Permeability: Moderate or moderately slow in surface layer, moderately slow to slow in subsoil, slow to very slow in substratum.

Depth to Bedrock: Very deep, greater than 60 inches.

Hazard to Flooding: None

INCLUSIONS (Within Mapping Unit)

Similar: Buxton (Stripped), Nicholville (Eroded), Elmwood (Eroded)
Contrasting: Lamoine, Made Land, Filled Land, Stripped Land

USE AND MANAGEMENT

Development with public sewer and water: The limiting factor for building site development is wetness, due to the presence of a groundwater table near the soil surface for some portion of the year. Proper foundation drainage or other site modification is recommended for construction. A portion of the silt loam cap has been removed, due to erosion or stripping activities, within this map unit.



CUT LAND

This map unit consists of land that has been previously excavated to enhance drainage or otherwise shape slopes.

Slope Gradient Ranges: (D) 20+%

INCLUSIONS (Within Mapping Unit)

Similar: Filled Land, Made Land



ELMWOOD (S.W.P.)

SETTING

Parent Material: Sandy glaciofluvial deposits underlain by loamy or clayey marine or lacustrine sediments.

Landform: Glacial lake plains, terraces, and glacial outwash areas.

Position in Landscape: Intermediate to upper positions in landform.

Slope Gradient Ranges: (B) 3-8%

COMPOSITION AND SOIL CHARACTERISTICS

Drainage Class: Somewhat poorly drained (S.W.P.) with a perched water table 1.0 to 1.5 feet beneath the soil surface from November through May, or during periods of heavy precipitation.

Typical Profile Description:

Surface layer:	Very dark grayish brown sandy loam or loamy sand, 0-9"
Subsurface layer:	Olive brown loamy sand, 9-17"
Subsoil layer:	Olive brown loamy sand, 17-27"
Substratum:	Olive very fine sand, silt, or silty clay, 27-65"

Hydrologic Group: Group C

Surface Run Off: Moderately rapid to rapid

Permeability: Rapid in the solum and moderately slow or slow in substratum.

Depth to Bedrock: Deep, greater than 40".

Hazard to Flooding: None

INCLUSIONS (Within Mapping Unit)

Similar: Nicholville (S.W.P.)

Contrasting: Enosburg (Swanton), Roundabout, Filled Land, Made Land

USE AND MANAGEMENT

Development with public sewer and water: The limiting factor for building site development is wetness, due to the presence of a water table for some portion of the year. Proper foundation drainage or other site modification is recommended for construction.



FILLED LAND

SETTING

Parent Material: Variable
Landform: N/A
Position in Landscape: N/A
Slope Gradient Ranges: (A) 0-3% (B) 3-8% (C) 8-20% (D) 20% +

COMPOSITION AND SOIL CHARACTERISTICS

Drainage Class: Due to the variability of the materials and the recent nature of the filling activities, it is extremely difficult to characterize the seasonal high groundwater table within these mapping units.

Typical Profile Description: Surface layer:)
Subsurface layer:) Typically loamy fine sand
Subsoil layer:) and silty clay fill
Substratum:)

Note: A significant portion of the Filled Land map units on-site are comprised of the original cut portions of the property, however, in areas it is evident that fill was imported from off-site.

Hydrologic Group: Not assigned a hydrologic group due to variability.

Surface Run Off: Variable
Permeability: Variable
Depth to Bedrock: N/A
Hazard to Flooding: None

INCLUSIONS (Within Mapping Unit)

Similar: Made Land, Stripped Land
Contrasting: None



LAMOINE
(Aeric Haplaquepts)

SETTING

Parent Material: Lacustrine or marine sediments.
Landform: Lake or marine, coastal plains or terraces.
Position in Landscape: Intermediate positions in landform.
Slope Gradient Ranges: (B) 3-8% (C) 8-20%

COMPOSITION AND SOIL CHARACTERISTICS

Drainage Class: Somewhat poorly drained, with a a perched water table 1.0 to 1.5 feet below the soil surface from November through May, and during periods of excessive precipitation.
Note: Portions of these map units have reduced silt loam surface horizons, due to erosion or stripping activities.

Typical Profile Description:
Surface layer: Dark brown silt loam, 0-7"
Subsurface layer: Light olive brown or yellowish brown silt loam, 7-12"
Subsoil layer: Light olive brown and olive silty clay loam, 12-21"
Substratum: Olive silty clay, 21-65"

Hydrologic Group: Group D

Surface Run Off: Medium

Permeability: Moderate or moderately slow in surface layer, moderately slow or slow in subsoil, and slow or very slow in the dense substratum.

Depth to Bedrock: Deep, greater than 40".

Hazard to Flooding: None

INCLUSIONS
(Within Mapping Unit)

Similar: Buxton, Elmwood (S.W.P.), Nicholville (S.W.P.)
Contrasting: Scantic, Swanton, Made Land, Filled Land

USE AND MANAGEMENT

Development with public sewer and water: The limiting factor for building site development is wetness, due to the presence of a water table within 1.5 feet of the soil surface for a significant portion of the year. Proper foundation drainage or other site modification is recommended for construction.



NAUMBURG
(Aeric Haplaquods)

SETTING

Parent Material: Derived from outwash, stratified drift and deltaic sediments.
Landform: Usually occupies low sand plains and terraces.
Position in Landscape: Naumburg soil is found in the lower positions of landscape.
Slope Gradient Ranges: (C) 8-20%

COMPOSITION AND SOIL CHARACTERISTICS

Drainage Class: Somewhat poorly to poorly drained, with an apparent water table 0 to 1.5 feet below the soil surface from November through May. The water table fluctuates from 0 feet during prolonged wet periods to depths greater than 1.5 feet during dry seasons.

Typical Profile Description:

- Surface layer: Black organic, 6" thick
- Subsurface layer: Reddish gray loamy sand, 0-6"
- Subsoil layer: Mottled dark reddish brown, dark brown and yellowish brown sand, fine sand or loamy sand, 6-30"

Hydrologic Group: Group C

Surface Run Off: Very slow

Permeability: Rapid

Depth to Bedrock: Deep, greater than 40".

INCLUSIONS
(Within Mapping Unit)

Similar: Au Gres, Enosburg (Swanton), Roundabout

Contrasting: Searsport (in microdepressions), Naumburg (Variant - very poorly drained), Filled Land

USE AND MANAGEMENT

Development with public sewer and water: The limiting factor for building site development is wetness due to the presence of a high groundwater table. Proper foundation drainage or site modification is recommended. Naumburg (poorly drained) may be classified as wetlands, based on the combined consideration of hydric conditions, hydrology, and vegetation.



ELMWOOD (Eldridge)
(Aquic Dystric Eutrocrepts)

SETTING

Parent Material: Sandy glaciofluvial deposits underlain by loamy or clayey marine or lacustrine sediments.

Landform: Glacial lake plains, terraces, and glacial outwash areas.

Position in Landscape: Intermediate to upper positions in landform.

Slope Gradient Ranges: (A) 3-8% (B) 8-20%

COMPOSITION AND SOIL CHARACTERISTICS

Drainage Class: Moderately well drained with a perched-water table 1.5 to 3.5 feet beneath the soil surface from November through May, or during periods of heavy precipitation.

Typical Profile Description:

Surface layer:	Very dark grayish brown sandy loam or loamy sand, 0-9"
Subsurface layer:	Olive brown loamy sand, 9-17"
Subsoil layer:	Olive brown loamy sand, 17-27"
Substratum:	Olive very fine sand/silt/silty clay, 27-65"

Hydrologic Group: Group C

Surface Run Off: Moderately rapid to rapid.

Permeability: Rapid in the solum and moderately slow or slow in substratum.

Depth to Bedrock: Deep, greater than 40".

Hazard to Flooding: None

INCLUSIONS
(Within Mapping Unit)

Similar: Nicholville, Adams, Croghan

Contrasting: Elmwood (S.W.P.), Nicholville (S.W.P.), Filled Land, Made Land

USE AND MANAGEMENT

Development with public sewer and water: The limiting factor for building site development is wetness, due to the presence of a groundwater table for some portion of the year. Proper foundation drainage or other site modification is recommended for construction.



CUT & FILL LAND

This map unit consists of land that has been previously excavated to enhance drainage or otherwise shape slopes, and regraded to provide gentle slopes on otherwise steeply sloping areas.

NOTE: Much of the fill portion of these map units appears to be comprised of the materials from the cut side of the disturbed areas, however, in some areas off-site fill materials have been added.

Slope Gradient Ranges: (A) 0-3% (B) 3-8% (C) 8-20+%

INCLUSIONS (Within Mapping Unit)

Similar: Made Land



ADAMS
(Typic Haplorthods)

SETTING

Parent Material: Derived from outwash, stratified drift material.

Landform: Occupy outwash terraces and sand plains, deltas, lake plains, moraines, terraces and eskers.

Position in Landscape: Usually occupies the upper positions of landform.

Slope Gradient Ranges: (A) 3-8% (B) 8-20% (C) 20% +

COMPOSITION AND SOIL CHARACTERISTICS

Drainage Class: Somewhat excessively to excessively well drained, with no evidence of high groundwater table within 3.5 feet of the soil surface.

Typical Profile Description:

Surface layer:	Pinkish gray sand, 0-4"
Subsurface layer:	Dark brown loamy sand, 4-10"
Subsoil layer:	Brown & yellowish brown sand, 10-26"
Substratum:	Grayish brown sand, 26-70"

Hydrologic Group: Group A

Surface Run Off: Very slow to medium

Permeability: Rapid or very rapid

Depth to Bedrock: Very deep, greater than sixty inches

Hazard to Flooding: None

INCLUSIONS
(Within Mapping Unit)

Similar: Soils that are fine sandy loam to very fine sandy loam to a depth of 20 inches.

Contrasting: Croghan soils that are moderately well drained and occur in shallow depressions, Nicholville, Eldridge (Elmwood), Salmon, Made Land.

USE AND MANAGEMENT

Development with public sewer and water: Adams soil is suited for building site development. Proper foundation drainage is recommended.



NICHOLVILLE
(Aquic Haplorthods)

SETTING

- Parent Material:** Lacustrine material having a high content of silt and fine sand.
- Landform:** Commonly found on lake plains and upland till plains that have a mantle of water-deposited silt or very fine sand.
- Position in Landscape:** Intermediate and upper portions of landscape feature.
- Slope Gradient Ranges:** (B) 3-8% (C) 8-20% (D) 20+ %

COMPOSITION AND SOIL CHARACTERISTICS

- Drainage Class:** Moderately well drained, with a perched water table 1.5 to 2.0 feet below the soil surface from November through May.
- Typical Profile Description:**
- Surface layer:** Very dark grayish brown silt loam, 0-10"
 - Subsurface layer:** Dark yellowish brown silt loam, 10-13"
 - Subsoil layer:** Yellowish brown and grayish brown very fine sandy loam, 13-18"
 - Substratum:** Grayish brown loamy very fine sand, 18-70"
- Hydrologic Group:** Group C
- Surface Run Off:** Medium
- Permeability:** Moderate throughout the profile.
- Depth to Bedrock:** Very deep, greater than 60".
- Hazard to Flooding:** None

INCLUSIONS
(Within Mapping Unit)

- Similar:** Croghan, Elmwood (Eldridge), Salmon, Adams
- Contrasting:** Nicholville (S.W.P.), Buxton, Made Land, Filled Land

USE AND MANAGEMENT

Development with public sewer and water: The limiting factor for building site development is wetness due to the presence of a water table. Proper foundation drainage or site modification is recommended for construction.



NICHOLVILLE (S.W.P.)

SETTING

- Parent Material:** Lacustrine material having a high content of silt and fine sand.
- Landform:** Commonly found on lake plains and upland till plains that have a mantle of water-deposited silt or very fine sand.
- Position in Landscape:** Intermediate portion of landscape feature.
- Slope Gradient Ranges:** (B) 3-8% (C) 8-20%

COMPOSITION AND SOIL CHARACTERISTICS

- Drainage Class:** Nicholville (S.W.P.) is somewhat poorly drained, with a perched water table 0.5 to 1.5 feet below the soil surface from November through May and during periods of heavy precipitation.
- Typical Profile Description:**
- Surface layer: Very dark grayish brown silt loam, 0-10"
 - Subsurface layer: Dark yellowish brown silt loam, 10-13"
 - Subsoil layer: Yellowish brown and grayish brown very fine sandy loam, 13-18"
 - Substratum: Grayish brown loamy very fine sand, 18-70"
- Hydrologic Group:** Group C
- Surface Run Off:** Medium
- Permeability:** Moderate throughout profiles.
- Depth to Bedrock:** Very deep, greater than 60".
- Hazard to Flooding:** None

INCLUSIONS (Within Mapping Unit)

- Similar:** Nicholville, Naumburg (S.W.P.), Colonel, Dixfield
- Contrasting:** Roundabout, Made Land, filled Land, Enosburg (Swanton)

USE AND MANAGEMENT

Development with public sewer and water: The limiting factor for building site development is wetness due to the presence of a high groundwater table. Proper foundation drainage or site modification is recommended.



ROUNABOUT (Aeric Haplaquepts)

SETTING

Parent Material: Derived from lacustrine and marine sediments.
Landform: Low-lying lake or marine plains.
Position in Landscape: Nearly level areas in lower portions of landscape.
Slope Gradient Ranges: (A) 0-3% (B) 3-8% (C) 8-20%

COMPOSITION AND SOIL CHARACTERISTICS

Drainage Class: Roundabout soils are somewhat poorly to poorly drained, and exhibit a perched water table 0.5 to 1.5 feet below the soil surface from November through May and during periods of excessive wetness.

Typical Profile Description:

Surface layer:	Dark brown silt loam, few mottles, 0-7"
Subsurface layer:	Olive brown and grayish brown silt loam, many mottles, 7-26"
Subsoil layer:	Olive gray very fine sandy loam, many mottles, 26-30"
Substratum:	Olive silt loam, common mottles, 30-65"

Hydrologic Group: Group C

Surface Run Off: Slow to medium

Permeability: Moderate to moderately slow in upper horizons, moderately slow to slow in the medium textured substratum, and moderately rapid to rapid in the coarser textured substratum.

Depth to Bedrock: Deep, greater than 40"

Hazard to Flooding: None

INCLUSIONS (Within Mapping Unit)

Similar: Nicholville (S.W.P.), Naumburg, poorly to somewhat poorly drained flood plain soils, Enosburg (Swanton)

Contrasting: Whately

USE AND MANAGEMENT

Development with public sewer and water: The limiting factor for building site development is wetness due to a high water table for some portion of the year. Proper foundation drainage or site modification is recommended for construction. Roundabout (poorly drained) may be classified as wetlands, based on the combined consideration of hydric conditions, hydrology, and vegetation.



SCANTIC
(Typic Haplaquepts)

SETTING

Parent Material: Marine or lacustrine sediments.
Landform: Level or gently sloping marine or lake plains.
Position in Landscape: Lower to intermediate positions.
Slope Gradient Ranges: (C) 8-20%

COMPOSITION AND SOIL CHARACTERISTICS

Drainage Class: Poorly drained, with a perched water table 0.5 to 1.0 feet beneath the soil surface.

Typical Profile Description:

Surface layer:	Dark grayish brown silt loam, 0-9"
Subsurface layer:	Olive gray silt loam, 9-11"
Subsoil layer:	Olive gray, silty clay loam, 11-16"
Substratum:	Olive gray clay, 16-65"

Hydrologic Group: Group D

Surface Run Off: Slow

Permeability: Moderate or moderately slow in upper profile, slow to very slow in dense substratum.

Depth to Bedrock: Very deep, greater than 60".

Hazard to Flooding: May flood occasionally on lowest fringes during spring and periods of excessive precipitation.

INCLUSIONS
(Within Mapping Unit)

Similar: Lamoine (Eroded), Enosburg (Swanton)
Contrasting: Made Land, Filled Land

USE AND MANAGEMENT

Development with public sewer and water: The limiting factor for building site development is wetness due to the presence of a shallow water table throughout most of the year. Proper foundation drainage or site modification is recommended for construction. Scantic soil may be classified as wetlands, based on the combined consideration of hydric conditions, hydrology, and vegetation.



URBAN LAND

This map unit consists of gently sloping land that has been previously developed. A significant portion of these map units consists of paved or other impervious surfaces.

INCLUSIONS (Within Mapping Unit)

Similar: Filled Land, Made Land



SECTION 12

STORMWATER MANAGEMENT

NARRATIVE

1. Development Location: Franklin Pasture is owned by the City of Lewiston and is located near the center of the city. It is contained within East Avenue, Bartlett Street, Birch Street, Marcotte Avenue and Webster Street.
2. Surface Water on or Abutting the Site: There is a channel that runs through the site in a deep ravine that may be classified as a stream. This channel and the surrounding buffers will not be affected by the proposed project. All soil disturbances will occur on existing developed fields and recreational facilities.
3. Downstream Ponds and Lakes: There are no lakes or ponds downstream of the site. Runoff from the site flows toward the City of Lewiston storm drains and into the Androscoggin River. The Androscoggin River discharges into the Gulf of Maine.
4. General Topography: The topography on site is a combination of relatively level playing field surfaces and steep embankments.
5. Flooding: There are no areas of flooding which will affect buildings or structures on or off the site. The FEMA Flood map is included in Section 19 of this application.
6. Alterations to Natural Drainage Ways: There are no proposed alterations to natural drainage ways.
7. Alterations to Land Cover: Two existing natural turf (grass) fields will be converted to artificial turf with a crushed stone base. According to section 7.7 of the Maine DEP BMP manual, the artificial turf is a porous manmade surface.
8. Modeling Assumptions: Changes in surface covers are very minor and will have minimal to no impact on the rate of runoff from the overall site. A model of stormwater runoff quantity was not completed for this project.
9. Water Quantity Control: Water Quantity Control is described below.
10. Water Quality Treatment: Water Quality Treatment is described in section F, below. The artificial turf fields will retain a minimum of one inch of runoff in the stone below the turf surface and allow the water to infiltrate into the ground.

11. Offset Credits: No total suspended solids or phosphorous 'Off-set' credits will be applied to this project.
12. Compensation Fees: No 'Compensation Fees' will be used.
13. Development Impacts: The proposed project will have minimal to no impact on the surrounding area. The artificial turf fields will replace existing natural (grass) fields and will allow for greater retention and infiltration of stormwater than the natural turf fields.

MAP

1. USGS topographic map copy of the site is attached in Section 1, with the project site outlined.

DRAINAGE PLANS

We have included a drainage plan for pre-development (C11.1 and Post Development (C12.1). The drainage watersheds have not been changed by this project. The only regard will be to remove soil in the existing turf fields and install the artificial turf profile to the existing grades. A small area adjacent to Franklin Baseball will be regarded to make a more level area for spectators and for having picnics. This work is within the existing watershed and will not substantially alter the runoff characteristics of the area.

RUNOFF ANALYSIS

Runoff analysis for this project has not been conducted because the disturbance proposed will result in surfaces with no net increase in runoff and possibly a small reduction from the manmade pervious surfaces from the new field construction. The manmade pervious surfaces will allow for greater retention and infiltration of stormwater from the two fields than would occur on a natural grass field. Total site impervious is reduced from 17.4 acres to 17.2 acres due to the removal of an access road and a paved area by Marcotte Park which results in a net reduction of approximately 8,000 square feet on impervious area.

FLOODING STANDARD

The majority of the project involves converting existing natural grass turf fields to artificial turf fields with a manmade permeable surface that includes storage and infiltration of runoff from the fields into the native soils. The net reduction of impervious area will result in a very small reduction in total runoff from the site. No new developed or disturbed areas are proposed. All work will occur in existing disturbed/developed areas.

The site is not located in a mapped flood plain. Section 19 includes a Firmette flood map that includes the project site.

GENERAL STANDARDS

1. Narrative: This project will remove approximately 13,080 square feet of existing impervious pavement at the Marcotte Park area (SA1). New impervious includes approximately 1,360 square feet of new building roofs in the Franklin Main area (SA8) and approximately 1,500 square feet on new impervious for two new triple jump/long jump pits located in the Shoebox area (SA6). There is a small building addition proposed and a paved path for Upper Franklin (SA2). All other paving in this project is resurfacing existing gravel and parking areas. The change in impervious areas is as follows:

Watershed	Add/Remove	Area (SF)	Description
SA1	Remove	(9,210)	Paved access road
SA12	Remove	(3,870)	Paved pad
SA2	Add	1,760 600	Paved path Press box bldg. (20'x30')
SA8	Add	560 200 600	Concession bldg. addition Storage bldg. addition Press Box (20'x30')
SA6	Add	1500	Long jump/Triple Jump runway

Impervious area removed is 13,080 square feet with the addition of 5,220 square feet new impervious area that results in a net reduction of 7,860 square feet of impervious area.

2. Drainage Plans: Sheet C50.1 shows the construction detail for the artificial turf sports fields. The design details include crushed stone under the turf that allows water to accumulate and eventually infiltrate into the soil. Excess water is removed by underdrain pipes.
3. Calculations: Calculations are provided for the two artificial turf fields to demonstrate that one inch of runoff is stored in the underlying stone layer.
4. Details, designs, and specifications: Plan sheet C50.1 shows the construction details and specifications for the artificial turf fields.
5. Phosphorus removal: Phosphorous removal is not required.

6. Responsible Party for Long Term Maintenance: City of Lewiston Public Works in cooperation with the Lewiston School department will continue to provide ongoing maintenance of the facilities.

MAINTENANCE PLAN, INSPECTION, & REQUIREMENTS

1. Maintenance of the Franklin Pasture site will continue to be done by the City of Lewiston Public Works and School Department maintenance personnel. The contact information is included in the attached "Site Maintenance Plan".
2. During construction, the site work contractor will be responsible for all site maintenance. Following construction completion, the City of Lewiston maintenance team, directed by the person listed above, will take over the full-time maintenance responsibilities.
3. The attached Site Maintenance Plan describes the facilities to be maintained.
4. Inspection and maintenance tasks are described in the Site Maintenance Plan.
5. There are no new drainage easements or deed restrictions proposed.
6. Maintenance logs are in the attached Site Maintenance Plan.
7. There is no 'third-party' maintenance contract proposed.

SITE MAINTENANCE PLAN
(AFTER CONSTRUCTION IS COMPLETED)
FOR
FRANKLIN PASTURE RECREATION FACILITIES
LEWISTON, MAINE

April 2013

Site Description

The site as referenced in this document refers to the Franklin Pasture site off of Bartlett Street in Lewiston, ME; including the new paved areas, lawn areas, and pervious manmade surfaces. Refer to the site plans prepared by Harriman Architects and Engineers dated April 2013 for referenced site locations. The stormwater treatment system as referenced within this document refers to the system of catch basins, pipes, swales, and pervious man-made surfaces designed to collect, convey, and treat stormwater runoff from the site.

Facility Contacts

Facility:	Franklin Pasture Bartlett Street Lewiston, ME 04070
Owner:	City of Lewiston Telephone: 207-513-3000 Heather Hunter, Finance Director
Maintenance Responsibility:	Jason Fuller, Recreation Director Telephone: 207-795-4100
Consultant/Designer:	Harriman Architects and Engineers 46 Harriman Drive Auburn, ME 04210 Telephone: 207-784-5100 Frank L. Crabtree, P.E. fcrabtree@harriman.com

Site Maintenance Plan Overview and Objectives

The Site Maintenance Plan (SMP) is an important component of the overall stormwater management system for the site. The SMP addresses various maintenance activities that should occur after construction and site stabilization. Proper implementation of the SMP can minimize pollutant generation and transport and maintain the stormwater treatment system to ensure proper operation. This SMP includes three primary components:

1. Site Management Practices
2. Inspections
3. Routine Maintenance and Corrective Actions

1. Site Management Practices

Site management practices are aimed at reducing pollutants by minimizing use of certain materials, using alternative materials, or removing pollutants prior to discharge to the stormwater treatment system. These practices shall include:

- a. Use slow release sulfur or plastic coated ureaform fertilizers (e.g., Nutralene).
- b. Do not fertilize vegetated swales or detention areas once vegetation is established.
- c. Minimize use of pesticides by using a sound integrated pest management (IPM) approach to monitor and control the actual pests present.
- d. Collect and remove autumn leaves to minimize transport to the stormwater treatment system.
- e. Minimize use of de-icing materials and sand.
- f. Routine sweeping of parking areas and driveways.
- g. Fertilizers, pesticides and other hazardous materials should be stored in enclosed areas to avoid exposure to precipitation. Material handling should be conducted to minimize risk of spillage and release to the storm water treatment system.

2. Inspections

A series of routine inspections shall be completed to allow for the early identification of potential problems, and to guide routine maintenance activities. Inspections shall be carried out in accordance with the Site Inspection Schedule (Table 1). Dates and observations shall be recorded for each inspection on the attached 'Inspection Log'.

3. Routine Maintenance and Corrective Actions

Routine maintenance activities are designed to ensure proper function of the stormwater management system and minimize pollutant transport from the site. Routine maintenance activities must be completed according to the schedule (Table 1) provided in this plan. This schedule is the minimum amount of maintenance required, and more frequent maintenance may be needed when indicated by the inspections. Corrective actions (supplemental maintenance activities or repairs) should be completed within 7 days of the inspection identifying the problem. Each maintenance activity will be recorded on the attached 'Maintenance and Repair Log'.

During construction, the Sitework Contractor, (not yet selected by Bid process) shall be responsible for cleaning and maintaining stormwater components on the schedule outlined in Table 2.

Following completion of construction, the City of Lewiston will be responsible for cleaning and

maintaining stormwater components on the schedule outlined in Table 1.

Place removed sediments in an area of low erosion potential, either on-site or off-site, and seed with erosion control seed mix.

The following describes specific stormwater facilities maintenance requirements and minimum schedule of inspection and maintenance.

1. Open swales and ditches need to be inspected in the spring and fall, or after a major rainfall event, to assure that debris or sediments do not reduce the effectiveness of the system. Debris needs to be removed at that time. Sign of erosion or blockage shall be immediately repaired to assure a vigorous growth of vegetation for the stability of the structure and proper functioning. Swales that show newly formed channels or gullies will be immediately repaired by reseeding/sodding of bare spots, removal of trash, leaves and/or accumulated sediments, and the control of woody or other undesirable vegetation.
2. Vegetated ditches should be mowed at least once during the growing season. Larger brush or trees must not be allowed to become established in the channel. Any areas where the vegetation fails will be subject to erosion and should be repaired and revegetated.
3. If sediment in culverts or piped drainage systems exceeds 20% of the diameter of the pipe, it should be removed. This may be accomplished by hydraulic flushing or other mechanical means; however, care should be taken to not flush the sediments into the filter basins, or retention/detention pond as it will reduce the pond's capacity and hasten the time when it must be cleaned. Storm pipes should be inspected on an annual basis.
4. Catch basin sumps and the outlet control structures shall be cleaned of debris and sediment at least annually to minimize clogging and transportation of sediment during rainfall events.
5. Paved surfaces shall be swept or vacuumed at least annually in the spring to remove winter sand and periodically during the year on an as-needed basis to minimize the transportation of sediment during rainfall events.
6. Existing detention pond: Existing detention pond shall be inspected semiannually and checked for the accumulation of trash and debris. Rip-rap inlets and outlets shall be inspected for signs of erosion or displacement of rip-rap stone. All major woody vegetation shall be removed from the pond bottom and side slopes annually.

4. DEP 5-Year Re-certification.

Submit a certification of the following to the department within three months of the expiration of each five-year interval from the date of issuance of the permit.

- (a) Identification and repair of erosion problems. All areas of the project site have been inspected for areas of erosion, and appropriate steps have been taken to permanently stabilize these areas.
- (b) Inspection and repair of stormwater control system. All aspects of the stormwater control system have been inspected for damage, wear, and malfunction, and appropriate steps have been taken to repair or replace the system, or portions of the system.
- (c) Maintenance. The erosion and stormwater maintenance plan for the site is being implemented as written, or modifications to the plan have been submitted to and approved by the department, and the maintenance log is being maintained.

**Table 1
FRANKLIN PASTURE– LEWISTON
Long-Term Inspection & Maintenance Plan**

	Spring	Fall or Yearly	After a Major Storm	Every 2-5 Years
Vegetated Areas				
Inspect all slopes and embankments	X		X	
Replant bare areas or areas with sparse growth	X		X	
Armor areas with rill erosion with an appropriate lining or divert the erosive flows to on-site areas able to withstand concentrated flows.	X		X	
Stormwater Channels				
Inspect ditches, swales and other open stormwater channels	X	X	X	
Remove any obstructions and accumulated sediments or debris	X	X		
Control vegetated growth and woody vegetation		X		
Repair any erosion of the ditch lining		X		
Mow vegetated ditches		X		
Remove woody vegetation growing through riprap		X		
Repair any slumping side slopes		X		
Replace riprap where underlying filter fabric or underdrain gravel is showing or where stones have dislodged		X		
Culverts				
Remove accumulated sediments and debris at the inlet, at the outlet, and within the conduit	X	X	X	
Repair any erosion damage at the culvert's inlet and outlet	X	X	X	
Catch Basin Systems				
Remove and legally dispose of accumulated sediments and debris from the bottom of the basin, inlet grates, inflow channels to the basin, and pipes between basins	X	X		
Remove floating debris and floating oils (using oil absorptive pads) from any trap designed for such, and dispose in a legal manner	X	X		
Roadways and Parking Surfaces				
Clear accumulated winter sand in parking lots and along roadways	X			
Sweep pavement to remove sediment	X			
Grade road shoulders and remove excess sand either manually or by front-end loader	X			
Ensure that stormwater is not impeded by accumulations of material or false ditches in the shoulder	X			

Table 1
FRANKLIN PASTURE– LEWISTON
Long-Term Inspection & Maintenance Plan

	Spring	Fall or Yearly	After a Major Storm	Every 2-5 Years
Existing Detention Pond				
Inspect outlet for accumulation of trash and debris	X	X		
Remove accumulated trash and debris	X			
Inspect and repair rip rap inlets/outlets		X		
Remove woody vegetation	X			
Remove accumulated sediment from pond bottom				X

The maintenance needs for most vegetative and stabilization measures may be found in the Maine Erosion and Sediment Control BMPs manual as published in 2003.

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SECTION 13

URBAN IMPAIRED STREAM SUBMISSION

Runoff from the Franklin Pasture discharges to a culvert under Bartlett Street. This culvert discharges into a canal the flows into the Androscoggin River.

The Androscoggin River is not listed as Urban Impaired Streams in Chapter 502 of the Stormwater Management Law.



Google earth



SECTION 14
BASIC STANDARDS SUBMISSION

A: Narrative:

The attached drawings locate and detail the proposed grading and erosion control measures for the development of the site. Drawing C00.3 Site Erosion Control Notes, specifies the erosion control methods and schedule. The attached Stormwater Management narrative and calculations in Section 12 also furnish important information relating to erosion control.

The predominant soil types on the developing portions of the site are defined as Scantic silt loam, Swanton fine sandy loam, and Paxton fine sandy loam soils. However, the majority of this site has been developed for school use for many decades. Both the native and the developed soils are therefore classified as hydrologic soil groups 'C' and 'D'. There are areas of wetland soils on site, and the westerly area of wetlands will be disturbed and mitigated, as described in the accompanying NRPA application. Erosion and sediment control measures, as described on the drawings, will be used to protect the remaining wetlands from degradation. There are no known erosion or sedimentation problem areas on the site.

Prior to excavation or filling in a particular area, erosion control measures will be installed in that watershed, as shown on the plans. The contractor will limit stripped and un-stabilized ground areas as much as possible, at any one time. During the winter months, November 15 through March 15, un-stabilized ground area will be limited to one acre. All catch basins will be fitted with an under-grate silt sack until permanent seeding is complete and stabilized. Silt fencing or bark mix filter berms will be erected where shown, when construction in each area threatens silt migration off the property. Generally, a minimum of six inch layer of loam will be used to aid stability and to hold moisture for vegetation on all re-vegetated surfaces.

Temporary erosion control barriers will be observed weekly and maintained and cleaned, as necessary, by the Site Contractor, until permanent soil stability is achieved. Drawing C00.3, Site Erosion Control Notes, details construction erosion control maintenance. Following completion of construction and earth stabilization, the Site Contractor will remove all temporary erosion control measures from the site, and will remove trapped sediments from ponding areas, and silt barriers. Removed silt will be placed in an approved area of low erosion potential, seeded, and mulched.

B: Implementation Schedule:

The proposed schedule for project construction and for installation of erosion control and storm water management measures is as follows:

- July 2013: Install erosion control barriers. Excavate main field and haul topsoil to Lewiston DPW stockpile off-site. Install crushed stone and artificial turf. Begin construction of concession stand addition.
- August 2013: Complete construction of artificial turf sports field and concession stand addition. Install sod on any disturbed natural grass areas. Resurface track for September open. Install bleachers and relocate Long Jump/Triple Jump to Shoebox.
- September 2013: Complete all construction and remove sediment control barriers.
- Spring 2014: Inspect sod placement in disturbed areas and repair or replace from winter damage.
- June 2014: Resurface tennis courts. Install erosion control at access road in Marcotte Park. Remove paving areas around Marcotte Park including access road. Scarify gravel and install four inches of topsoil. Sow grass seed, lime and slow release fertilizer.
- June 2015: Construct 20 ft. by 30 ft. press box and storage building at Franklin Baseball.
- June 2016: Pave parking lot in Upper Franklin.
- June 2017: Construct infield at Marcotte Park softball field.
- June 2018: Begin construction of Lewiston High School (LHS) practice field artificial turf. Install erosion control barriers and construction entrance. Excavate topsoil and stockpile offsite. Install artificial turf field with crushed stone. Repair any disturbed natural grass areas with sod or loam and seed as appropriate.
- September 2018: Complete construction of artificial turf field. Remove erosion control barriers.
- Spring 2019: Inspect disturbed areas for any winter damage and repair or replace as needed.

C,D,E: Erosion and Sedimentation Control Plan:

See drawings C00.3 and C30.1 in this application, for erosion and sedimentation control plans.

F: Details and Specifications:

Erosion and sedimentation control details are shown on drawings C50.1 and are included in this package. Erosion control specifications and notes for seeding and other erosion control measures are included on drawing C00.3.

G: Calculations:

Calculations for erosion and sedimentation control measures are included on drawings C00.3, C50.1 and in Section 12.

H: Maintenance and Housekeeping:

Section 12 details the maintenance requirements and responsibilities for the project facilities. Housekeeping measures during construction, such as de-watering control, dust prevention, and fuel spill prevention, are specified on drawing C00.3.

I: Third-party Inspections:

Architect/Engineering personnel will make site observations. The site design civil engineer will be on site to observe site construction, particularly the stormwater treatment system. It is anticipated that this will be sufficient observation of the contractor, and that no third party inspector will be needed.

STORMWATER QUALITY - TREATMENT SIZING

Project: Franklin Pasture Recreational Facilities
Lewiston, Maine

Date 4/18/2013

Project No. 12729

Franklin Maine Sports Field Subcatch SA8

<u>Manmade Pervious Surface</u> =	83,600 sf
Water Quality Volume 1"	6,967 cf
availabel storage 83,600 sf x 6" X 0.4	16,720 cf

Lewisthon HS Practice Field Subcatch SA 2

<u>Manmade Pervious Surface</u> =	29,400 sf
Water Quality Volume 1"	2,450 cf
availabel storage 83,600 sf x 6" X 0.4	5,880 cf

Lewisthon HS Practice Field Subcatch SA 3

<u>Manmade Pervious Surface</u> =	42,800 sf
Water Quality Volume 1"	3,567 cf
availabel storage 83,600 sf x 6" X 0.4	8,560 cf

SECTION 15
GROUNDWATER

- A. 1. The proposed development will have no significant impact on the groundwater quality or quantity. The project site is not located on a sand and gravel aquifer, as shown by the attached Maine Geological Survey Sand & Gravel Aquifer map.
2. No groundwater will be extracted for this project.

Municipal water supply lines will continue to serve the fire protection and domestic water needs of the facility.

Wastewater:

Connection to existing municipal sewer lines. See Section 17.

Solid Waste:

Disposed off the site. See Section 18.

- B. Groundwater Protection Plan

Fuel Storage:

Existing Spill Prevention Control and Countermeasures (SPCC) plan addresses spill control measures.

- C. Monitoring Plan.

No monitoring of the groundwater is proposed.

Lewiston Quadrangle, Maine

Compiled by
Craig D. Nell
 Voluntary Aquifer Inventory Project by
Daniel R. Locke

Digital cartography by
Michael E. Foley

Geographic Assignments by
Robert D. Tucker
Benjamin J. Wilson, Jr.

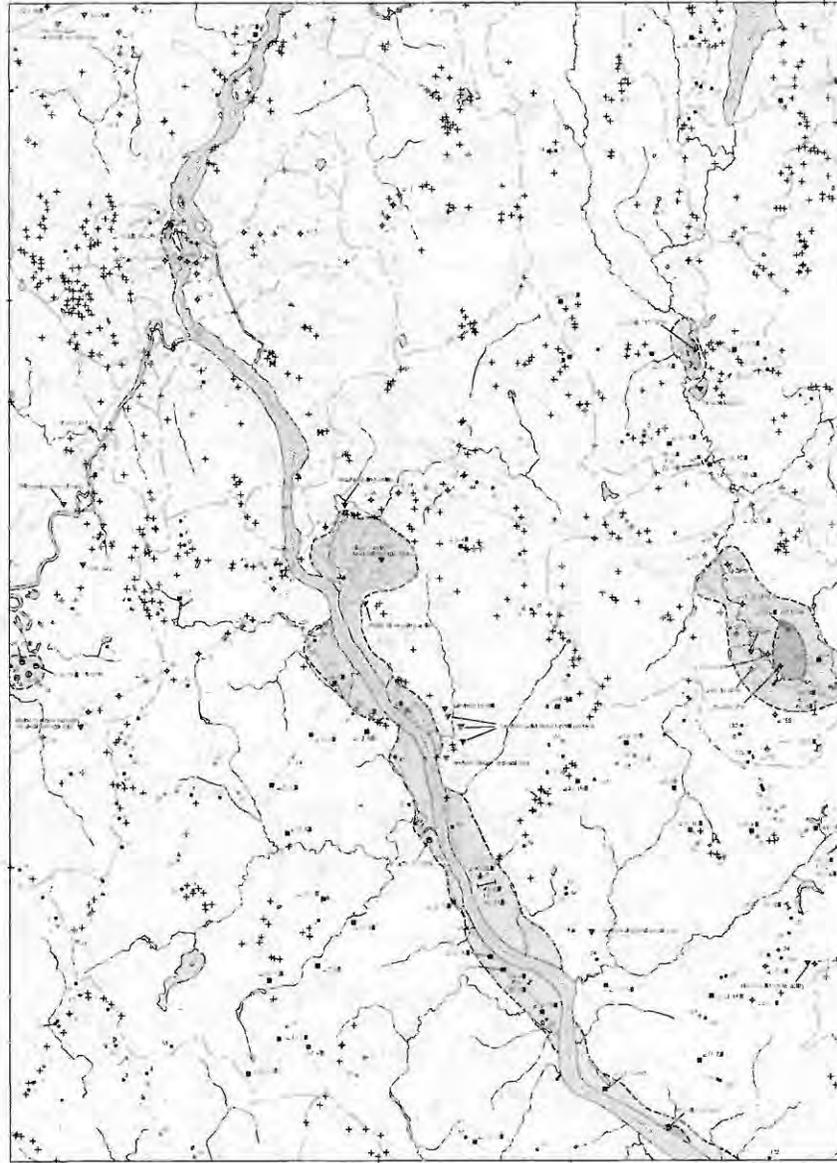
Funding for the preparation of this map was provided in part by the
 Maine Department of Environmental Protection.



Maine Geological Survey
 Address: 22 State House Station, Augusta, Maine 04333
 Telephone: 207.287.2001 E-mail: mgsl@maine.gov
 Home page: <http://www.maine.gov/dem/mgs>

Open-File No. 99-22
 1999

Significant Sand and Gravel Aquifers



Scale: 1 inch = 1 mile
 1:62,500
 UTM Zone 18N
 Datum: NAD 83
 Projection: UTM
 Units: Meter
 Contour Interval: 100 feet
 Contour Elevation: 100 feet
 Contour Interval: 100 feet
 Contour Elevation: 100 feet

SIGNIFICANT SAND AND GRAVEL AQUIFERS (yields greater than 10 gallons per minute)

- Aggregates (boulders) of natural deposits with significant voids (bedrock where potential ground-water yield is moderate to excellent)
- Sand/gravel deposits with good to excellent potential ground-water yield, with grain sizes ranging from 1/16 inch to medium to poorly-sorted sand. Deposits may be composed of glacial sand and gravel, but can include any of range in soil, silt, clay, and organic material. Sand should be clean and well-sorted, and gravel should be well-sorted and rounded.
- Carbonaceous deposits with moderate to good potential ground-water yield, with grain sizes ranging from 1/16 inch to medium to poorly-sorted sand. Deposits may be composed of glacial sand and gravel, but can include any of range in soil, silt, clay, and organic material. Sand should be clean and well-sorted, and gravel should be well-sorted and rounded.

SEMI-FAVORABLE AQUIFER CHARACTERISTICS (yields less than 10 gallons per minute)

- Soils with moderate to low to no potential ground-water yield (includes some sandstone, siltstone, shale, and claystone, but not clay shale, fine-grained sand and gravel deposits, or bedrock) yields at sufficient amounts to provide less than 10 gallons per minute as a primary water source.

OTHER SOURCES OF INFORMATION

1. Report D. H. Williams, J. J. Ebbett, J. L. and Patrick G. C. 1981. Hydrogeology and a study of sandstone and siltstone aquifers in the Lewiston, Maine, area. Maine Department of Environmental Protection, Open-File Report 81-10.
2. Jones, D. H., and Thompson, W. B. 1989. Hydrogeologic map of the Lewiston, Maine, area. Maine Department of Environmental Protection, Open-File Report 89-10.
3. Davis, C. W., and Thompson, W. B. 1989. Hydrogeologic map of the Lewiston, Maine, area. Maine Department of Environmental Protection, Open-File Report 89-10.
4. Corbett, W. B. 1987. Geologic map of the state of Maine. Second Edition. Maine Department of Environmental Protection, Open-File Report 87-10.
5. Thompson, W. B. 1979. Geologic map of the Lewiston, Maine, area. Maine Department of Environmental Protection, Open-File Report 79-10.
6. Locke, D. R. 1999. Geologic map of the Lewiston, Maine, area. Maine Department of Environmental Protection, Open-File Report 99-22.
7. Thompson, W. B., and Davis, C. W. 1989. Hydrogeologic map of the Lewiston, Maine, area. Maine Department of Environmental Protection, Open-File Report 89-10.

SEISMIC-LINE INFORMATION

Seismic lines are shown on Figure 8 of Chapter 2 of the State of Maine, Department of Environmental Protection, Open-File Report 89-10. The length of a seismic line is shown on the map in miles. All lengths shown are approximate.

- 02 Depth to bedrock, in feet below land surface
- 04 Depth to bedrock, in feet below land surface
- 08 Depth to bedrock, in feet below land surface
- 12 Depth to bedrock, in feet below land surface
- 16 Depth to bedrock, in feet below land surface
- 20 Depth to bedrock, in feet below land surface
- 24 Depth to bedrock, in feet below land surface
- 28 Depth to bedrock, in feet below land surface
- 32 Depth to bedrock, in feet below land surface
- 36 Depth to bedrock, in feet below land surface
- 40 Depth to bedrock, in feet below land surface
- 44 Depth to bedrock, in feet below land surface
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- 72 Depth to bedrock, in feet below land surface
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- 80 Depth to bedrock, in feet below land surface
- 84 Depth to bedrock, in feet below land surface
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- 92 Depth to bedrock, in feet below land surface
- 96 Depth to bedrock, in feet below land surface
- 100 Depth to bedrock, in feet below land surface

GEOLOGIC AND WELL INFORMATION

- 01 Depth to bedrock, in feet below land surface
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SECTION 16

WATER SUPPLY

A. Water Supply Method:

Water supply for the site will continue to be accessed from the public water system, operated by the City of Lewiston Water Division. The water usage is anticipated to increase approximately 6,000 gallons per day following construction. A letter has been sent to the City of Lewiston Water Division to verify continued service.

B. Wastewater Disposal:

Wastewater will continue to be connected to the existing public sewer system similar to existing conditions.

C. Total Usage:



April 10, 2013

Mr. Kevin Gagne kgagne@lewistonmaine.gov
Lewiston Water and Sewer Division
103 Adams Avenue
Lewiston, ME 04240

Re: City of Lewiston
Franklin Pasture Improvement Design
Lewiston, ME
Project No. 12729
Water Capacity Letter

Dear Mr. Gagne:

We are assisting the City of Lewiston in designing renovations to the recreational facilities at Franklin Pasture. As part of that renovation, the City is proposing to expand the visitor bleacher seating by 1,200 seats. To accommodate the increased seating, new restroom facilities are being proposed in the existing concession stand building near the main gate. The additional seating will increase the water flow by approximately 6,000 gallons per day (1,200 seats x 5 gallons per day per seat).

Please send us a letter stating the adequacy of the water system to serve the additional seating capacity. This letter is required by the Maine DEP as part of the Site Location of Development Permit Application.

Thank you for your time and please call if you have questions or concerns.

Sincerely,
Harriman

John D. Kuchinski, P.E.
jkuchinski@harriman.com

817 HARRIMAN DRIVE
ROXBURY, ME 04220
207.784.5100

123 MIDDLE STREET
PORTLAND, ME 04101
207.775.0053

ONE PRIMEFLEX ROAD
MANCHESTER, NH 03103
603.626.1142

cc: Heather Hunter HHunter@lewistonmaine.gov
Jason Fuller jfuller@lewistonpublicschools.org

To Heather Hunter
Sonia Roy (Harriman)

The Franklin Pasture area is surrounded by 18" 15" and 12" P.V.C sewer lines, that were installed in 2007 as part of the sewer infrastructure, this sewer system should and will take any flows you throw at it. The water line entrance into Lewiston High School is a 10" cast iron water line that was installed in 1972 which is part of the high pressure side of the City of Lewiston, which has more than adequate flows around 1450.

Richard Boucher
Water & sewer Operations Manager

A handwritten signature in cursive script that reads "Richard Boucher". The signature is written in black ink and is positioned below the typed name and title.

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SECTION 17

WASTEWATER DISPOSAL

- A.** Wastewater will be disposed of through connection to the City of Lewiston's public sewer system.
- B.** Nitrate Assessment is Not Applicable, since no subsurface disposal system is proposed.
- C.** Municipal Facility or Utility Company Letter.
A letter has been sent to the City of Lewiston Sewer Division for confirmation of their capacity to convey and treat the wastewater from the expanded stadium seating.
- D.** This project will not discharge sewage into any stream, body of water, or wetland.
- E.** No lagoons, impoundments or ponds will be constructed as part of the project.



April 10, 2013

Mr. Kevin Gagne kgagne@lewistonmaine.gov
Lewiston Water and Sewer Division
103 Adams Avenue
Lewiston, ME 04240

Re: City of Lewiston
Franklin Pasture Improvement Design
Lewiston, ME
Project No. 12729
Sanitary Capacity Letter

Dear Mr. Gagne:

We are assisting the City of Lewiston in designing renovations to the recreational facilities at Franklin Pasture. As part of that renovation, the City is proposing to expand the visitor bleacher seating by 1,200 seats. To accommodate the increased seating, new restroom facilities are being proposed in the existing concession stand building near the main gate. The additional seating will increase the waste water flow by approximately 6,000 gallons per day (1,200 seats x 5 gallons per day per seat).

Please send us a letter stating the adequacy of the sanitary piping and treatment system to serve the additional seating capacity. This letter is required by the Maine DEP as part of the Site Location of Development Permit Application.

Thank you for your time and please call if you have questions or concerns.

Sincerely,
Harriman

A handwritten signature in dark ink, appearing to read 'John D. Kuchinski'.

John D. Kuchinski, P.E.
jkuchinski@harriman.com

16 HARRIMAN DRIVE
AUBURN, ME 04210
207.784.5100

123 MIDDLE STREET
PORTLAND, ME 04101
207.775.0051

ONE PERIMETER ROAD
MANCHESTER, NH 03101
603.576.1247

cc: Heather Hunter HHunter@lewistonmaine.gov
Jason Fuller jfuller@lewistonpublicschools.org

To Heather Hunter
Sonia Roy (Harriman)

The Franklin Pasture area is surrounded by 18" 15" and 12" P.V.C sewer lines, that were installed in 2007 as part of the sewer infrastructure, this sewer system should and will take any flows you throw at it. The water line entrance into Lewiston High School is a 10" cast iron water line that was installed in 1972 which is part of the high pressure side of the City of Lewiston, which has more than adequate flows around 1450.

Richard Boucher
Water & sewer Operations Manager

A handwritten signature in black ink that reads "Richard Boucher". The signature is written in a cursive style with a long, sweeping underline that extends to the right.

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SECTION 18

SOLID WASTE

A: Commercial Solid Waste Facility:

The proposed renovations to the Franklin Pasture recreational facilities are to provide modern facilities to service the existing population. A significant increase in usage of the facilities is not anticipated as a result of this project.

The solid waste from the Franklin Pasture will continue to be disposed of, as it current is, by Lewiston Public Works, who hauls the trash weekly to the City of Lewiston Landfill. The recyclable solid waste materials are also collected and hauled to Mid-Maine Waste Action Corps. The City of Lewiston estimates approximately five cubic yards of combined waste are hauled weekly to City of Lewiston landfill.

B. Disposal of Construction and/or Demolition Debris:

Approximately 40 cubic yards of paper, cardboard, plastic, insulation, metal, sheetrock, shingles, and wood will be wasted during the construction process. The construction contractor will hire a waste management company to pick up, recycle, and haul away the construction wastes, such as Pine Tree Waste Services or Almighty Waste Services. The construction specifications will require construction waste recycling by the contractor. Any non-recyclable waste would then be transferred to Mid-Maine Waste Action Corps and transfer the debris to Pine Tree Waste in Old Town or Waste Management in Norridgewock.

Wood waste will be separated from other wastes and sent to a recycling facility such as KTI Biofuels in Lewiston, ME or Riverside Recycling Facility in Portland, ME.

C. Disposal of Wood-waste or Land Clearing Debris:

This project will not result in any additional land clearing. Clean topsoil will be stripped from the affected areas and stockpiled off-site.

D. Special or Hazardous Waste:

This facility is not a producer of special or hazardous wastes.

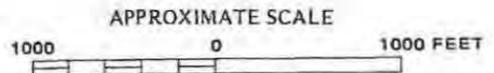
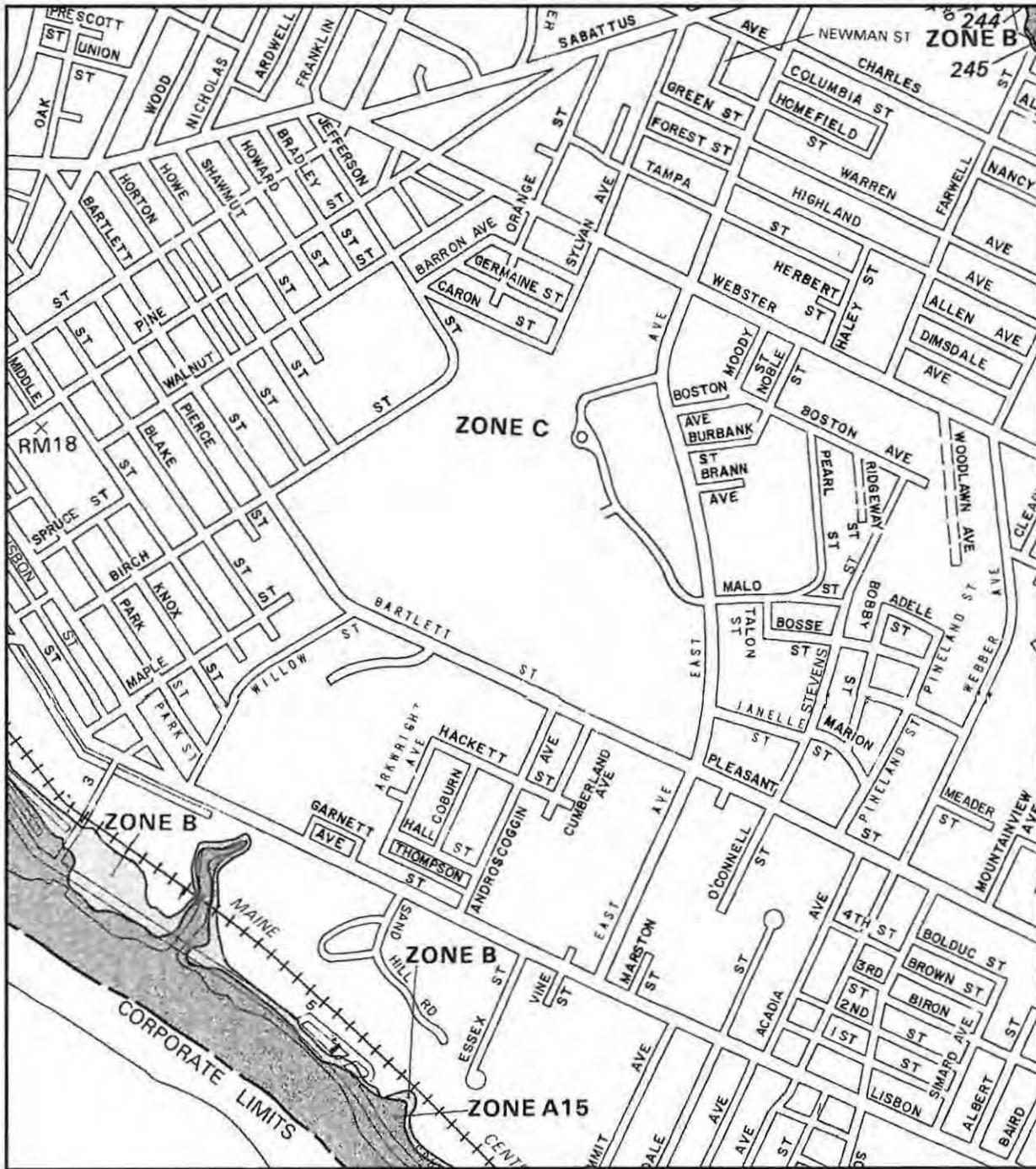
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SECTION 19

FLOODING

The proposed project will result in at least a net decrease of approximately 8,000 square feet of impervious area. This will result in a negligible impact on the total runoff from the 110 acre site and surrounding off site areas.

A review of the Federal Emergency Management Agency (FEMA) map for this area of Lewiston (see attached Community Panel Number 230004 0010 B panel 10 of 15) shows the project site is not in a flood zone.



NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

CITY OF
**LEWISTON,
MAINE**
ANDROSCOGGIN COUNTY

PANEL 10 OF 15

COMMUNITY-PANEL NUMBER
230004 0010 B

EFFECTIVE DATE:
SEPTEMBER 28, 1979

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

SECTION 20

BLASTING

Ledge blasting or removal is not expected on-site. Ledge was not encountered in test pits on-site during the field exploration. Test pit logs are attached in Section 11. No blasting plan has been prepared, since blasting is not very likely to occur or be significant.

If a small amount of blasting is needed, the applicant proposes the blasting activity will comply with the current U.S. Department of Interior Rules 816.61-68 and 817.610-68, and the Blasting Guidance Manual of the Office of Surface Mining, Reclamation and Enforcement; and will meet the criteria for maximum allowable peak particle velocities at off-site buildings within 500 feet of blasting activity. The Site Contractor will be responsible for performing the pre-blast survey together with the blasting subcontractor. The blasting subcontractor will be limited to small charges that minimize ground vibration, peak particle velocity, and impacts on nearby wells or structures, not exceeding the safe limits recommended by the U.S. Bureau of Mines in Appendix B of BUMINES RI 8507, as indicated on Figure B-1. Construction Specification Section 312000, subparagraph 3.3 B. dictates their responsibilities as follows:

Set no charges and do no blasting prior to coordinating schedule and locations with Owner. Prior to ledge rock blasting, perform a pre-blast survey of all structures and wells within 500 ft. of blasting locations. The pre-blast survey firm shall have 5-years experience in similar survey work. For the survey, interview the land owner of the buildings and wells, obtain a certified water test for nitrates and coliform of each well, photograph and videotape glass, plaster, chimneys, concrete foundations, and other masonry components of each structure. When blasting along roadways, take still photos at 50' maximum spacing along the construction area, and videotape the entire construction length with commercial grade equipment. When explosives are used for rock removal, the work shall be done by experienced powdermen, with a minimum of 5 years documented experience. Blasting shall be conducted in accordance with 25 M.R.S.A. ch. 318, and 38 M.R.S.A. sec. 490, and shall meet listed standards. Conduct blasting in strict accordance with current Department of Interior Rules 816.61-68 and 817.610-68, and the Blasting Guidance Manual, Office of Surface Mining, Reclamation and Enforcement, covering this type of work. Conduct blasting activity in such a manner that the peak particle velocity of ground vibration measured at the nearest property line and the locations of the nearest structures to the blast does not exceed the safe limits recommended by the U.S. Bureau of Mines in Appendix B of BUMINES RI 8507, as indicated on Figure B-1. Blasts shall be monitored by seismographs to record the effects at the nearest property line and on structures within the survey area, and demonstrate compliance with the regulations. A record of each blast must be kept for at least one year, and must be submitted to the Department of Environmental Protection upon request. Blast records shall consist of all information listed in 38 M.R.S.A. sec. 490-Z(14)(L), including such data as location of blast, depth and number of holes, type and quantity of explosives, time, etc. Prior to blasting, all applicable State and local permits shall be obtained, including the City Fire Department permit. To reduce the

risk of flyrock, blasts shall be properly covered, using blasting mats or other appropriate methods. At a minimum, flyrock must not leave the project boundary or enter a protected natural resource. Damage to structures caused by improper use of explosives shall be corrected at the Contractor's expense. Avoid blasting which will disturb new building foundations and compacted soil backfill. Following blasting activity, blasting records, pre-blast survey, and seismograph readings shall be compiled in a report and submitted to the Owner.

SECTION 21

AIR EMISSIONS

This project will have no significant impact on ambient air quality levels in the surrounding area. Vehicular traffic will not significantly increase from present levels in the area. All disturbed soil areas will be paved, seeded, or planted (with trees and shrubs), which will mitigate dust problems.

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SECTION 22

ODORS

Not Applicable. There are no significant odors associated with the recreational facilities project. Therefore, no odors will be generated by the proposed additions and renovations.

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SECTION 23

WATER VAPOR

Not applicable. There is no water vapor generating equipment or process involved with this recreational facilities construction project.

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SECTION 24

SUNLIGHT

There will be no impact on solar radiation reaching houses or buildings neighboring the site.

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SECTION 25

NOTICES

- A. List of Abutters is attached.
- B. Notice Certification is attached.
- C. Published Notices are attached.

Public Informational Meeting:

Not required. This is a minor amendment of an existing Site Location of Development Act permit.

**PUBLIC NOTICE:
NOTICE OF INTENT TO FILE**

Please take notice that

City of Lewiston, 29 Pine Street Lewiston Maine, 04240 , Tel. 513-3017

(Name, Address and Phone # of Applicant)

is intending to file:

A Site Location of Development Act permit application with the Maine Department of Environmental Protection pursuant to the provisions of 38 M.R.S.A. §§ 481 thru 490; and

April 17, 2013

(anticipated filing date)

The applications are for:

Modifications to existing sports fields to convert them to artificial turf, resurface track, pave existing gravel paths and parking, and a small addition to an existing concession stand.

(description of the project)

at the following location:

Franklin Pasture, Lewiston Maine

(project location)

A request for a public hearing or a request that the Board of Environmental Protection assume jurisdiction over this application must be received by the Department in writing, no later than 20 days after the application is found by the Department to be complete and is accepted for processing. A public hearing may or may not be held at the discretion of the Commissioner or Board of Environmental Protection. Public comment on the application will be accepted throughout the processing of the application.

The application will be filed for public inspection at the Department of Environmental Protection's office in Augusta during normal working hours. A copy of the application may also be seen at the municipal offices in Lewiston, Maine.

(town)

Written public comments may be sent to the regional office in Augusta, where the application is filed for public inspection:

MDEP, Central Maine Regional Office, 17 State House Station, Augusta, Maine 04333-0017

PUBLIC NOTICE FILING AND CERTIFICATION

The DEP Rules, Chapter 2, require an applicant to provide public notice for all Site Location projects with the exception of minor revisions and condition compliance applications. In the notice, the applicant must describe the proposed activity and where it is located. "Abutter" for the purposes of the notice provision means any person who owns property that is BOTH (1) adjoining and (2) within one mile of the delineated project boundary, including owners of property directly across a public or private right of way.

1. **Newspaper:** You must publish the Notice of Intent to File in a newspaper circulated in the area where the activity is located. The notice must appear in the newspaper within 30 days prior to the filing of the application with the Department. You may use the attached Notice of Intent to File form, or one containing identical information, for newspaper publication and certified mailing.
2. **Abutting Property Owners:** You must send a copy of the Notice of Intent to File by certified mail to the owners of the property abutting the activity. Their names and addresses can be obtained from the town tax maps or local officials. They must receive notice within 30 days prior to the filing of the application with the Department.
3. **Municipal Office:** You must send a copy of the Notice of Intent to File and a **duplicate of the entire application** to the Municipal Office.

ATTACH a list of the names and addresses of the owners of abutting property.

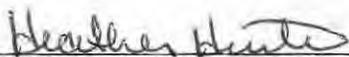
CERTIFICATION

By signing below, the applicant or authorized agent certifies that:

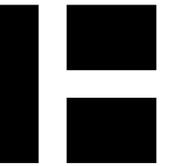
1. A Notice of Intent to File was published in a newspaper circulated in the area where the project site is located within 30 days prior to filing the application;
2. A certified mailing of the Notice of Intent to File was sent to all abutters within 30 days of the filing of the application;
3. A certified mailing of the Notice of Intent to File, and a duplicate copy of the application was sent to the town office of the municipality in which the project is located; and
4. Provided notice of, if required, and held a public informational meeting in accordance with Chapter 2, Rules Concerning the Processing of Applications, Section 14, prior to filing the application. Notice of the meeting was sent by certified mail to abutters and to the town office of the municipality in which the project is located at least ten days prior to the meeting. Notice of the meeting was also published once in a newspaper circulated in the area where the project site is located at least seven days prior to the meeting.

The Public Informational Meeting was held on Not Applicable
Date

Approximately N.A. members of the public attended the Public Informational Meeting.


Signature of Applicant or authorized agent

4/18/13
Date



HARRIMAN

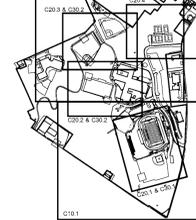
AUBURN PORTLAND MANCHESTER

FRANKLIN PASTURE SPORTS COMPLEX

LEWISTON, MAINE

Harriman Project No. 12729

Key Plan

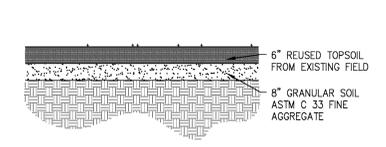


GENERAL NOTES: 1. EXISTING CONDITIONS IS COMPILED FROM A SURVEY PERFORMED BY A.R.C.C. LAND SURVEYORS INC. IN DECEMBER 2012 AND THE CITY GIS 2. THE GEOTECHNICAL INFORMATION PROVIDED BY SUMMIT GEOTECHNICAL SERVICES ON 4-16-13

SYNTHETIC TURF 1.0 GENERAL DESCRIPTION: THE SYNTHETIC GRASS SYSTEM REQUIRES A PERMEABLE SOIL BED BASE FOR OUTDOOR USE 1.1 PREPARATION OF THE SOIL BED 1.1.1 PROVIDE A GRANULAR BASE SOIL WITH LESS THAN 7% PASSING THE #200 SIEVE 1.1.2 REMOVE ALL TOPSOIL, ORGANIC AND NON-COMPACTABLE MATERIALS FROM BENEATH THE SYNTHETIC TURF BASE. 1.1.3 THE SOIL BED SHALL HAVE A MINIMUM SLOPE OF 1% 1.1.4 SOIL BED SHALL BE COMPACTED TO 95% MODIFIED PROCTOR (ASTM D1556) 1.1.5 SOIL BED SHALL BE GRADED TO 1/4 INCH IN 10 FEET IN ANY DIRECTION. 1.1.6 A NON-WOVEN GEOTEXTILE FABRIC IS REQUIRED TO COVER THE SOIL BED 1.2 CRUSHED STONE BASE 1.2.1 THE CRUSHED STONE SHALL BE LAID WITHOUT DAMAGING THE SOIL BED. CONTRACTOR SHALL NOT MAKE DEPRESSIONS IN THE SOIL BED WITH HEAVY EQUIPMENT. ANY DEPRESSIONS OR DEFORMITIES SHALL BE REPAIRED TO REQUIRED LINE AND GRADE AT NO ADDITION COST TO THE OWNER 1.2.2 CRUSHED STONE BASE SHALL BE INSTALLED IN LOOSE LIFTS NOT EXCEEDING 6 INCHES IN DEPTH. FULLY COMPACT THE CRUSHED STONE BASE USING COMPACTION EFFORT IN MULTIPLE PASSES WITH HALF OF THE PASSES IN A PERPENDICULAR DIRECTION. 1.2.3 FINISHED CRUSHED STONE BASE SURFACE SHALL BE SLOPED AT A MINIMUM OF 0.5% 1.2.4 FINISHED CRUSHED STONE BASE SURFACE OF THE LEVELING COURSE SHALL NOT VARY FROM THE SPECIFIED GRADE BY MORE THAN 1/4 INCH IN 10 FEET MEASURED IN ANY DIRECTION. 1.3 FINISH STONE 1.3.1 FINISH STONE SHALL BE 2 INCHES DEEP. 1.3.2 FINISH STONE SHALL BE SLOPED A MINIMUM OF 0.5% 1.3.3 FINISH STONE SHALL BE COMPACTED IN MULTIPLE PASSES WITH HALF THE PASSES IN A PERPENDICULAR DIRECTION. 1.4 CRUSHED STONE GRADATION

Table with 2 columns: BASE STONE % PASSING, FINISH STONE % PASSING. Rows include sieve sizes from 2'(50MM) to #200 (75µM).

GRAVEL UNDER SYNTHETIC TURF table with 2 columns: SIEVE, % PASSING. Rows include 2 IN., 1/2 IN., 1/4 IN., #40, #200.

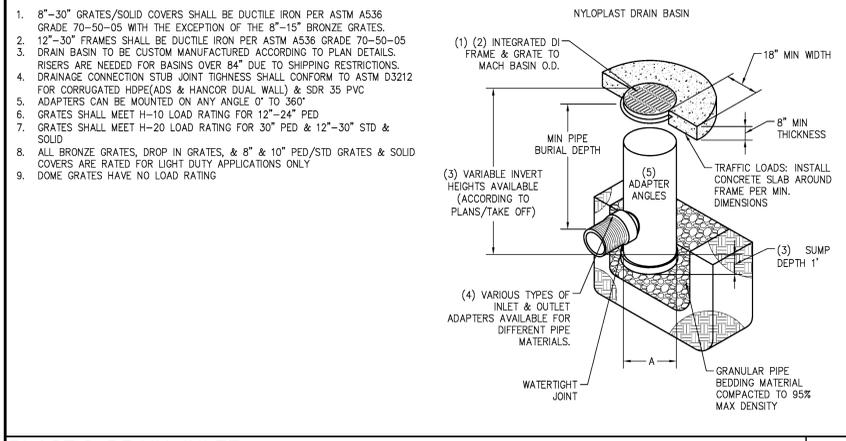


SYNTHETIC TURF BASE NOTES

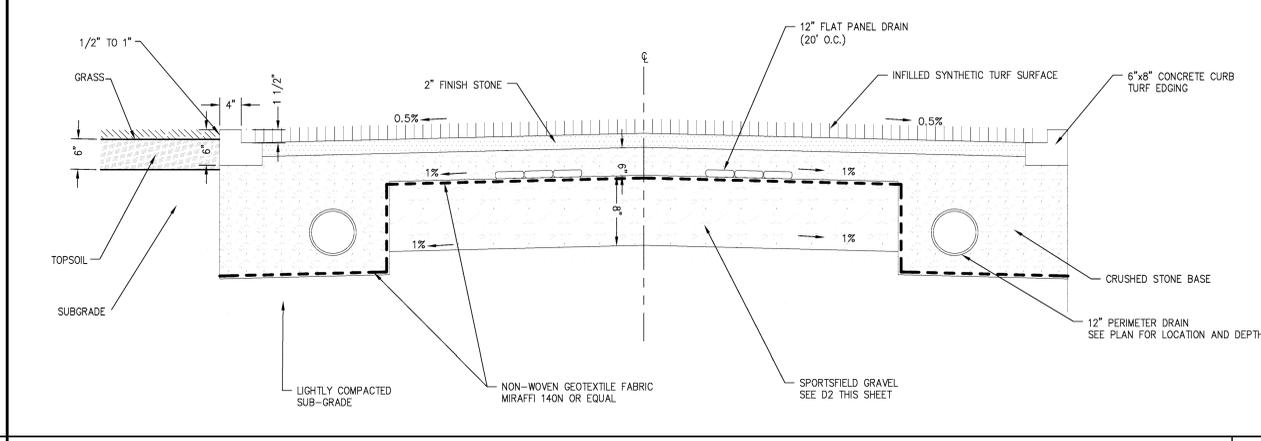
D3 SPORTSFIELD GRAVEL NOT TO SCALE

D2 GRASS TURF SECTION NOT TO SCALE

D1

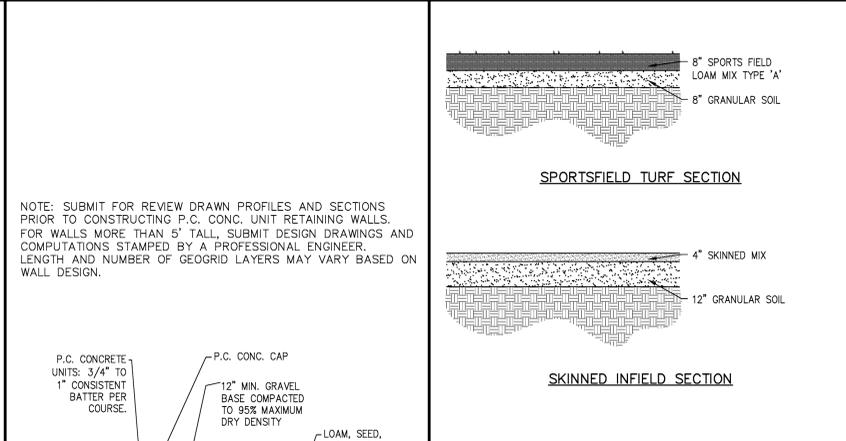


PLASTIC DRAIN INLET NOT TO SCALE

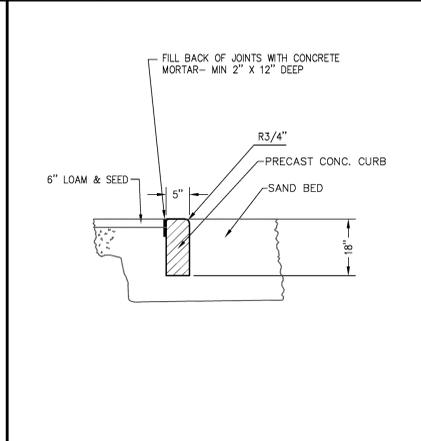


C4 SYNTHETIC TURF DETAIL NOT TO SCALE

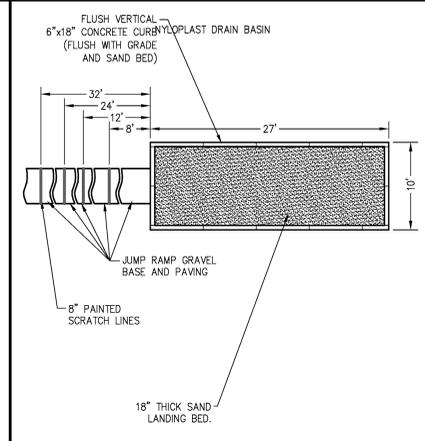
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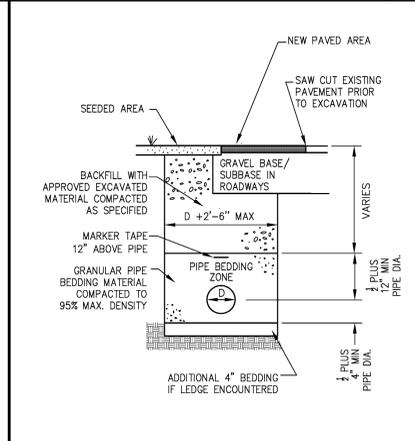
SPORTSFIELD SECTIONS NOT TO SCALE



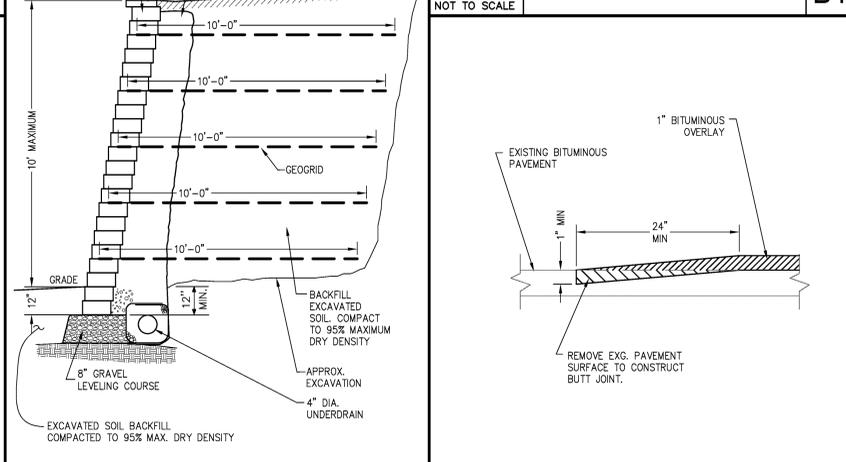
B3 PRECAST CONCRETE CURB NOT TO SCALE



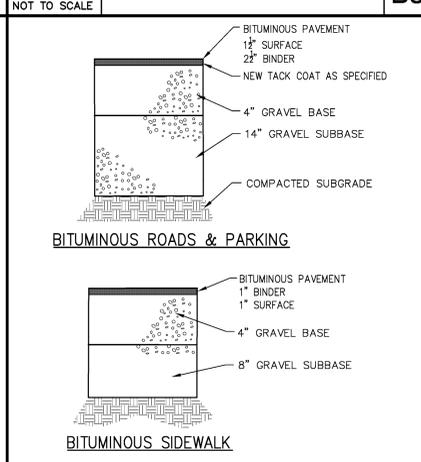
B2 LONG/TRIPLE JUMP LANDING AREA NOT TO SCALE



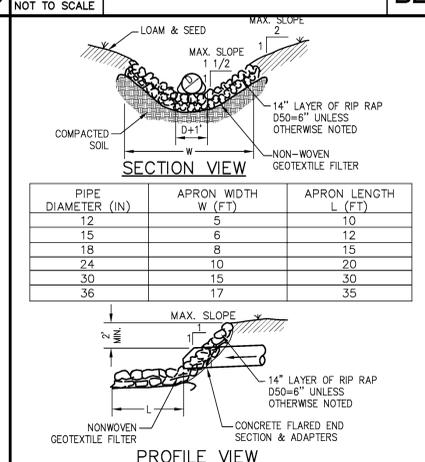
B1 PIPE TRENCH NOT TO SCALE



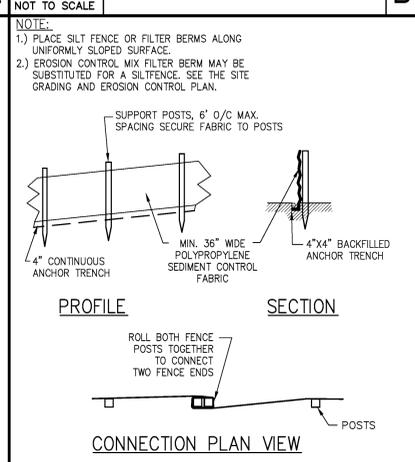
A5 PRECAST CONCRETE UNIT RETAINING WALL NOT TO SCALE



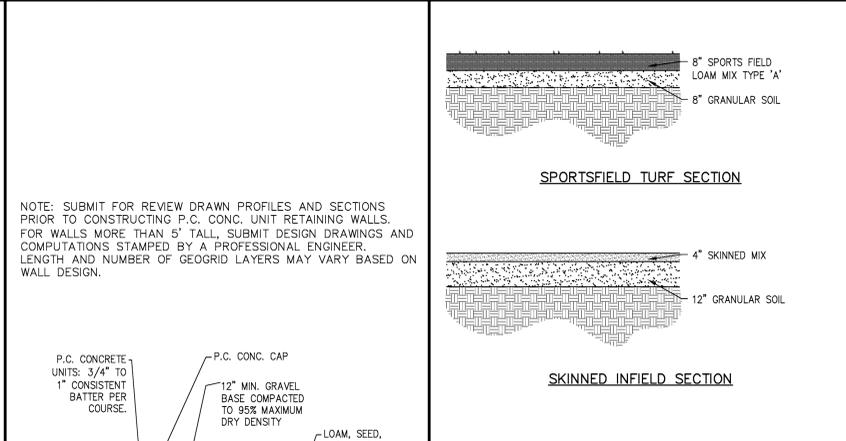
A4 BITUMINOUS PAVEMENT DETAILS NOT TO SCALE



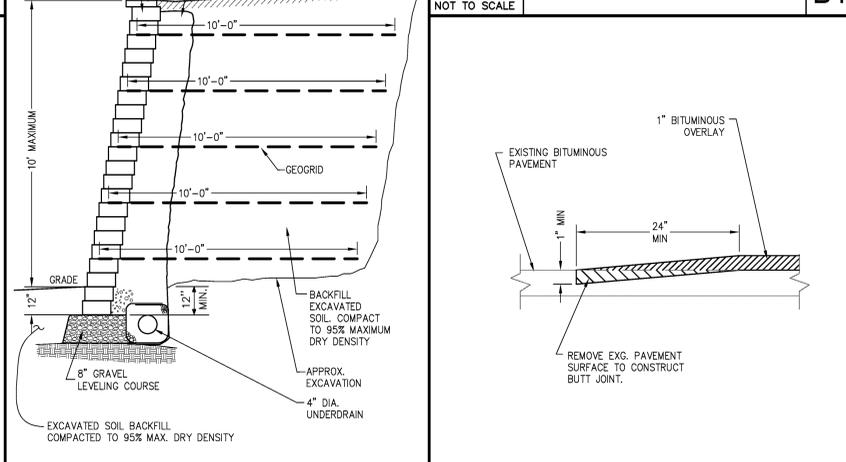
A3 STORM DRAIN INLET/OUTLET RIP-RAP NOT TO SCALE



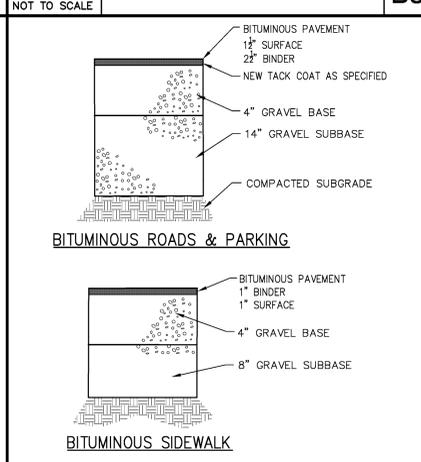
A2 SILT FENCE NOT TO SCALE



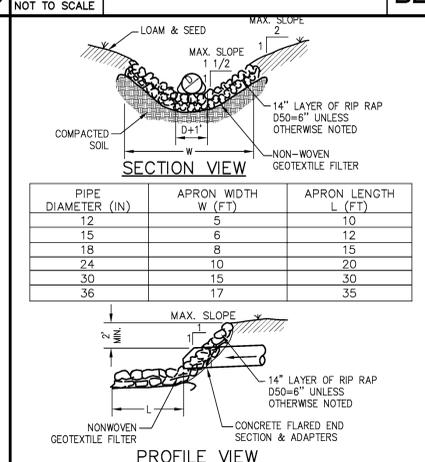
B6 HAY BALE SEDIMENT FILTER NOT TO SCALE



A6 SEDIMENT FILTER SACK NOT TO SCALE

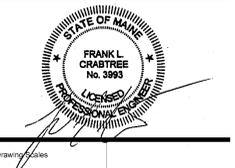


A4 PAVEMENT OVERLAY JOINT NOT TO SCALE



A3 BITUMINOUS SIDEWALK NOT TO SCALE

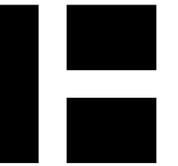
Issues and Revisions table with columns: Mark, Date, Description. Rows include 4-18-13 DEP REVIEW and 6-5-13 PLANNING BOARD REVIEW.



PA/PE: FLC © 2013 Harriman Associates Drawn By: PLS

SITE DETAILS

C50.1



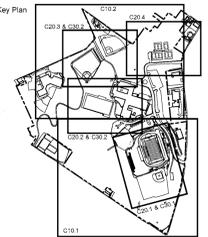
HARRIMAN

AUBURN PORTLAND MANCHESTER

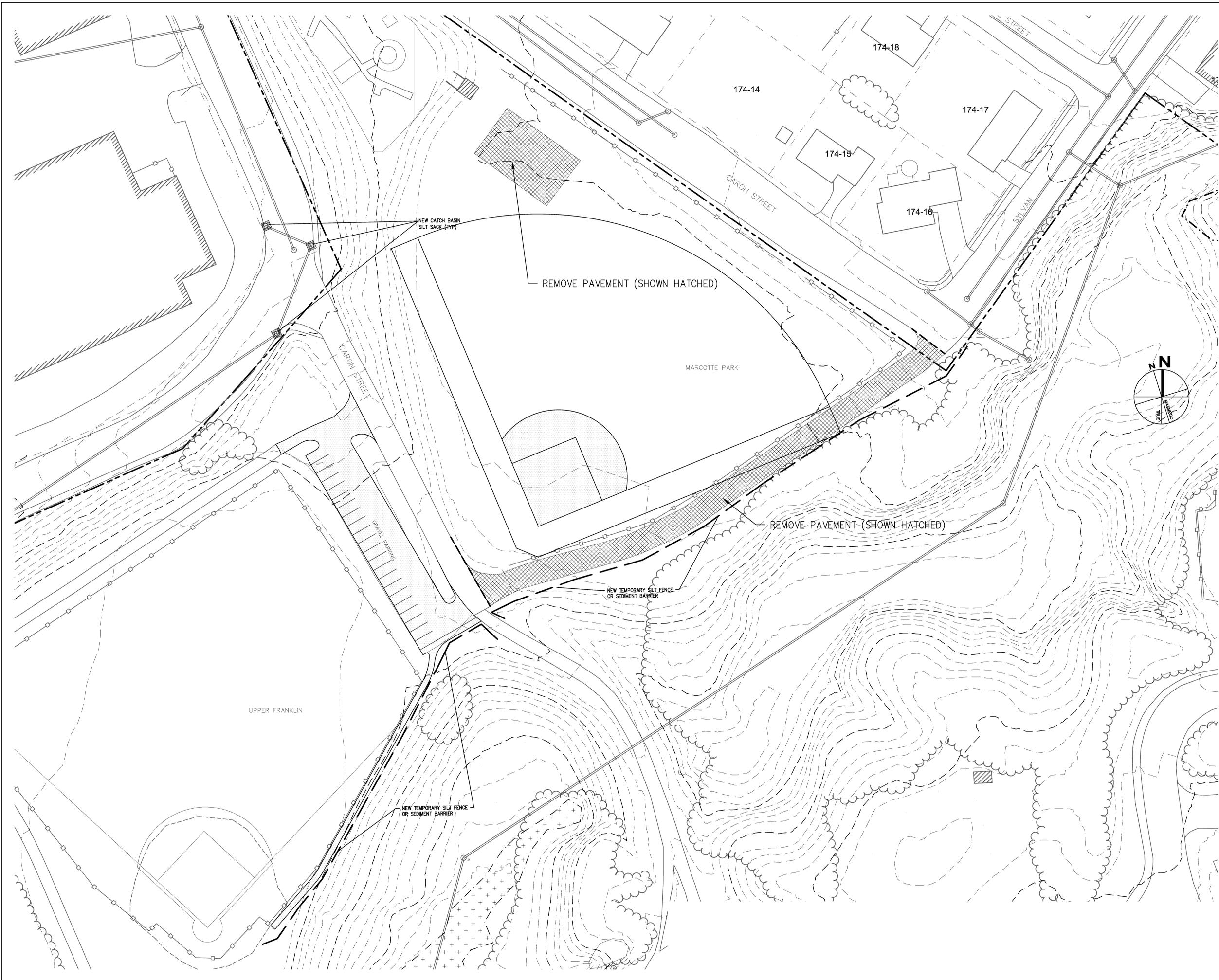
**FRANKLIN PASTURE
SPORTS COMPLEX**

LEWISTON, MAINE

Harriman Project No. 12729

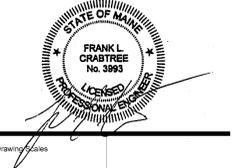


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2. THE GEOTECHNICAL INFORMATION PROVIDED BY SUMMIT GEOTECHNICAL SERVICES ON 4-16-13



Issues and Revisions

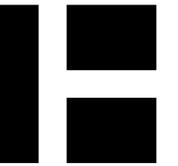
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6-8-13		PLANNING BOARD REVIEW



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**SITE GRADING AND
UTILITY PLAN**

C30.3



HARRIMAN

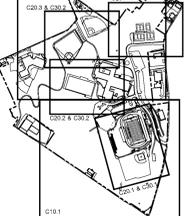
AUBURN PORTLAND MANCHESTER

FRANKLIN PASTURE SPORTS COMPLEX

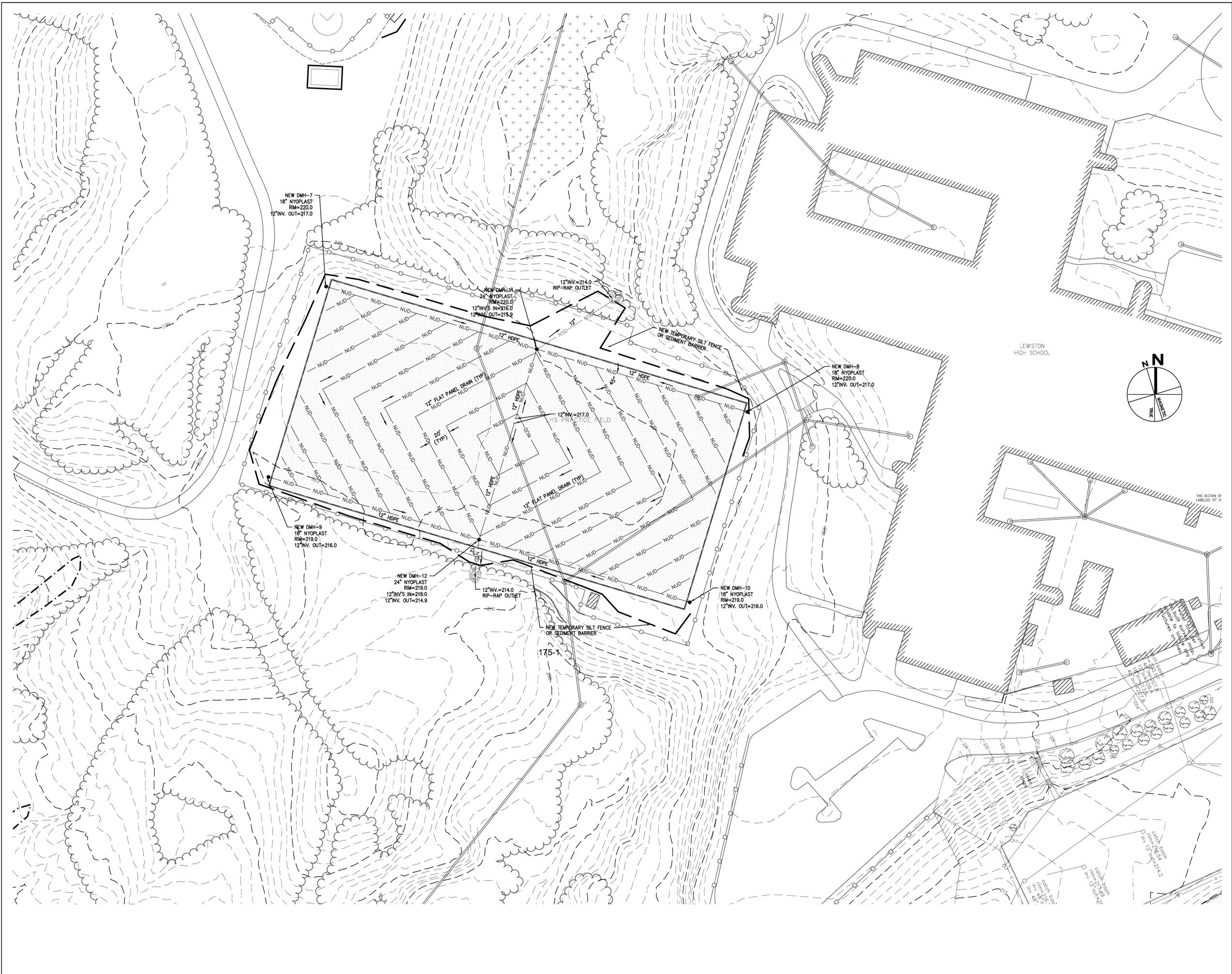
LEWISTON, MAINE

Harriman Project No. 12729

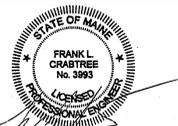
Key Plan



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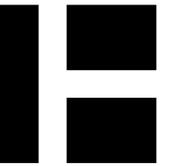
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	6-5-13	PLANNING BOARD REVIEW



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SITE GRADING AND UTILITY PLAN

C30.2



HARRIMAN

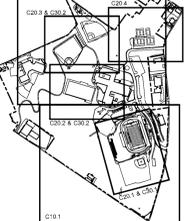
AUBURN PORTLAND MANCHESTER

FRANKLIN PASTURE SPORTS COMPLEX

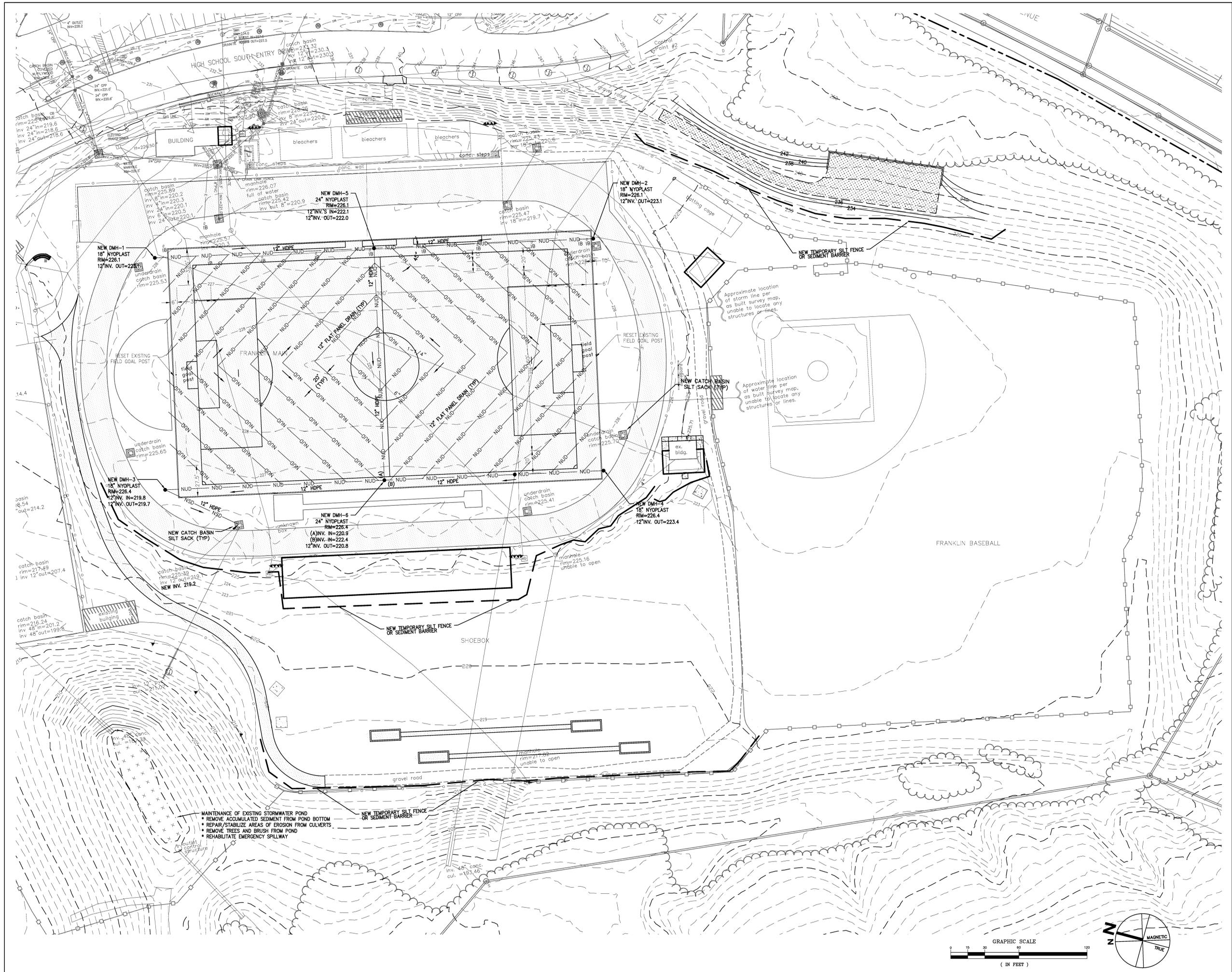
LEWISTON, MAINE

Harriman Project No. 12729

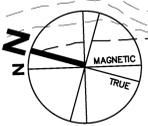
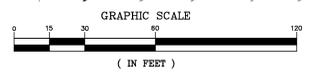
Key Plan



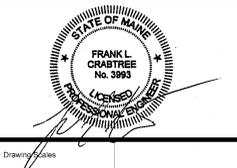
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- MAINTENANCE OF EXISTING STORMWATER POND
- REMOVE ACCUMULATED SEDIMENT FROM POND BOTTOM
- REPAIR/STABILIZE AREAS OF EROSION FROM CULVERTS
- REMOVE TREES AND BRUSH FROM POND
- REHABILITATE EMERGENCY SPILLWAY



Issues and Revisions		
Mark	Date	Description
	4-18-13	DEP REVIEW
	6-5-13	PLANNING BOARD REVIEW



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SITE GRADING AND UTILITY PLAN

C30.1



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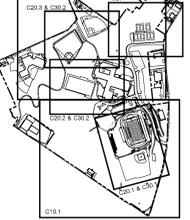
AUBURN PORTLAND MANCHESTER

FRANKLIN PASTURE SPORTS COMPLEX

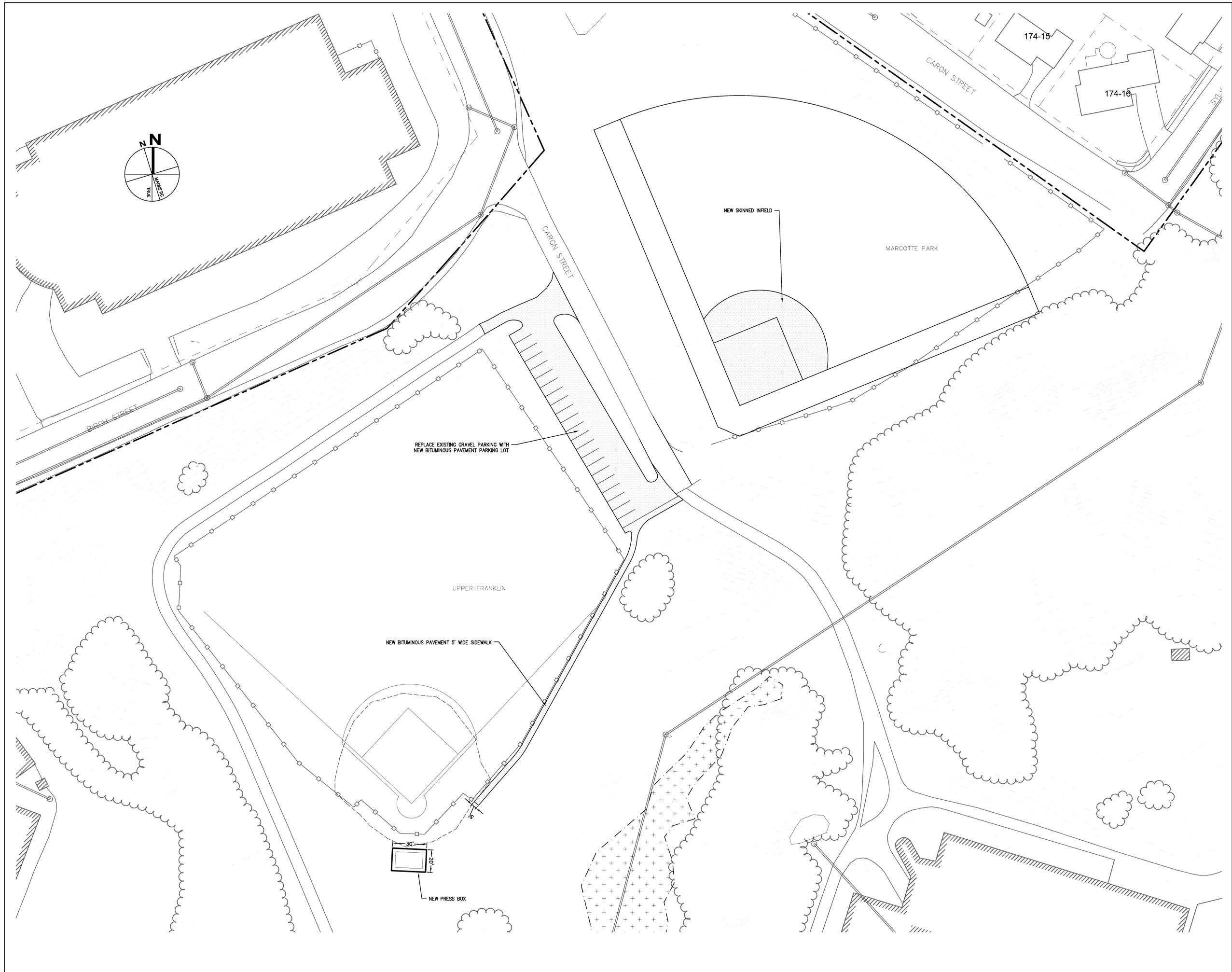
LEWISTON, MAINE

Harriman Project No. 12729

Key Plan



GENERAL NOTES:
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2. THE GEOTECHNICAL INFORMATION PROVIDED BY SUMMIT GEOTECHNICAL SERVICES ON 4-16-13



NEW SKINNED INFIELD

MARCOTTE PARK

CARON STREET

174-15

174-16

BIRCH STREET

REPLACE EXISTING GRAVEL PARKING WITH NEW BITUMINOUS PAVEMENT PARKING LOT

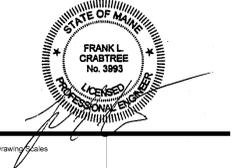
UPPER FRANKLIN

NEW BITUMINOUS PAVEMENT 5' WIDE SIDEWALK

NEW PRESS BOX

Issues and Revisions

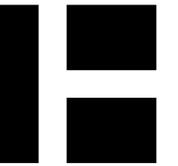
Mark	Date	Description
	4-18-13	DEP REVIEW
	6-5-13	PLANNING BOARD REVIEW



PA/PE: FLC © 2013 Harriman Associates
Drawn By: PLS

SITE LAYOUT PLAN

C20.3



HARRIMAN

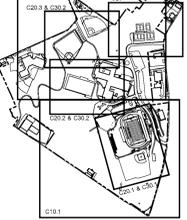
AUBURN PORTLAND MANCHESTER

FRANKLIN PASTURE SPORTS COMPLEX

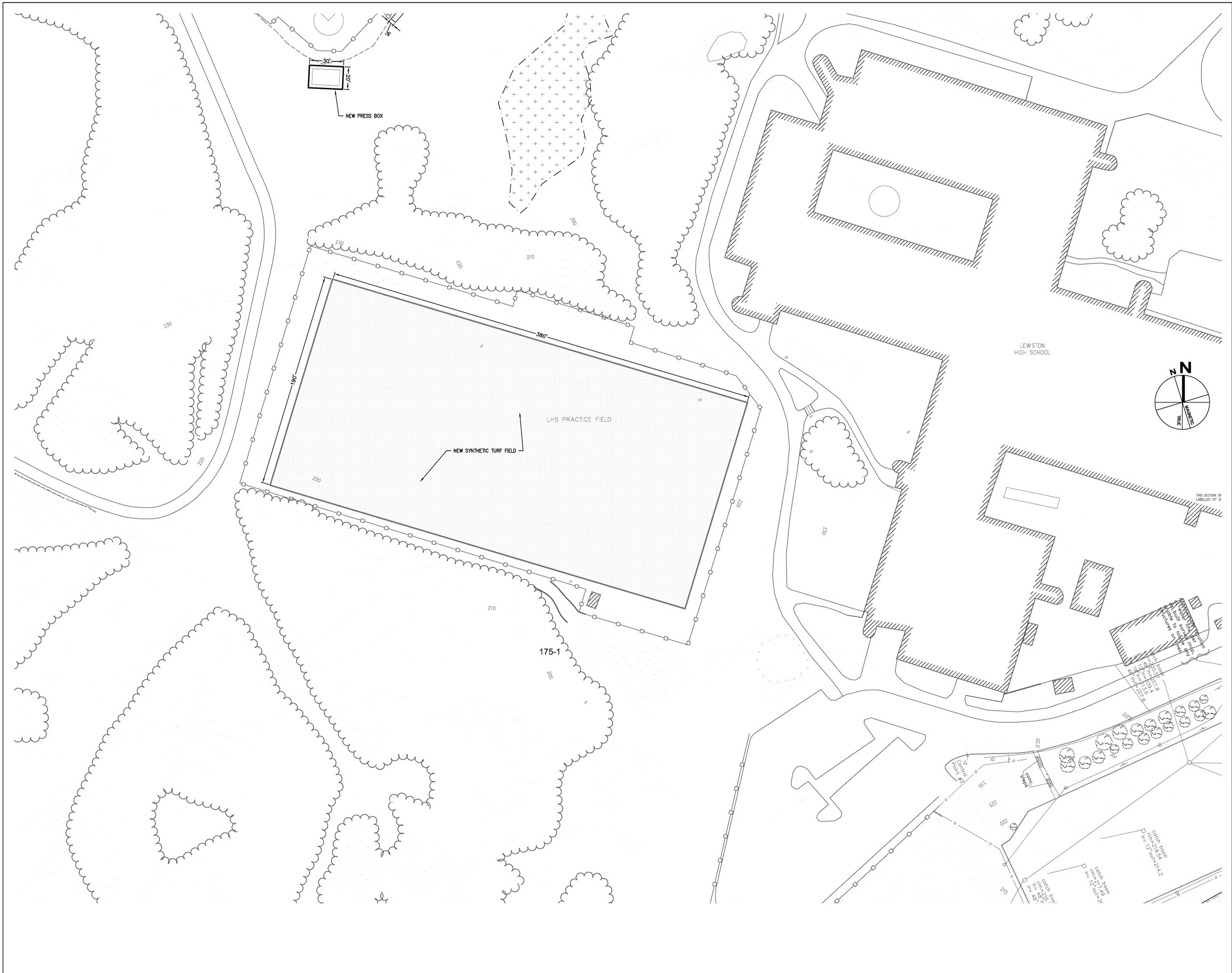
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THIS SECTION IS LABELLED 10' 0"

Issues and Revisions

Mark	Date	Description
4-18-13	DEP REVIEW	
6-5-13	PLANNING BOARD REVIEW	

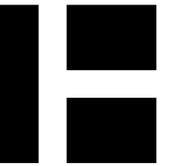


Drawn/Date

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Drawn By: PLS Harriman Associates

SITE LAYOUT PLAN

C20.2



HARRIMAN

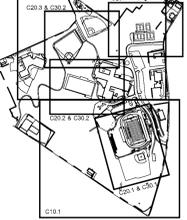
AUBURN PORTLAND MANCHESTER

FRANKLIN PASTURE SPORTS COMPLEX

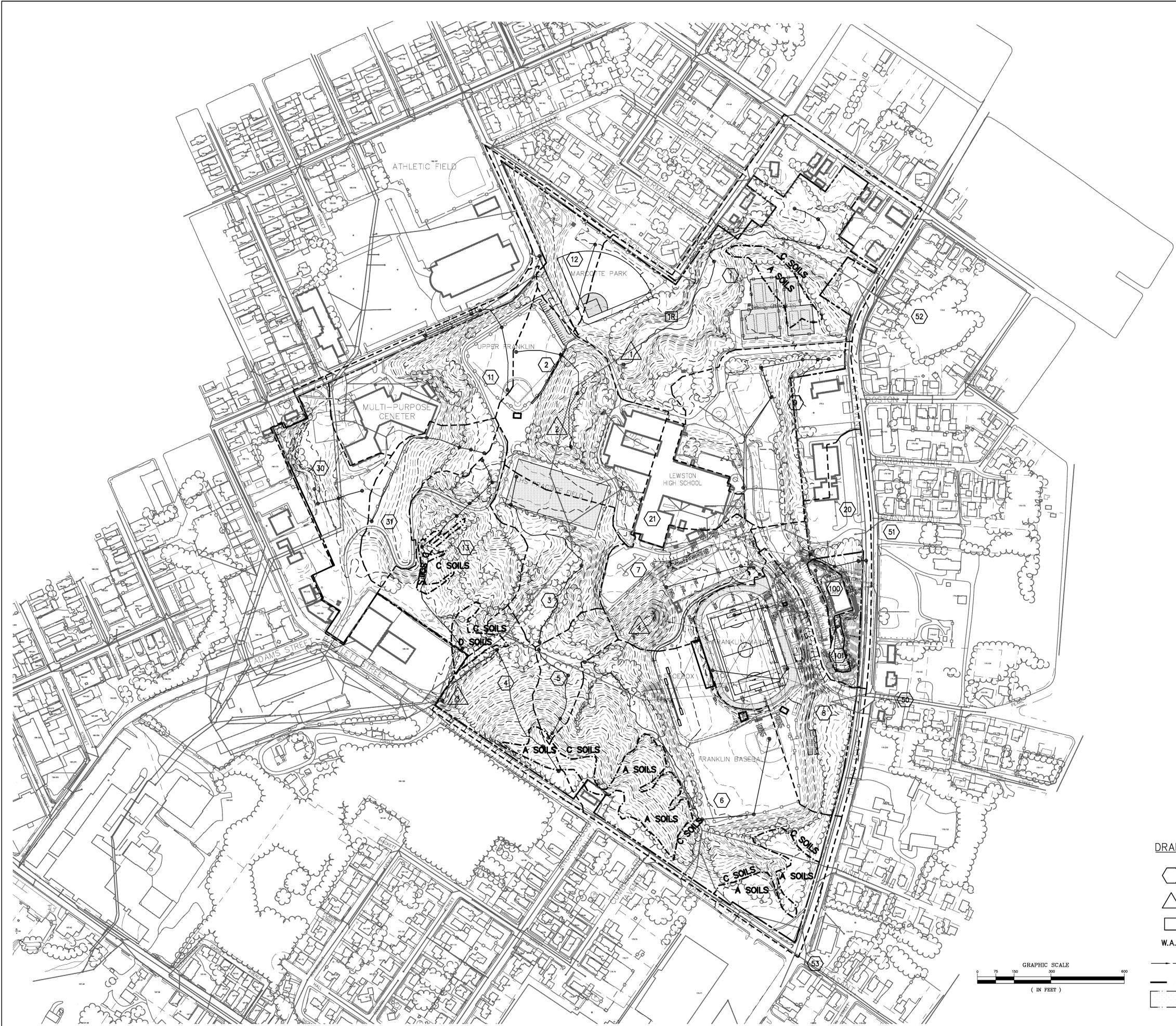
LEWISTON, MAINE

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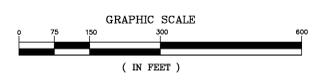


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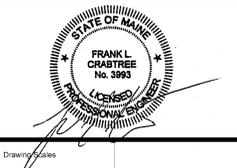


DRAINAGE LEGEND

-  SUBCATCHMENT
-  POND
-  REACH
-  W.A.P.
-  Tc FLOWLINE
-  BOUNDARY
-  WETLAND



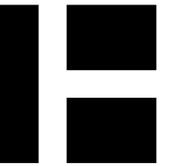
Mark	Date	Description
4-18-13		DEP REVIEW
6-5-13		PLANNING BOARD REVIEW



PA/PE: FLC © 2013
Drawn By: PLS Harriman Associates

POST-DEVELOPMENT DRAINAGE PLAN

C12.1



HARRIMAN

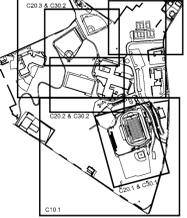
AUBURN PORTLAND MANCHESTER

FRANKLIN PASTURE SPORTS COMPLEX

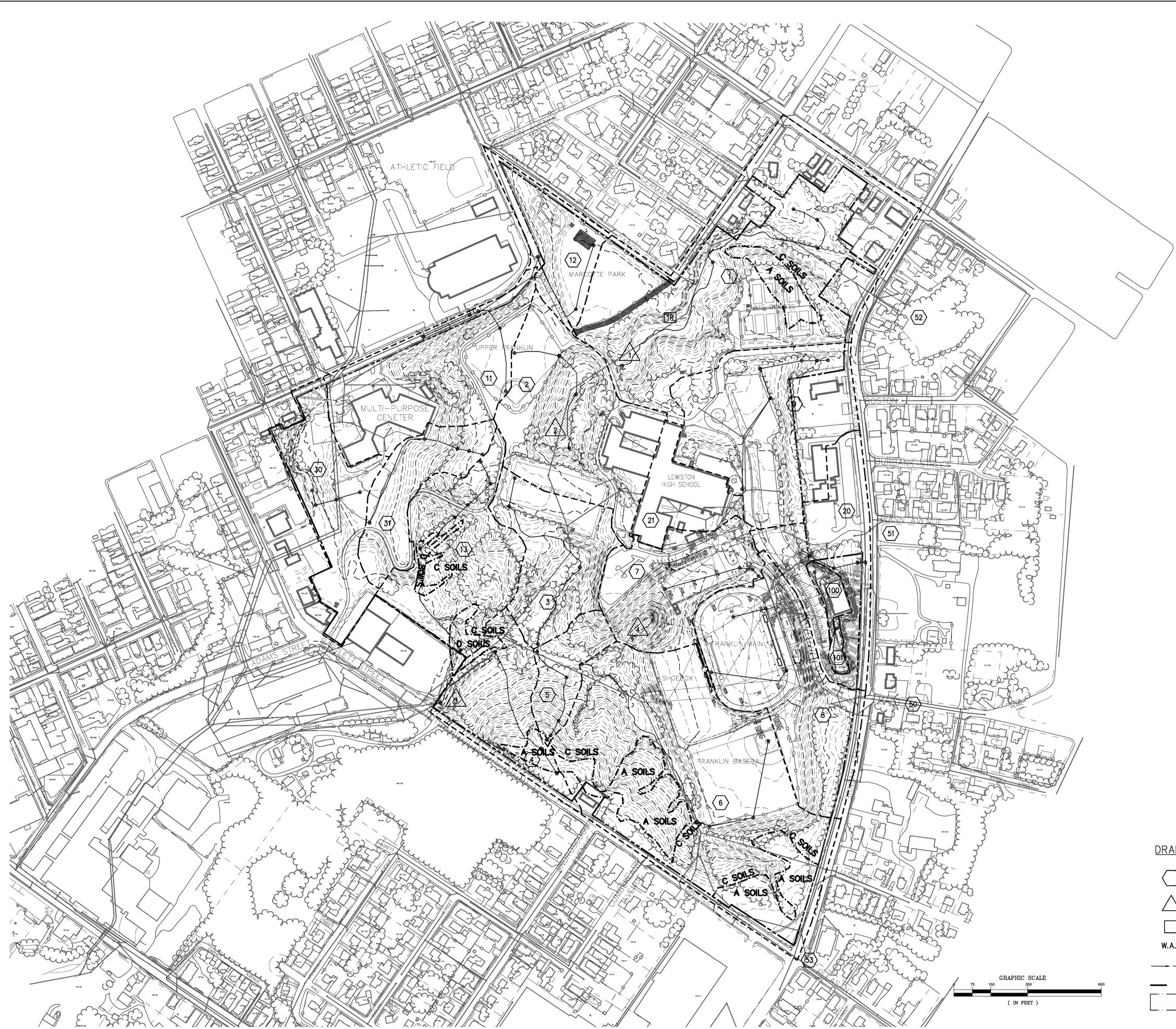
LEWISTON, MAINE

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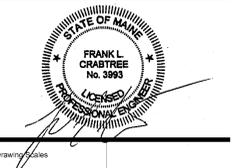
GENERAL NOTES:
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DRAINAGE LEGEND

- SUBCATCHMENT
- POND
- REACH
- W.A.P.
- Tc FLOWLINE
- BOUNDARY
- WETLAND

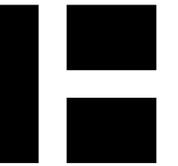
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Drawn By: PLS Harriman Associates

PRE-DEVELOPMENT DRAINAGE PLAN

C11.1



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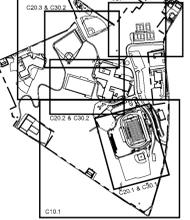
AUBURN PORTLAND MANCHESTER

FRANKLIN PASTURE SPORTS COMPLEX

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Issues and Revisions

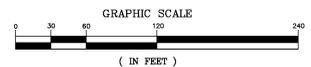
Mark	Date	Description
4-18-13		DEP REVIEW
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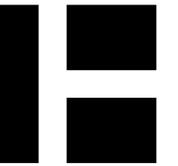
Drawing Scales

PA / PE: FLC © 2013
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EXISTING SITE CONDITIONS AND DEMOLITION PLAN

C10.2





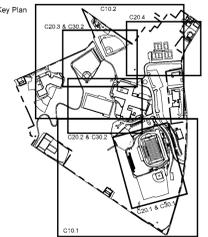
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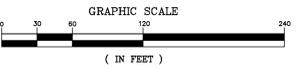
**FRANKLIN PASTURE
SPORTS COMPLEX**

LEWISTON, MAINE

Harriman Project No. 12729



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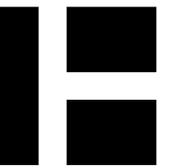
Issues and Revisions		
Mark	Date	Description
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Drawing Scales

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**EXISTING SITE
CONDITIONS AND
DEMOLITION PLAN**

C10.1



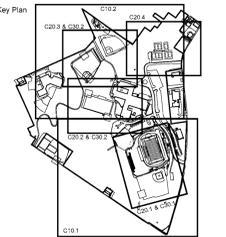
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AUBURN PORTLAND MANCHESTER

FRANKLIN PASTURE SPORTS COMPLEX

LEWISTON, MAINE

Harriman Project No. 12729



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- 1. CATCH BASIN GRATES SHALL BE SET SQUARE TO PAVEMENT EDGES.
2. THE ACCURACY AND COMPLETENESS OF SUBSURFACE INFORMATION IS NOT GUARANTEED. VERIFY SITE CONDITIONS INCLUDING TEST PITS FOR LOCATIONS AND INVERTS OF UTILITIES AND REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK.
3. CLEAN SEDIMENTS FROM NEW AND EXISTING STORM DRAIN PIPES AND CATCH BASINS.
4. COORDINATE WORK ON UTILITY LINES OR WITHIN ROAD RIGHT-OF-WAY WITH THE UTILITY COMPANIES AND CITY/TOWN ROAD DEPARTMENT AND STATE MDT.
5. RESET RIMS OF EXISTING UTILITY STRUCTURES, MANHOLES & CATCH BASINS TO NEW GRADE.
6. PRIOR TO REMOVAL OF UTILITIES, VERIFY UTILITY FUNCTION, MATERIAL, USE, AND CURRENT ACTIVITY. REPORT DISCREPANCIES TO THE ARCHITECT FOR DIRECTION PRIOR TO COMMENCING THE WORK ON THAT UTILITY.

UTILITY NOTES

NOT TO SCALE

C1

- PRIOR TO EXCAVATION, VERIFY THE UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND FACILITIES. PROVIDE THE FOLLOWING MINIMUM MEASURES:
A. PRE-MARK THE BOUNDARIES OF YOUR PLANNED EXCAVATION WITH WHITE PAINT, FLAGS OR STAKES, SO UTILITY CREWS KNOW WHERE TO MARK THEIR LINES.
B. CALL DIG SAFE, AT EITHER 811 OR 1-888-DIGSAFE, AT LEAST 72 BUSINESS HOURS - BUT NO MORE THAN 30 CALENDAR DAYS - BEFORE STARTING WORK. DON'T ASSUME SOMEONE ELSE WILL MAKE THE CALL.
C. IF BLASTING, NOTIFY DIG SAFE AT LEAST 24 BUSINESS HOURS IN ADVANCE.
D. WAIT 72 HOURS FOR LINES TO BE LOCATED AND MARKED WITH COLOR-CODED PAINT, FLAGS OR STAKES. NOTE THE COLOR OF THE MARKS AND THE TYPE OF UTILITIES THEY INDICATE. TRANSFER THESE MARKS TO THE AS-BUILT DRAWINGS.
E. CONTACT THE LANDOWNER AND OTHER "NON-MEMBER" UTILITIES (WATER, SEWER, GAS, ETC.), FOR THEM TO MARK THE LOCATIONS OF THEIR UNDERGROUND FACILITIES. TRANSFER THESE MARKS TO THE AS-BUILT DRAWINGS.
F. RE-NOTIFY DIG SAFE AND THE NON-MEMBER UTILITIES IF THE DIGGING, DRILLING OR BLASTING DOES NOT OCCUR WITHIN 30 CALENDAR DAYS, OR IF THE MARKS ARE LOST DUE TO WEATHER CONDITIONS, SITE WORK ACTIVITY OR ANY OTHER REASON.
G. HAND DIG WITHIN 18 INCHES IN ANY DIRECTION OF ANY UNDERGROUND LINE UNTIL THE LINE IS EXPOSED. MECHANICAL METHODS MAY BE USED FOR INITIAL SITE PENETRATION, SUCH AS REMOVAL OF PAVEMENT OR ROCK.
H. DIG SAFE REQUIREMENTS ARE IN ADDITION TO TOWN, CITY AND/OR STATE DOT STREET OPENING PERMIT REQUIREMENTS.
I. FOR COMPLETE DIG SAFE REQUIREMENTS, VISIT THEIR WEBSITE.
J. IF YOU DAMAGE, DISLOCATE OR DISTURB ANY UNDERGROUND UTILITY LINE, IMMEDIATELY NOTIFY THE AFFECTED UTILITY. IF DAMAGE CREATES SAFETY CONCERNS, CALL THE FIRE DEPARTMENT AND TAKE IMMEDIATE STEPS TO SAFEGUARD HEALTH AND PROPERTY.
K. ANY TIME AN UNDERGROUND LINE IS DAMAGED OR DISTURBED, OR IF LINES ARE IMPROPERLY MARKED, YOU MUST CALL DIGSAFE.

DIG SAFE NOTES

NOT TO SCALE

B4

GRADING NOTES

NOT TO SCALE

B3

GENERAL SITE NOTES

NOT TO SCALE

Utility legend table with columns for EXISTING and PROPOSED symbols. Includes symbols for BUILDING, BIT. CONC. PAVEMENT, CURB, CHAIN-LINK FENCE, GUARDRAIL, SIGN, BOLLARDS, HANDICAP RAMP, TREES, 1' CONTOUR, SPOT ELEVATION, GRADE TO DRAIN, SOIL BORING, TEST PIT, SILT FENCE, HAY BALE, BARK/STONE CHECK DAM, RIP-RAP, CATCH BASIN/DRAIN INLET, STEAM MANHOLE, STORM DRAIN MANHOLE, SEWER MANHOLE, TELEPHONE MANHOLE, ELECTRIC MANHOLE/PULLBOX, WATER VALVE, HYDRANT, UTILITY POLE, LIGHT FIXTURE WITH LABEL, UTILITY POLE WITH LIGHT, LIGHT BOLLARD, SPOT LIGHT, WALL PACK, TRANSFORMER PAD, POLE TRANSFORMER, GEOTHERMAL WELL, STORM DRAIN, UNDERDRAIN, SANITARY SEWER, WATER LINE, IRRIGATION LINE, GAS, PROPANE, STEAM LINE, GEOTHERMAL WATER, UNDERGROUND COMMUNICATION LINE, UNDERGROUND ELECTRICAL, UNDERGROUND LIGHTING, AERIAL ELECTRICAL, TELEPHONE, AND CABLE, PROPERTY LINE, NOT IN CONTRACT, N.I.C.

- 1. ADD 4" LOAM, SEED AND MULCH TO DISTURBED AREAS UNLESS OTHERWISE NOTED. PROVIDE EROSION CONTROL MESH ON ALL SLOPES 6:1 OR STEEPER, AND ALONG DITCH CHANNELS.
2. GRADE SURFACES TO DRAIN AWAY FROM BUILDING. PUDDLING OF WATER IN PAVED OR UNPAVED AREAS WILL NOT BE ACCEPTABLE EXCEPT FOR AREAS DESIGNATED AS PONDS.
3. MAINTAIN TEMPORARY EROSION CONTROL MEASURES FOR THE FULL DURATION OF CONSTRUCTION. INSPECT WEEKLY AND AFTER EACH STORM AND REPAIR AS NEEDED. REMOVE SEDIMENTS FROM THE SITE, PLACE IN AREA OF LOW EROSION POTENTIAL, AND STABILIZE WITH SEED AND MULCH.
4. PLACE TEMPORARY SOIL STABILIZATION WITHIN 30 DAYS OF INITIAL DISTURBANCE. PLACE PERMANENT SOIL STABILIZATION WITHIN 7 DAYS OF FINAL GRADING.

- 1. RELOCATE EXISTING TBM INFORMATION ONTO NEW TBM OF CONTRACTORS CHOICE FOR CONSTRUCTION USE PRIOR TO REMOVAL OF EXISTING TBM.
2. SOME EXISTING PIPES COULD BE ASBESTOS CEMENT PIPE. HANDLE AND DISPOSE OF ASBESTOS MATERIALS WITH CARE AND IN ACCORDANCE WITH APPLICABLE CODES AND SAFETY STANDARDS.
3. EXCAVATE AND STOCKPILE ON-SITE TOPSOIL. TOPSOIL IS TO REMAIN THE PROPERTY OF THE OWNER DURING CONSTRUCTION, AND SHALL NOT BE REMOVED FROM THE SITE. AFTER FINAL LOAM AND SEED EXCESS TOPSOIL SHALL BE REMOVED FROM SITE BY CONTRACTOR.
4. PAVEMENT EDGES SHALL BE TRUE TO LINE. SAWCUT EXISTING PAVEMENT IN SMOOTH STRAIGHT LINE WHERE NEW PAVEMENT JOINS. PROVIDE TACK COAT LAYER AS SPECIFIED.
5. CONTRACTOR SHALL VERIFY SITE CONDITIONS, INCLUDING TEST PITS FOR LOCATIONS AND INVERTS OF UTILITIES, AND REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK.
6. PROVIDE TRAFFIC CONTROL SIGNAGE AND STRIPING AS SHOWN AND IN ACCORDANCE WITH U.S.D.O.T. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

CURB ABBREVIATIONS

Table with 2 columns: Abbreviation and Description. Includes RVGC, VGC, SGC, FGC, TCE, TRC, BC, CCBC.

PAINT STRIPING ABBREVIATIONS

Table with 2 columns: Abbreviation and Description. Includes SWSL, SWDL, SYSL, SYDL, DYSL.

GENERAL ABBREVIATIONS

Table with 4 columns: Abbreviation and Description. Includes BIT., C.O., CONC., DI., ELEV., EXG., F.F.E., FT., GW, INV., MAX., MIN., N.I.C., NCB, NFO, NGW, NLP, NS, NSD, NSFM, NSL, NUD, NUE, NUG, NUF, NUSC, NWF, P.C., R, S, SQ, T, TYP, W/, UNO, NEW SEWER, NEW STORM DRAIN, NEW SEWER FORCE MAIN, NEW SPOT LIGHT, NEW UNDERDRAIN, NEW UNDERGROUND ELECTRICAL, NEW UNDERGROUND GAS, NEW UNDERGROUND FUEL, NEW UNDERGROUND SPARE CONDUIT, NEW WATER, NEW WALL FIXTURE, RAMP, STRUCTURAL PAD, SQUARE, TRANSITIONAL PAD, TEMPORARY BENCH MARK, TYPICAL, WITH, UNLESS NOTED OTHERWISE.

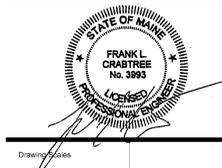
STANDARD SITE ABBREVIATIONS

NOT TO SCALE

STANDARD SITE LEGEND

NOT TO SCALE

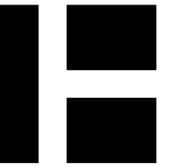
PA/PE: FLC © 2013 Harriman Associates



Issues and Revisions table with columns: Mark, Date, Description. Includes entries for 4-18-13 DEP REVIEW and 6-5-13 PLANNING BOARD REVIEW.

SITE NOTES

C00.2



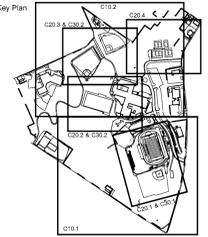
HARRIMAN

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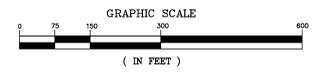
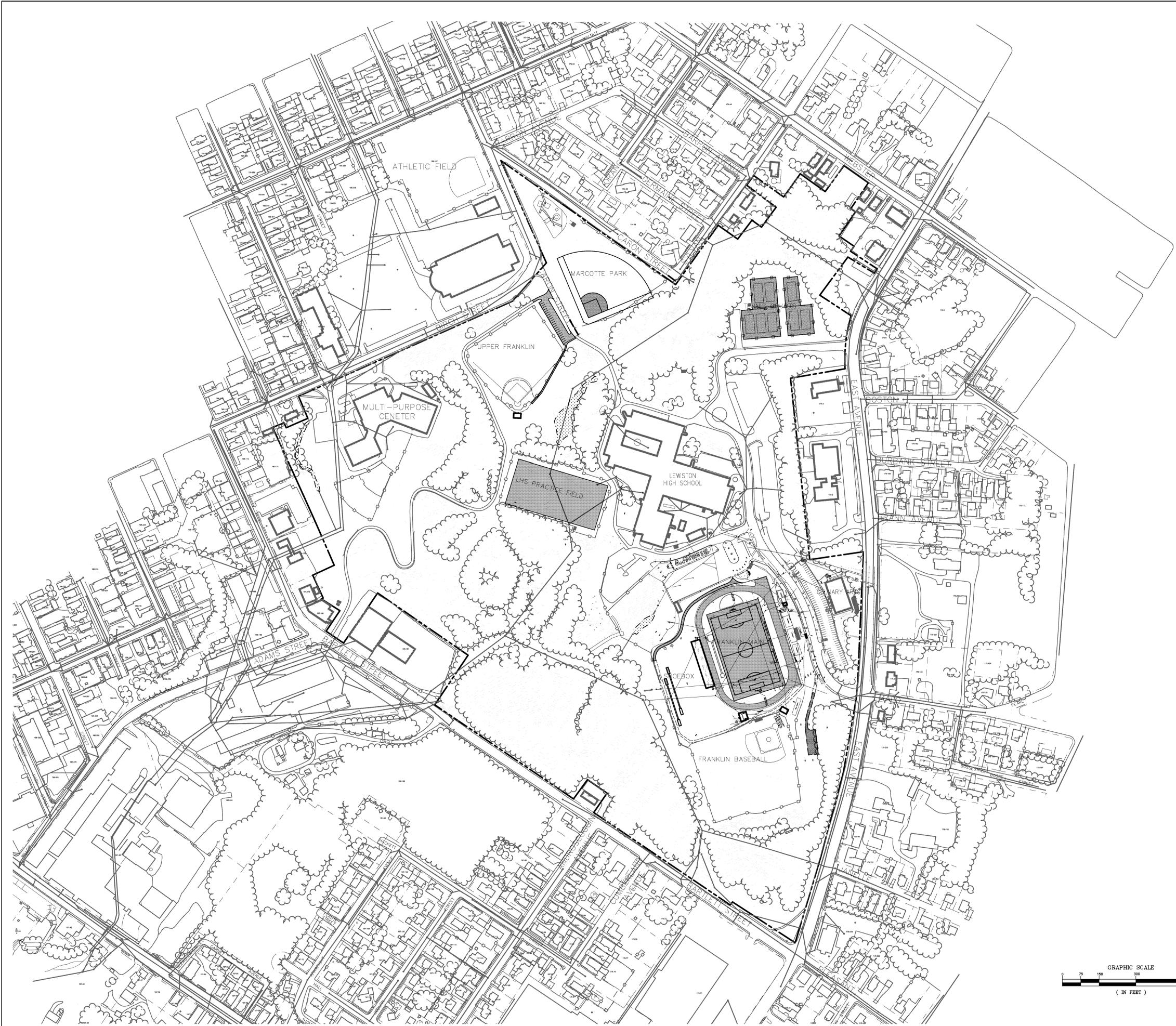
FRANKLIN PASTURE SPORTS COMPLEX

LEWISTON, MAINE

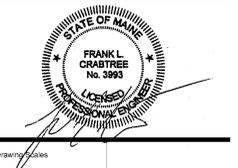
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	4-18-13	DEP REVIEW
	6-5-13	PLANNING BOARD REVIEW



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Drawn By: PLS Harriman Associates

SITE OVERVIEW PLAN

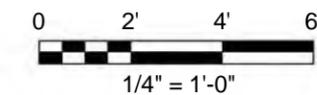
C00.1



FRANKLIN PASTURE MAIN COMPLEX



BUILDING 2





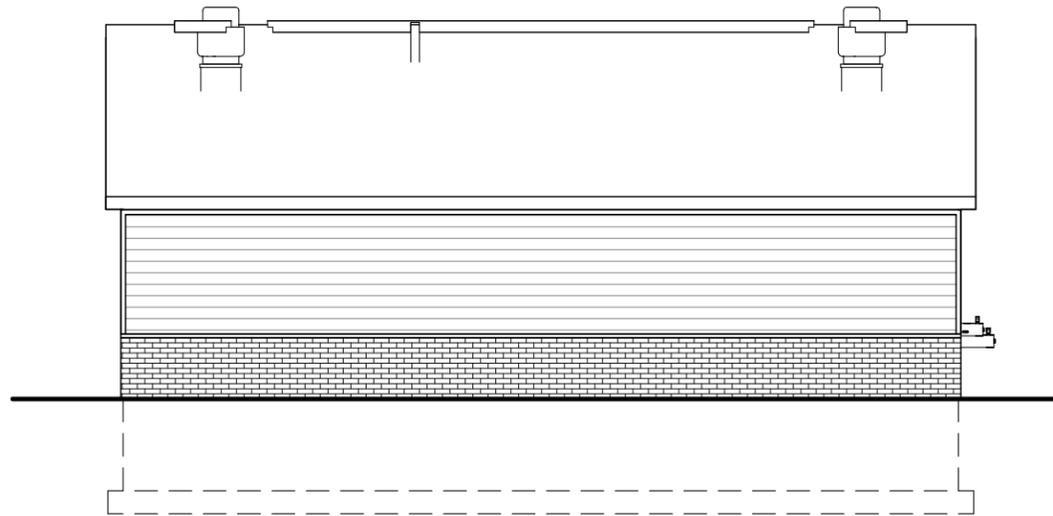
B1 BUILDING TWO WEST ELEVATION

SCALE: 1/8" = 1'-0"



B2 BUILDING TWO NORTH ELEVATION

SCALE: 1/8" = 1'-0"



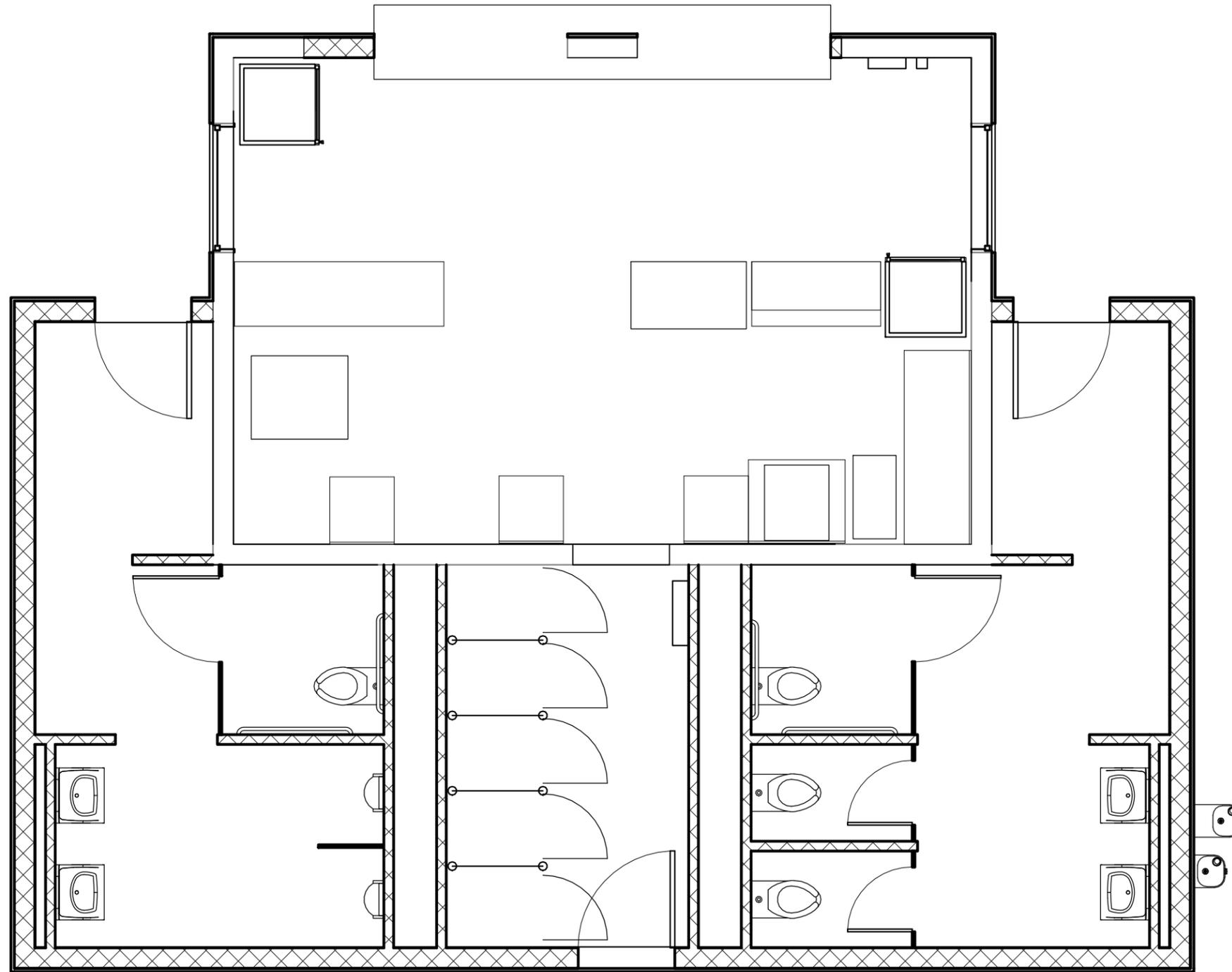
A1 BUILDING TWO SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



A2 BUILDING TWO EAST ELEVATION

SCALE: 1/8" = 1'-0"



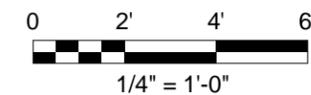
A1 BUILDING TWO FLOOR PLAN
 SCALE: 1/4" = 1'-0"



FRANKLIN PASTURE MAIN COMPLEX



NEW BLDG. 2



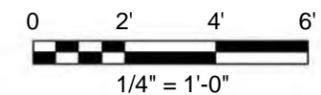
05/03/13

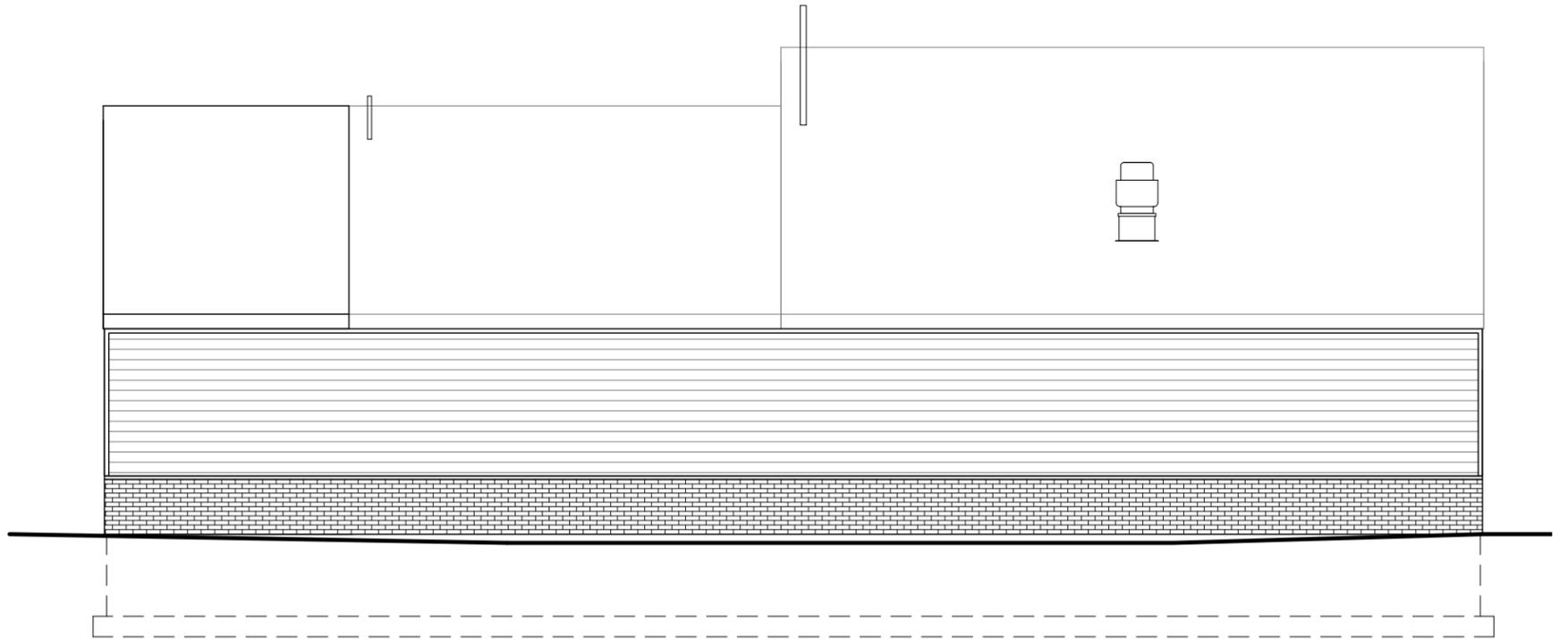
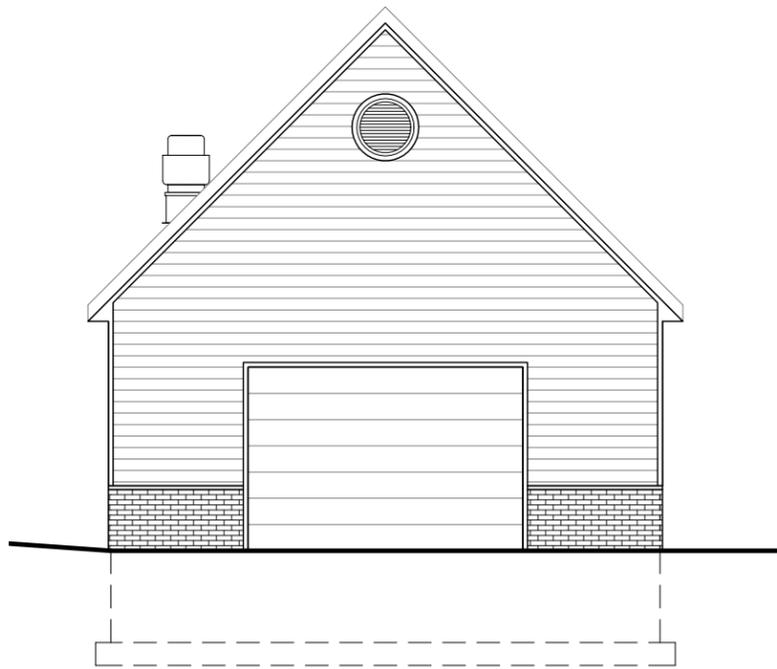


FRANKLIN PASTURE MAIN COMPLEX



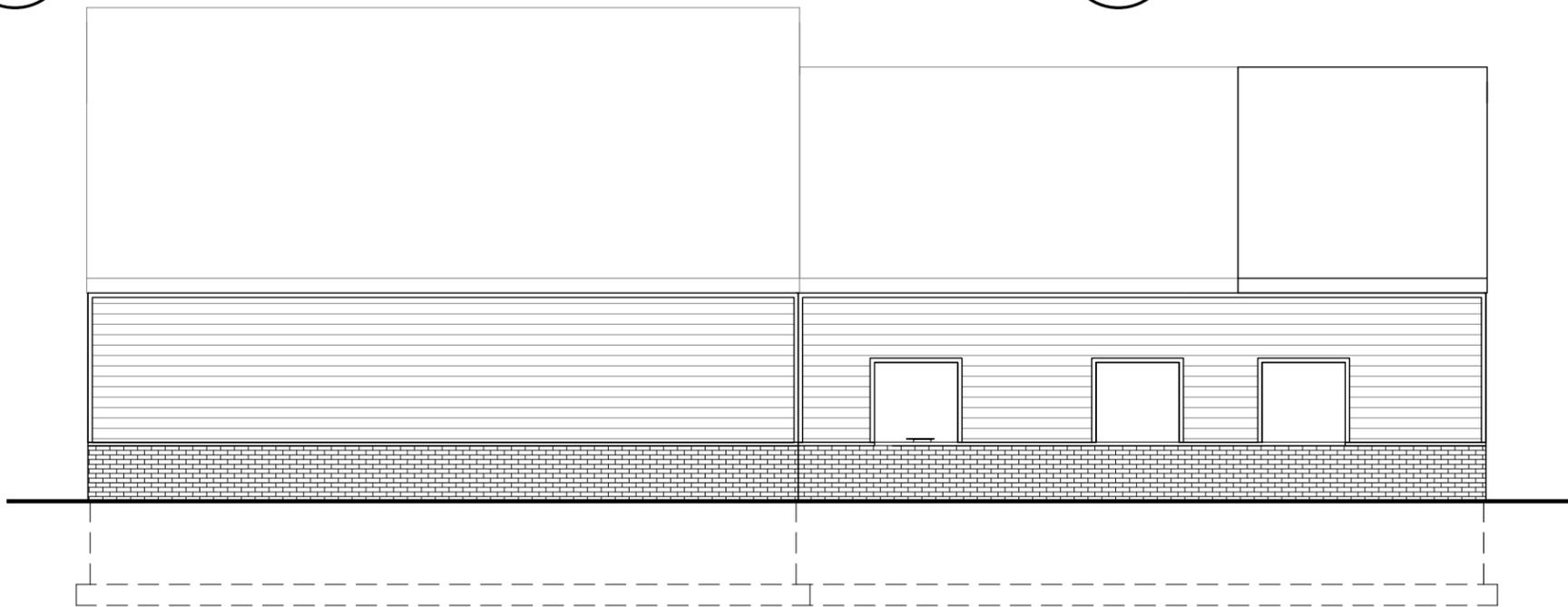
BUILDING 1



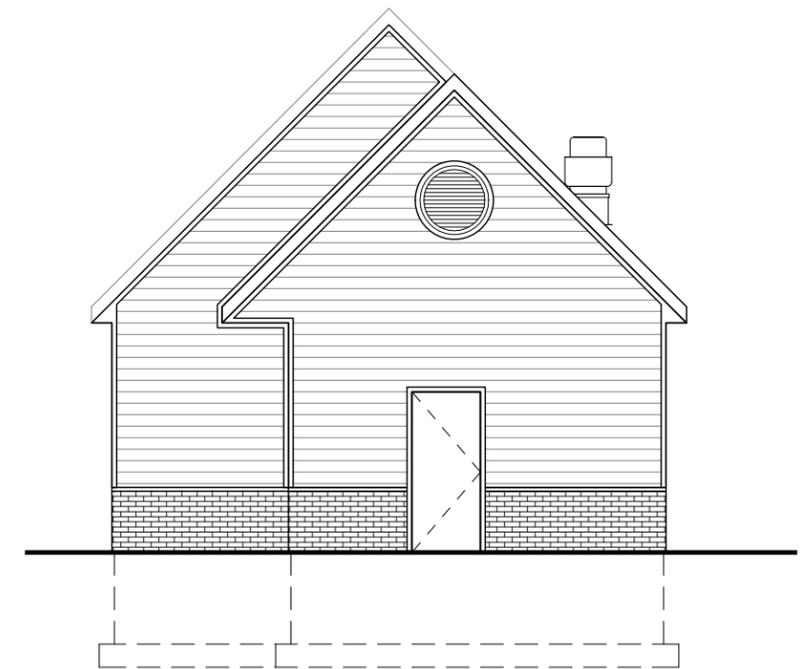


B1 BUILDING ONE WEST ELEVATION
SCALE: 1/8" = 1'-0"

B2 BUILDING ONE NORTH ELEVATION
SCALE: 1/8" = 1'-0"



A1 BUILDING ONE SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



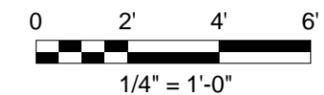
A3 BUILDING ONE EAST ELEVATION
SCALE: 1/8" = 1'-0"

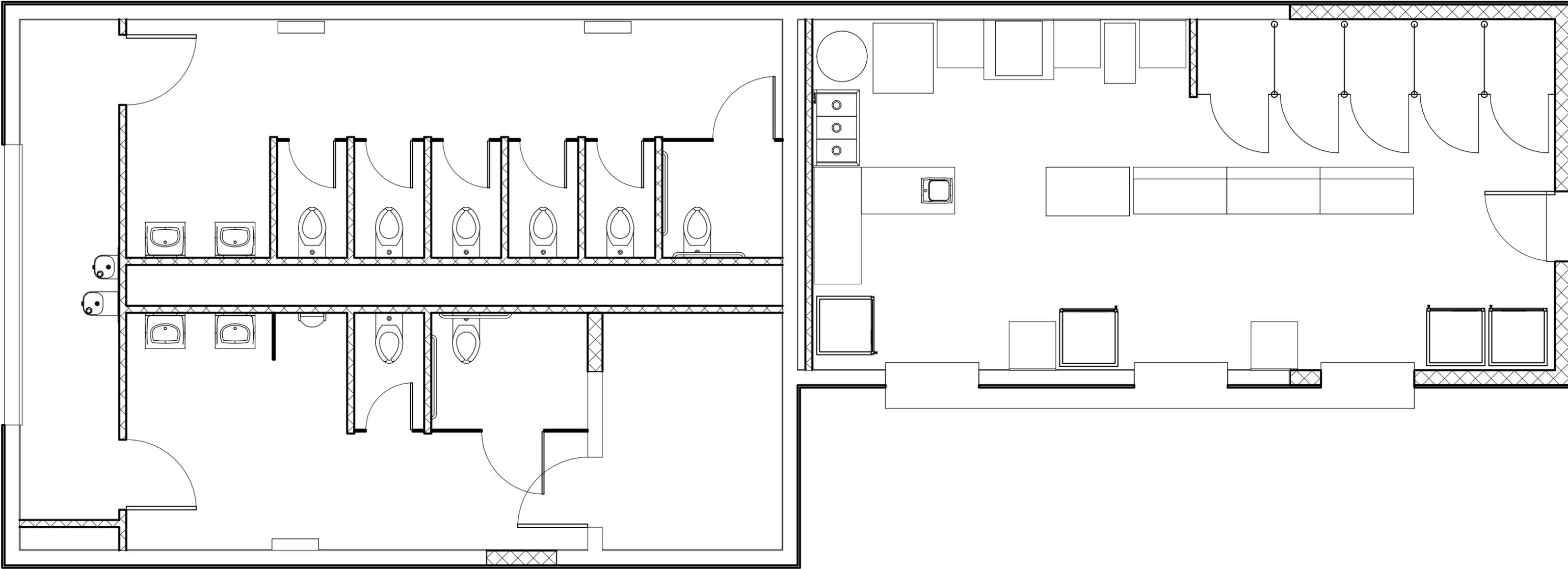


FRANKLIN PASTURE MAIN COMPLEX



ELEVATIONS





A1

BUILDING ONE FLOOR PLAN

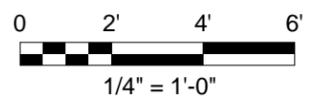
SCALE: 1/4" = 1'-0"



FRANKLIN PASTURE MAIN COMPLEX



NEW BLDG. 1



05/03/13



CITY OF LEWISTON



Department of Planning & Code Enforcement

TO: Planning Board
FROM: David Hediger, City Planner
DATE: June 7, 2013
RE: June 10, 2013 Planning Board Agenda Item IV(b)

Proposed amendment to Appendix A, of the Zoning and Land Use Code, Article VI, Section 4(c) Nonconforming uses, Abandonment, which would exempt single-family detached dwelling on individual lots and two-family dwelling on individual lots from becoming nonconforming uses upon abandonment.

Pursuant to Article VII, Section 4(c) and Article XVII, Section 5(b)(1)(c) of the Zoning and Land Use Code staff has prepared an amendment to update Article XIV, Floodplain Administration and Management, of the Zoning and Land Use Code. The Board initiated said amendment at staff's request at the April 22, 2013 meeting.

This proposed ordinance will exempt single-family detached dwellings on individual lots and two-family dwellings on individual lots from the abandonment provisions contained in Article VI, Section 4(c) of the Zoning and Land Use Code.

Single-family detached dwellings on individual lots and two-family dwellings on individual lots are currently nonconforming uses if located in a zoning district where said uses are not permitted. A nonconforming use means a use of a premise, parcel of land or structure which, at the effective date of the adoption or amendment of this Code, was in lawful existence, but which does not comply with the applicable use regulations of the zoning district in which it is located. Currently, any nonconforming use of a building, structure or land is discontinued for a period of 12 consecutive months or more, abandonment is conclusively presumed and such use shall not be resumed, and only a use conforming with the provisions of the district in which the property is located shall be made of such building, structure or land. Nonconforming uses presumed abandoned may be reestablished during the 12-month period immediately following the date of presumed abandonment as long as a completed application for a conditional use permit is submitted to the office of the director of code enforcement within this period, and the permit is subsequently granted by the board of appeals.

Typically, the goal of regulating nonconforming uses is to restrict rather than to increase any nonconforming uses and to secure their gradual elimination. This makes a good deal of sense where you may have a district designated residential and nonresidential uses have been deemed detrimental or unsuitable for that area. However, with respect to single-family detached dwellings and two-family dwellings on individual lots, the right to continue with these nonconforming uses is not likely to be deemed damaging or harmful to abutting properties in

nonresidential districts. Landowners in nonresidential districts are often aware they are surrounded by or the potential of nonresidential uses.

It is often not the intent of the landowner to give up their legal right to continue the existing nonconforming use. A residential home may be deemed abandoned if a landowner placed a vacant single-family or two-family detached dwellings on the market for more than 12 months, if a landowner were to vacate the structure for some reasons for more than 12 months, or if a landowner were unable to find a tenant for more than 12 months. The mere non-use of a property is generally not sufficient to show abandonment or discontinuance of a use. The Maine Superior Court has ruled that although non-occupancy can be taken as some evidence of intent, it is not alone enough to establish intent to abandon. (*Henner v. Town of Glenburn, Me. Super. Ct. Pen. Cty.*, CV-89-452, October 24, 1990.)

The word "abandoned" generally is interpreted by the courts on the basis of whether the intent of the landowner was to give up their legal right to continue the existing nonconforming use. While this proposed amendment does not define abandoned, it does provide clarity and provides more flexibility and opportunities for nonconforming single-family detached dwellings on individual lots and two-family dwellings on individual lots.

ACTIONS NECESSARY

- Make a motion pursuant to Article VII, Section 4(c) and Article XVII, Section 5 of the Zoning and Land Use Code to send a favorable recommendation for the City Council consideration to adopt the proposed amendment to Appendix A, of the Zoning and Land Use Code, Article VI, Section 4(c) Nonconforming uses, Abandonment, which would exempt single-family detached dwelling on individual lots and two-family dwelling on individual lots from becoming nonconforming uses upon abandonment.

**AN ORDINANCE PERTAINING TO ZONING AND LAND USE:
NONCONFORMING USES**

THE CITY OF LEWISTON HEREBY ORDAINS:

**APPENDIX A – ZONING AND LAND USE CODE
ARTICLE VI. NONCONFORMANCE**

Sec. 4. Nonconforming uses.

(a) *Continuance.* The use of land, buildings, structures, lawful at the time of adoption or subsequent amendment of this Code, may continue, although such use does not conform to the provisions of this Code. This shall include the replacement of mobile homes in a nonconforming mobile home park, provided all other provisions of article XII, section 14 are met, as well as the replacement of mobile homes on individual lots, provided all other provisions of article XII, sections 2, 4, and section 13, subsections (2) through (6) are met and the new mobile home must meet the suggested safety standards as proposed in appendix A of "Maine's New Mobile Home Park Law - A Guidebook for Local Officials," dated September, 1989. Permitted uses that were made conditional uses as a result of the adoption or amendment of this Code shall be treated as conditional uses for which a permit was duly issued, and any expansion of such structure or use shall occur only after the issuance of a conditional use permit in accordance with article X.

(b) *Resumption.* Whenever a nonconforming use of land and/or a structure is superseded by an allowed use, such structure and/or land shall thereafter conform to the provisions of this Code and the nonconforming use may not be resumed, except as provided below in section 4(c)(2).

(c) *Abandonment.*

(1) Except for single-family detached dwellings on individual lots and two-family dwellings on individual lots, if any nonconforming use of a building, structure or land is discontinued for a period of 12 consecutive months or more, abandonment, except as provided below, is conclusively presumed and such use shall not be resumed, and only a use conforming with the provisions of the district in which the property is located shall be made of such building, structure or land. Abandonment of a seasonable nonconformity is conclusively presumed when the building, structure or use is idle, unopened or otherwise not in actual use during any part of any two consecutive calendar years. Nonconforming uses presumed abandoned may be reestablished during the 12-month period immediately following the date of presumed abandonment as long as a completed application for the conditional use permit is submitted to the office of the director of code enforcement within this period, and the permit is subsequently granted by the board of appeals. In addition to applying the standards for conditional use permits (article X, sections 3 and 4), the board of appeals shall grant a permit only when it finds that the following additional standards have been met: (a) Good cause has been shown for the discontinuance of the use; and (b) The proposed use will not inhibit or discourage the creation, development or use of permitted uses in the neighborhood.

(2) For those historic buildings and structures identified in Appendix A, Article XV, Sections 6 through 10 of this Code located in the Centreville district, a nonconforming use may be reestablished to its original use in an effort to retain and preserve the original purpose of said building or structure as long as a completed application for the conditional use permit is submitted to the office of the director of planning and code enforcement and the permit is subsequently granted by the board of appeals. In addition to applying the standards for conditional use permits (article X, sections 3 and 4), the board of appeals shall grant a permit only when it finds that the following additional standards have been met:

- a. Documentation has been shown demonstrating what the original use of the building or structure was;
- b. Good cause has been shown for the discontinuance of the use;
- c. That the proposed use will not inhibit or discourage the creation, development or use of permitted uses in the Centreville district;
- d. That the proposed use will not create a traffic hazard, nor increase an existing traffic hazard;
- e. That the amount of parking required to meet the minimum code requirements for the proposed use exists on the site or will be otherwise provided in accordance with article XII, Section 17 of the Code;
- f. That the amount of noise, odors, vibrations, smoke, dust and air discharges of the proposed use shall be equal to or less than the present use;
- g. That the rate of surface water runoff from the site will not be increased;
- h. That the hours of operation of the proposed use will be compatible with the existing, surrounding land uses;
- i. That the proposed use will not increase the adverse impact on surrounding properties.

Reason for proposed amendment

This proposed ordinance will exempt single-family detached dwellings on individual lots and two-family dwellings on individual lots from the abandonment provisions contained in Article VI, Section 4(c) of the Zoning and Land Use Code.

Single-family detached dwellings on individual lots and two-family dwellings on individual lots are currently nonconforming uses if located in a zoning district where said uses are not permitted. A nonconforming use means a use of a premise, parcel of land or structure which, at the effective date of the adoption or amendment of this Code, was in lawful existence, but which does not comply with the applicable use regulations of the zoning district in which it is located. Currently, any nonconforming use of a building, structure or land is discontinued for a period of 12 consecutive months or more, abandonment is conclusively presumed and such use shall not be resumed, and only a use conforming with the provisions of the district in which the property is located shall be made of such building, structure or land. Nonconforming uses presumed abandoned may be reestablished during the 12-month period immediately following the date of presumed abandonment as long as a completed application for a conditional use permit is submitted to the office of the director of code enforcement within this period, and the permit is subsequently granted by the board of appeals.

Typically, the goal of regulating nonconforming uses is to restrict rather than to increase any nonconforming uses and to secure their gradual elimination. This makes a good deal of sense where you may have a district designated residential and nonresidential uses have been deemed detrimental or unsuitable for that area. However, with respect to single-family detached dwellings and two-family dwellings on individual lots, the right to continue with these nonconforming uses is not likely to be deemed damaging or harmful to abutting properties in nonresidential districts. Landowners in nonresidential districts are often aware they are surrounded by or the potential of nonresidential uses.

It is often not the intent of the landowner to give up their legal right to continue the existing nonconforming use. A residential home may be deemed abandoned if a landowner placed a vacant single-family or two-family detached dwellings on the market for more than 12 months, if landowner were to vacate the structure for some reasons for more than 12 months, or if a landowner were unable to find a tenant for more than 12 months. The mere non-use of a property is generally not sufficient to show abandonment or discontinuance of a use. The Maine Superior Court has ruled that although non-occupancy can be taken as some evidence of intent, it is not alone enough to establish intent to abandon. (Henner v. Town of Glenburn, Me. Super. Ct. Pen. Cty., CV-89-452, October 24, 1990.)

The word "abandoned" generally is interpreted by the courts on the basis of whether the intent of the landowner was to give up their legal right to continue the existing nonconforming use. While this proposed amendment does not define abandoned, it does provide clarity and provides more flexibility and opportunities for nonconforming single-family detached dwellings on individual lots and two-family dwellings on individual lots.

Conformance with the Comprehensive Plan

1. Continue to allow a wide range of housing types in the Zoning and Land Use Code, and explore the need and feasibility of expanding the opportunity for the creation of single family and two family homes...through code amendments and rezonings (Housing, Policy 1, Strategy H(1), p. 70).
2. Review permitting and licensing policies and practices to see where they can be streamlined in order to better service the development community (Economy, Policy 1, Strategy C, p 38).
3. Promotes the orderly growth and development of the appropriate areas of the City while making efficient use of public services (Land Use, Goals, #1, p. 122).
4. Continue to allow a wide range of housing types in the zoning (Long Range Planning, Policy 5, Strategy A, p. 135).



CITY OF LEWISTON



Department of Planning & Code Enforcement

TO: Planning Board
FROM: David Hediger, City Planner
DATE: June 7, 2013
RE: June 10, 2013 Planning Board Agenda Item V(a)

Disposition of City Properties: 1 Acorn Lane, 6 Galina Avenue, 8 Galina Avenue, 6 Marie Circle Rear, and 48 River Street.

Pursuant to Article VII, Section 4(h) of the Zoning and Land Use Code, the board shall review and make a recommendation to the city council with regard to the disposition of all public ways, lands, buildings and other municipal facilities.

On June 4, 2013 the City Council voted for the City take formal possession of, and subject to a positive recommendation from the Planning Board, offer the following properties for sale through a formal sealed bid process: 1 Acorn Lane, 6 Galina Avenue, 8 Galina Avenue, 6 Marie Circle Rear, and 48 River Street.

Specific reference should be made the City of Lewiston Maine, City Council Resolve, June 4, 2013, Finance Director Heather Hunter's memorandum dated May 29, 2013, and the table titled City Disposition - Property Information.

ACTION NECESSARY:

Make a motion pursuant to Article VII, Section 4(h) of the Zoning and Land Use Code to send a favorable recommendation to the City Council for the disposition of the following properties: 1 Acorn Lane, 6 Galina Avenue, 8 Galina Avenue, 6 Marie Circle Rear, and 48 River Street.



**City of Lewiston Maine
City Council Resolve
June 4, 2013**



Order, Taking Possession of Tax Acquired Properties at 1 Acorn Lane, 6 Galina Avenue, 8 Galina Avenue, 6 Marie Circle Rear, 47 River Street, and 48 River Street.

Whereas, staff has recently undertaken a review of properties on which tax liens have matured; and

Whereas, among such properties are six vacant parcels of land; and

Whereas, after numerous attempts to contact the owners through the normal collection and tax lien process and in accordance with City Policy #92, Properties with Matured Tax or Sewer Liens, a thirty-day matured lien demand letter was sent to property owners on March 29, 2013 in which they were informed that if amounts due the City were not paid, the City Council would consider taking possession of the property at its meeting of June 4, 2013; and

Whereas, in spite of these additional efforts, the amounts due to the City have not been paid; and

Whereas, as a result, it is appropriate for the City Council to act to take possession of these properties and consider their future use and/or disposition;

Now, therefore, be it Ordered by the City Council of the City of Lewiston that, based on matured tax liens, the City take formal possession of the following properties: 1 Acorn Lane, 6 Galina Avenue, 8 Galina Avenue, 6 Marie Circle Rear, 47 River Street, and 48 River Street; and

Be it Further Ordered, that

Subject to a positive recommendation from the Planning Board, the following properties be offered for sale through a formal sealed bid process: 1 Acorn Lane, 6 Galina Avenue, 8 Galina Avenue, 6 Marie Circle Rear, and 48 River Street.



Finance Department



Heather Hunter
 Director of Finance/Treasurer
 hhunter@lewistonmaine.gov

TO: Mayor Robert E. Macdonald
 And Members of the City Council

FROM: Heather Hunter, Finance Director

SUBJECT: Tax Acquired Parcels

DATE: May 29, 2013

Recently, Administration and the Finance Department reviewed the matured tax lien list to determine how we would proceed with each of the four matured tax lien categories: vacant land, commercial/business property, vacant multi-family buildings, and occupied residences. Dealing with each category individually, we began with the vacant land parcels.

The City has six parcels of vacant land where tax liens have matured. After numerous attempts to contact the owner through the normal collection and tax lien process, in accordance with City Policy #92, *Properties with Matured Tax or Sewer Liens*, the Tax Collector sent a 30-day matured lien demand letter to the property owners on March 29, 2013. The City received no response back from the owners with the exception of one parcel (1 Acorn Drive), where the owner indicated he has no intention of paying the back taxes and is aware of the City's plan to acquire the land.

The specific detail of each parcel is noted in the following table:

Address	Owner	Assessed Value	Total Due	Matured Tax Liens	Last Pymt. Date
1 Acorn Lane	R Leblanc	\$24,840	\$3,042.40	FY2010-2011	5/10/2010
6 Galina Ave.	G & C Nye	\$22,000	\$1,632.01	FY2011	9/9/2010
8 Galina Ave.	G & C Nye	\$22,000	\$1,632.01	FY2011	9/9/2010
6 Marie Circle Rear	P Walton	\$3,480	\$454.91	FY2010-2011	5/10/2012
47 River Street	K & P Ouellette	\$6,960	\$967.17	FY2010-2011	6/30/2009
48 River Street	K & P Ouellette	\$7,000	\$2,216.71	FY2010-2011	9/11/2009

The Acorn Lane parcel is 1.38 acres. Both Galina Avenue parcels are housing lots, one at 1.79 acres and the other is 2.38 acres. 6 Marie Circle is the largest lot at 2.78 acres; however, it may be landlocked and undevelopable due to lack of road frontage, steep grades, and wetlands. The River Street parcels are smaller in size at about 33 x 65, with one parcel on the residential side and the other parcel on the river side.

It has been the City's goal not to serve as a property manager for tax acquired property and to offer these parcels for sale in accordance with the prescribed *Property Disposition Policy* (Policy #38). The requested City Council action is to approve an order allowing staff to take possession of all six parcels outlined above and to sell 1 Acorn Lane, 6 & 8 Galina Ave., 6 Marie Circle Rear, and 48 River St. using a formal bid process. The City would hold 47 River Street and land-bank that parcel.

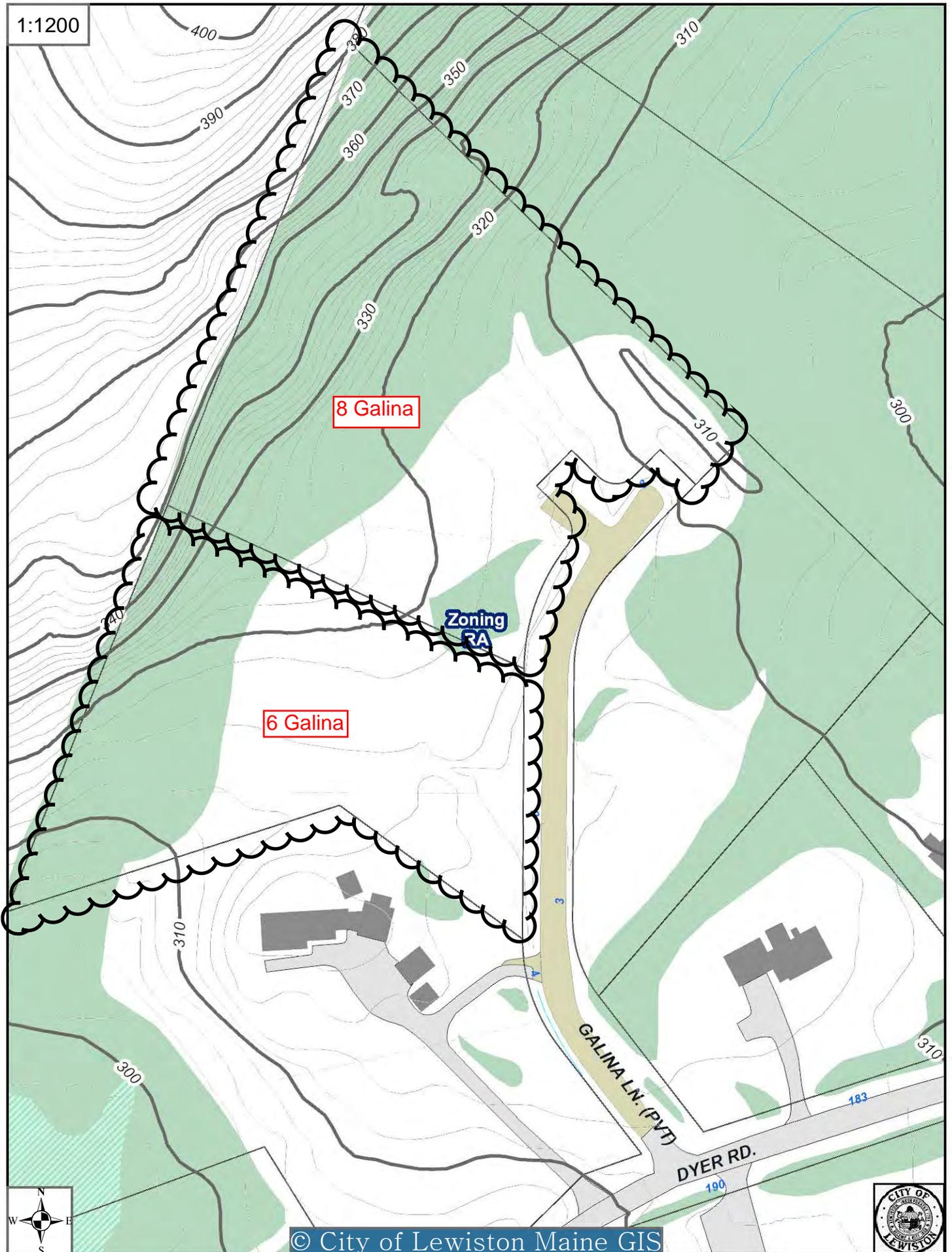
Once Council action is taken on June 4th, the Planning Board will take action on June 10th. If affirmative votes are received by both boards, the Director of Budget and Purchasing will advertise the parcels for sale through a sealed formal bid process beginning on June 24th. Advertisements will be placed in the local paper, and real estate brokers and abutting property owners will be notified. Bids will be due July 9th. The City Administrator will bring the bid results back to you at your July 16th meeting for award.

Please feel free to contact me if you have additional questions or comments.

City Disposition - Property Information

Location	Parcel ID #	Owner	Land Value	Building Value	Matured Liens - Tax Year	Tax Years Outstanding	Total Due	Zoning	Lot Size
6 Galina Lane	00-020102	Charles J Nye Gloria J Nye	\$ 22,000.00	N/A	FY 2011	FY 2011 - FY 2013	\$ 1,633.36	Rural Agriculture	1.81 acres
8 Galina Lane	00-020103	Charles J Nye Gloria J Nye	\$ 22,000.00	N/A	FY 2011	FY 2011 - FY 2013	\$ 1,633.36	Rural Agriculture	2.54 acres
1 Acorn Lane	00-012465	Ronald A Leblanc	\$ 24,840.00	N/A	FY 2010, FY 2011	FY 2010 - FY 2013	\$ 3,041.97	Rural Agriculture	1.38 acres
48 River St	00-002553	Ouellette Property Management	\$ 7,000.00	N/A	FY 2010, FY 2011	FY 2010 - FY 2013	\$ 2,218.71	Riverfront	.03 acres
6 Marie Cir Rear	00-000374	Penny L Walton	\$ 3,480.00	N/A	FY 2010, FY 2011	FY 2010 - FY 2013	\$ 455.24	Neighborhood Conservation "A"	2.78 acres

1:1200



8 Galina

Zoning
RA

6 Galina

GALINA LN. (PVT)

DYER RD.



1:720

RE00000292
375 OLD GREENE RD
(Addr Pt ID 4700)

375

4

1

ACORN LN. (PVT)

370

RE00012465
1 ACORN LANE
(Addr Pt ID 11429)

Zoning
RA

RE00012466
5 ACORN LANE
(Addr Pt ID 11430)

RE00020268
7 ACORN LANE
(Addr Pt ID 21928)

400

410

OLD GREENE RD.

380

390

370

Zoning
SR



1:360

RE00005752
30 RIVER ST
(Addr Pt ID 2599)

RE00003206
32 RIVER ST
(Addr Pt ID 8104)

RE00003749
42 RIVER ST
(Addr Pt ID 11923)

RE00013797
143 OXFORD
(Addr Pt ID 8099)

RE00009698
42 RIVER ST
(Addr Pt ID 11225)

RE00001325
46 RIVER ST
(Addr Pt ID 8077)

RE00002553
48 RIVER ST
(Addr Pt ID 8070)

RE00009321
52 RIVER ST
(Addr Pt ID 3789)

RE00001310
58 RIVER ST
(Addr Pt ID 178)

RE00008419
45 RIVER ST
(Addr Pt ID 4298)

RE00007016
41 RIVER ST
(Addr Pt ID 175)

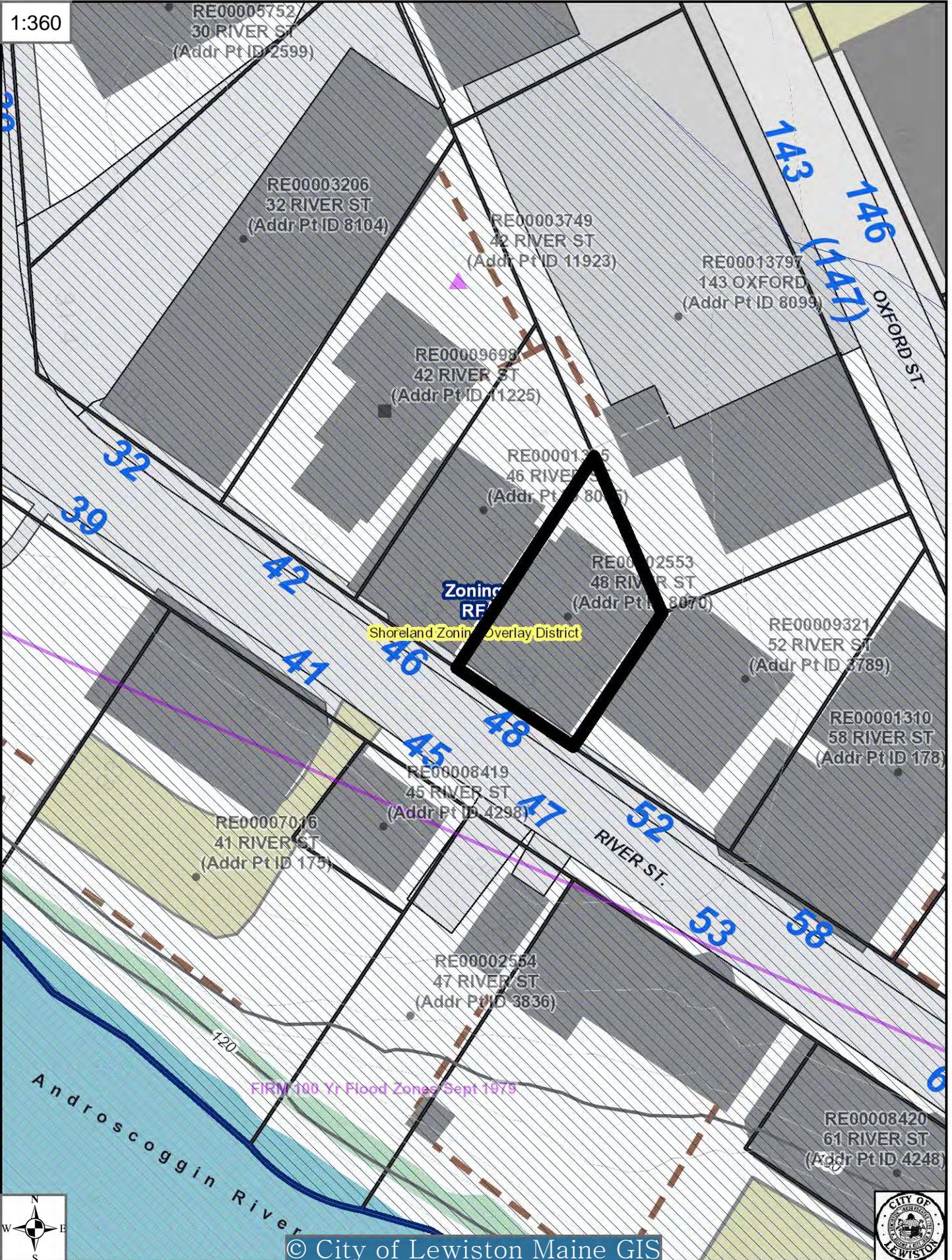
RE00002554
47 RIVER ST
(Addr Pt ID 3836)

RE00008420
61 RIVER ST
(Addr Pt ID 4248)

FIRM 100 Yr Flood Zones Sept 1975

Zoning
RE

Shoreland Zoning Overlay District

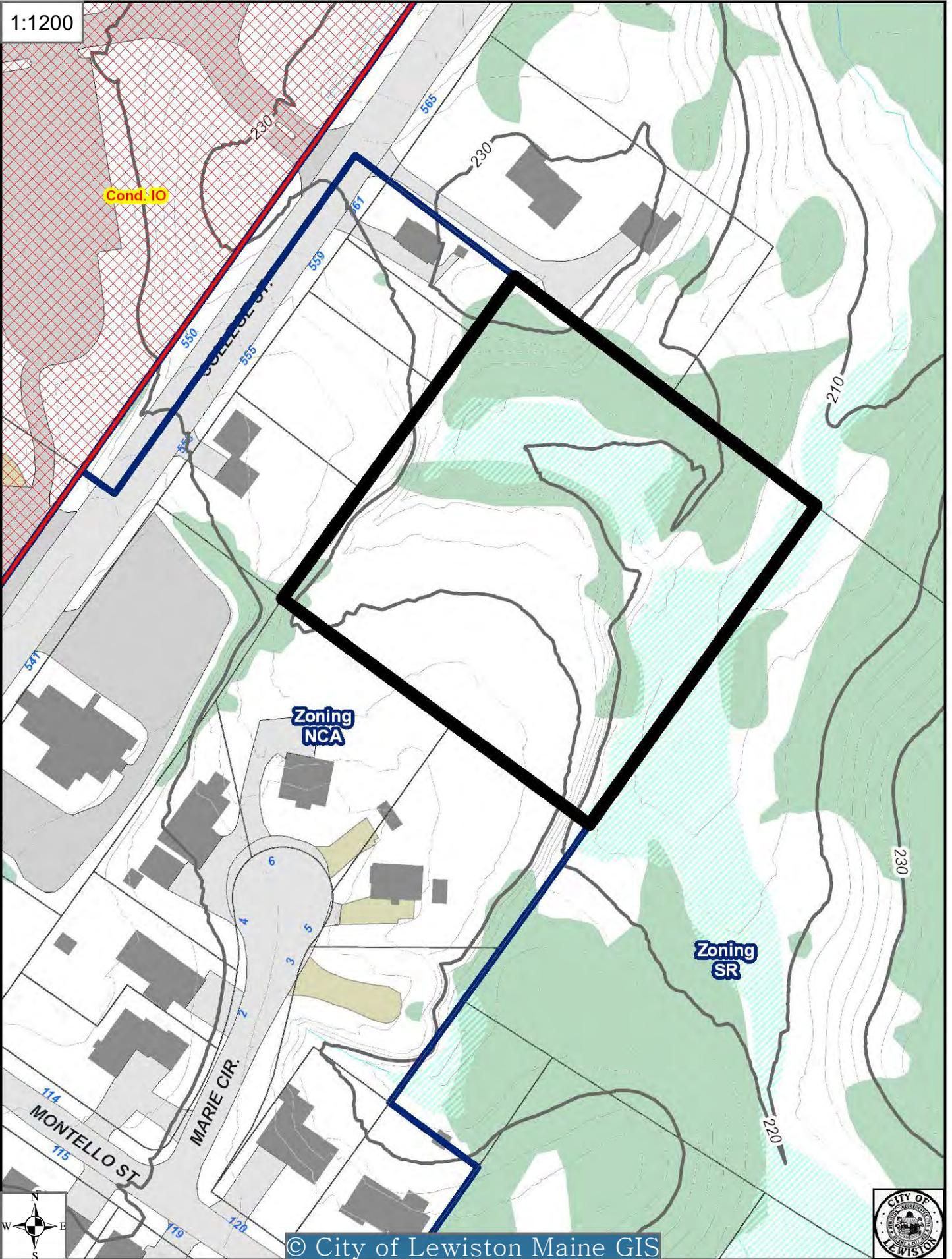


1:1200

Cond. IO

Zoning
NCA

Zoning
SR



PROPERTY DISPOSITION

1.0 Purpose

The purpose of this Policy is to provide guidelines for City staff to follow in handling and processing real property in the City's possession which is considered excess to the City's needs.

2.0 Policy

It is the City's policy to periodically review real property in the City's possession to determine whether retention, sale, or lease of such property is in the best interest of the City and to respond in a timely fashion to requests from private parties seeking to purchase or lease such property.

3.0 Determination of Willingness to Sell or Lease City-Owned Property

3.1 City Initiated Sale or Lease

3.1.1 The Planning and Code Department of the City will periodically review real property currently owned by the City but not in active use for municipal purposes to determine whether these properties should be retained or considered for sale or lease. Once properties have been identified for which there is no current City use, the Department will notify the City Administrator.

3.1.2 The City Administrator will then notify all Department Heads of the property or properties being considered for sale and offer them the opportunity to indicate any potential use or need their department might have for the property, including its potential for land banking against future uses.

3.1.3 After consideration of the responses of the various Departments, the Administrator will make a determination if the property should be declared surplus or retained for potential future use.

3.2 Private Sector Request to Purchase or Lease

3.2.1 All requests from the private sector for the purchase or lease of City property shall be directed to the City Administrator.

3.2.2 The Administrator shall notify all Department Heads of the request and provide them with the opportunity to identify any current or potential use which the City may have for the property.

3.2.3 After consideration of the responses of the various Departments, the Administrator will make a determination of whether the property should be declared surplus or retained for current or potential future use.

3.2.3 Once the Administrator has determined a property to be surplus, the Planning Board will be asked to review and make a recommendation on whether to proceed with its disposition. A recommendation from the Planning Board will remain valid for three years; however, should

PROPERTY DISPOSITION

circumstances change during this period, the Administrator may seek an updated review and recommendation.

4.0 Procedure for Disposition of Surplus Property – Substandard Lots

- 4.1 Vacant lots that do not meet minimum space and bulk standards for construction may, at the discretion of the City Administrator, be offered for sale or lease to abutting property owners. If one or more of these owners express an interest in the property, the City Administrator shall make a recommendation to the City Council on the disposition of the property.
- 4.2 The following factors will be considered in determining whether the property should be sold:
 - 4.2.1 The proposed sale price or lease rate, if any, as compared to an estimate of the value of the property prepared by the City Assessor;
 - 4.2.2 The proposed use of the property;
 - 4.2.3 The value of any proposed improvements to the property;
 - 4.2.4 The impact of the sale or lease of the property on the assessed value of the adjacent property in the same ownership; and
 - 4.2.5 The extent to which the sale or lease will support overall City policy in the area or neighborhood within which the property is located.

5.0 Procedure for the Disposition of Surplus Property – Potentially Developable

In instances where surplus property may be redeveloped or developed, that property may be marketed by one of a number of methods based on the nature and estimated value of the property and any specific plans or policies which development of the property might either further or hinder. The following methods may be used to market the property, including a combination of two or more.

- 5.1 **Request for Proposals.** The City may use a Request for Proposals process. This process is generally best suited to significant development parcels for which the City has specific expectations as to the nature, type, and value of the anticipated development.
- 5.2 **Real Estate Broker.** The City may contract with a real estate broker to find a buyer. This method may be most applicable to individual properties or groups of properties that the City is seeking to redevelop or develop for a specified purpose such as single family housing and/or multi-family housing renovation.
- 5.3 **Formal Bid.** The City may advertise for formal bids. This method may be most applicable in instances where the City believes that multiple parties may be interested in the property and the nature of the development or redevelopment is such that the City does not anticipate placing additional restrictions on what is to happen on the property after its sale.
- 5.4 **Self-Brokerage.** The City may employ a sell by owner approach. This would generally be applicable to situations such as the sale of individual lots within a residential or commercial subdivision.

PROPERTY DISPOSITION

- 5.5 Direct Negotiation.** Where alternative methods have failed to produce an acceptable sale and/or in instances where the City has been directly approached by an individual or organization with a proposal that matches or exceeds the City's expectations for development on the parcel, the City may entertain direct negotiations with a private party who expresses interest in purchasing a property.
- 5.6** The City Administrator shall recommend to the City Council the disposition method or methods to be used at the time the Council is asked to approve disposition of the property.

6.0 Council Approval of Disposition

- 6.1** The final decision to accept a bid, proposal, or offer to purchase City-owned property must be made by the City Council.
- 6.2** The normal process for transferring a city-owned property will be by way of municipal quitclaim deed. Warranty deeds may be approved in instances where such action is recommended by the City Administrator for good and reasonable cause.