

**CITY OF LEWISTON  
PLANNING BOARD MEETING**  
Monday, August 13, 2012 – 5:30 P.M.  
City Council Chambers – First Floor  
Lewiston City Building  
27 Pine Street, Lewiston

## **AGENDA**

- I. ROLL CALL**
- II. ADJUSTMENTS TO THE AGENDA**
- III. CORRESPONDENCE**
- IV. PUBLIC HEARINGS:**

Conditional use application to construct a telecommunications facility on property owned by Bernard and Jeannine Rancourt at 980 Sabattus Street by KJK Wireless on behalf of Maine RSA #1, Inc. (a.k.a. US Cellular).

- V. OTHER BUSINESS:**

- a) Zoning Matrix
- b) Any other business Planning Board Members may have relating to the duties of the Lewiston Planning Board.

- VI. READING OF THE MINUTES:** Motion to adopt the draft minutes from the July 9, 2012 and July 16, 2012 meetings.

- VII. ADJOURNMENT**



## CITY OF LEWISTON

### Department of Planning & Code Enforcement



**TO: Planning Board**  
**FROM: David Hediger, City Planner**  
**DATE: August 9, 2012**  
**RE: August 13, 2012 Planning Board Agenda Item IV(A)**

**Conditional use application to construct a telecommunications facility on property owned by Bernard and Jeannine Rancourt at 980 Sabattus Street by KJK Wireless on behalf of Maine RSA #1, Inc. (a.k.a. US Cellular).**

KJK Wireless on behalf of US Cellular has submitted an application to construct a telecommunications facility at 980 Sabattus Street. This 1.06 acre parcel located in the Highway Business district currently contains a single family dwelling. The applicant will be leasing 3,087 square feet of said lot for the facility. A 163' access driveway will be constructed from the abutting property at 984 Sabattus Street. Said facility will consist of a 40' x 80' fenced in compound containing a 130' tall tower, nine antennas, a 12' x 20' equipment shelter, backup generator and associated equipment.

Microwave towers or other public utility or communication uses are regulated as a conditional use in the Highway Business district. Therefore, this project is being considered pursuant to Article X, Section 3 of the Zoning and Land Use Code. Typically, requests of this nature are reviewed by the Board of Appeals. However, given the proposed increase in impervious area, staff requested additional engineering be provided and thus, bumped the project up to the Planning Board's jurisdiction being a project otherwise meeting the minor development classification, but requiring issuance of a conditional use permit, as per Article XIII, Section 3(a)(1)(b). Therefore, the project is also being considered pursuant to Article XIII, Section 4 of the Zoning and Land Use Code. Staff notes the following:

- The project will disturb approximately 8,433 square feet of area with an increase of 5,700 square feet of impervious area. A detailed stormwater report has been provided to staff's satisfaction.
- The rear portion of the site is adjacent to a wetland area. However, no wetland impacts are being proposed. A detailed erosion control report has been provided.
- The plan sheet number c-2 shows 14 shrubs to be planted around the perimeter of the leased area. The plan should note shrubs must be evergreen plantings a minimum of 3'-5' high upon planting.
- Pursuant to Article X, Section 5, no conditional use permit shall be valid for a period longer than six months from the date of issue, or such other time, up to two years. While the applicant has not made the specific request, staff recommends the conditional use permit be valid for a period of 24-months from the date of approval to be consistent with the 24-month expiration of development review approved projects.

Police, Fire, and Public Works have expressed no concerns. Planning and Code Enforcement recommend approval, finding the applicant has addressed the applicable review criteria of the Zoning and Land Use Code, including Article X, Section 3 and Article XIII, Section 4 with the following conditions:

1. Plan sheet number c-2 be amended to note shrubs must be evergreen plantings a minimum of 3'-5' high upon planting.
2. The conditional use permit be valid for a period of 24-months from the date of approval to be consistent with the 24-month expiration of development review approved projects. This should be noted on plan sheet t-1 as well as the expiration of approval language contained in Article XIII, Section 11.

#### **ACTIONS NECESSARY**

1. Make a motion to consider an application for a conditional use permit to construct a telecommunications facility on property owned by Bernard and Jeannine Rancourt at 980 Sabattus Street by KJK Wireless on behalf of Maine RSA #1, Inc. (a.k.a. US Cellular);
2. Make a determination that the application is complete;
3. Make a motion finding that the application meets all of the necessary criteria contained in the Zoning and Land Use Code, including Article X, Section 3 and Article XIII, Section 4 of the Zoning and Land Use Code and to grant approval to Maine RSA #1, Inc. (a.k.a. US Cellular) for the construction of a telecommunications facility on property owned by Bernard and Jeannine Rancourt at 980 Sabattus Street, subject to any concerns raised by the Planning Board or staff.

# KJK WIRELESS

8 Providence Avenue  
Falmouth, ME 04105

Site Acquisition, Leasing and Zoning  
Phone: 207-899-8544

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Planning Board  
City of Lewiston  
27 Pine Street  
Lewiston, ME 04240

July 3, 2012

RE: Maine RSA #1, Inc. (a.k.a. US Cellular) Conditional Use Application to Construct a Telecommunications Facility / 980 Sabattus St., Map 90 - Lot 86

Dear Planning Board:

KJK Wireless represents the permitting interests of US Cellular in Lewiston and submits a conditional use application to construct a telecommunications facility (the "Facility") on property owned by Bernard and Jeannine Rancourt at 980 Sabattus St. Enclosed please find an application fee, list of abutters on the attached site plan page C-1, and supporting documents.

US Cellular has leased a 3087 sq. ft. portion of property from the Rancourt's to construct the Facility that will include a 80' x 40' fenced in compound containing a 130' tower, 9 antennas, a 12' x 20' equipment shelter, underground utilities, a back-up power generator set, and associated equipment. US Cellular will also construct a 163' long access road.

The Facility is located in the Highway Business District. The City of Lewiston Land Use Ordinance, Appendix A, Article XI, Section 12, provides that *microwave towers or other public utility or communications use* is a conditional use in the Highway Business District in accordance with Article X as addressed below. Ordinance Article XIII is also addressed below.

## **ARTICLE X. CONDITIONAL USES**

### **Sec. 1: Conditional Use Permit.**

US Cellular agrees with the provisions contained in this section insofar as they may be applicable.

### **Sec. 2: Application.**

All items listed in this section are contained in US Cellular's application. See also attached Development Review Application and Development Review Checklist.

### **Sec. 3: Standards for Conditional Use Permits.**

(1) The proposed use and site will not have a significant adverse impact upon the value or quiet possession of surrounding properties greater than would normally occur from such a use in the zoning district:

a. The size of the proposed use is comparable to surrounding uses. The Facility will be similar to 85' tall Central Maine Power lines located in the HB District 6,100' east on Sabattus Street. The Facility is also similar to a telecommunications site located in the HB District 3400' west on Sabattus Street on the Hannaford's parcel. The Facility will have less of an impact on surrounding uses than other towers in Lewiston that are located in more restrictive residential

districts such as 3 towers on Grove St. (LDR District), 1 tower at East Ave. @ the reservoir (SR District), and 1 tower at Hillcrest St. (NCA District).

b. The amount and type of traffic to be generated, hours of operation, expanse of pavement, and the number of parking spaces are comparable to surrounding uses. The Facility will be unmanned and will operate 24 hours per day 7 days per week. It is anticipated that the Facility will only generate 1 vehicular visit per month on average for routine maintenance. Ample parking will be provided at and within the fenced in compound as shown in the attached site plan pages C-2 and C-3. A 163' long gravel access road will be constructed.

c. The Facility will not generate noise, dust, odor, vibration, glare, smoke, litter or other nuisances. The Facility is electronically oriented. A proposed generator set will only be used for back-up power in emergency situations and may run for maintenance during business hours. The tower will have a galvanized steel finish and will "weather" into a dull neutral grey color.

d. The impact of the use on the quality and quantity of groundwater available to abutting properties is comparable to surrounding uses. The facility is unmanned and; therefore, will not impact the quality and quantity of groundwater available to abutting properties.

e. There are no unusual physical characteristics of the site, including size of the lot, shape of the lot, topography, and soils that will create adverse impacts upon surrounding properties.

**(2)** Vehicular and pedestrian access to, into and within the site will be safe and will not be overburdened or create hazards because they are inadequate. The Facility will be unmanned and will operate 24 hours per day 7 days per week. It is anticipated that the Facility will only generate 1 vehicular visit per month on average for routine maintenance. Ample parking will be provided at and within the fenced in compound as shown in the attached site plan page C-1 and C-2. A 163' long gravel access road will be constructed.

a. The roads will have adequate capacity to accommodate the additional traffic generated by the development considering the Facility will only generate 1 vehicular visit per month on average.

b. Site topography will not impact driveway construction considering the net change in ground elevation is 2'+- as shown in the attached site plan page C-2.

c. The Facility is not near a public right-of-way and will have no affect on pedestrians passing by; however, a security fence will enclose the Facility.

**(3)** Municipal or other facilities serving the proposed use will not be overburdened by the Facility.

a. The Facility is unmanned and does not require sewerage and water supply systems.

b. The capacity of the storm drainage system is adequate to accommodate the proposed use. It is not anticipated that existing storm water runoff patterns will change significantly, considering only 8,433 sq. ft. will be disturbed; however, US Cellular submits an erosion and sediment control plan (see site plan page G-1, C-2 and C-5) and Stormwater Report. Site topography will not impact driveway construction considering the net change in ground elevation is 2'+- as shown in the attached site plan page C-2.

c. The access road will provide adequate emergency access to the Facility. For instance, the road was designed for access and egress for large construction vehicles including cranes and 54' flatbed trucks.

(4) The soils on the proposed site shall have adequate capacity and stability to support all loadings, including fill, developed by the proposed use and the use will not cause unreasonable soil erosion or reduction in the capacity of the land to hold water to the extent that a dangerous or unhealthy condition may result on the site or upon the land of abutters or the environment. In considering whether this standard is satisfied, the board shall take into account the elevation above sea level of the site and surrounding properties, its relation to flood plains, the slope and vegetation of the land and their effects on drainage. US Cellular performs soil tests before construction begins. Also, US Cellular is submits an erosion and sediment control plan (see site plan page G-1, C-2 and C-5).

(5) The scale and design of the proposed structures with respect to materials, scale and massing shall be compatible with existing structures within five hundred (500) feet of the site in areas where the existing structures are of a similar scale and architectural treatment. Please refer to sub-section 1(a) above.

**Sec. 4: Additional Standards in Shoreland Areas.**

Not applicable because the Facility will not be located in a shoreland area.

**Sec. 5: Limitations on Conditional Use Permits.**

US Cellular agrees with the provisions contained in this section insofar as they may be applicable.

**Sec. 6: Miscellaneous Provisions.**

US Cellular agrees with the provisions contained in this section insofar as they may be applicable.

**ARTICLE XIII. DEVELOPMENT REVIEW AND STANDARDS**

**Sec. 1: Purpose.**

US Cellular agrees with the provisions contained in this section.

**Sec. 2: Applicability.**

US Cellular agrees with the provisions contained in this section.

**Sec. 3: Procedure.**

US Cellular agrees with the provisions contained in this section.

**Sec. 4: Approval criteria.**

A. Utilization of the site. The site is capable of supporting the project as shown in the attached site plan and stormwater report.

B. Traffic movement into and out of the development area. Traffic movement will not significantly affect the development area considering the Facility will be unmanned and will generate one vehicular visit per month on average for routine maintenance. The Facility has a parking and turn around area as shown on the attached site plan pages C-2 and C-3.

C. Access into the site. Access to the Facility will be via an existing driveway off Sabattus Street as shown on the attached site plan page C-2. A 163' long driveway will be constructed off an existing parking lot.

D. Internal vehicular circulation. The Facility has been designed for safe movement as shown on the attached site plan page C-2.

- E. Pedestrian circulation. The Facility will not affect pedestrian circulation.
- F. Stormwater management. A stormwater report is attached to this application
- G. Erosion control. Erosion control is addressed in the attached site plan page G-1, C-2, C-5.
- H. Water supply. The Facility will be unmanned and will require no water supply.
- I. Sewage disposal. The Facility will be unmanned and will create no sewage.
- J. Utilities. Existing utility poles that are ample for the project are located within 20'+- of the Facility as shown on attached site plan page C-2 and C-3.
- K. Natural features. Currently, the development area is essentially cleared of vegetation except for a mature birch tree which will remain. Some grading will take place towards the rear lot line as shown on site plan page C-2.
- L. Groundwater protection. The Facility will not impact groundwater.
- M. Water and air pollution. The Facility will not create water or air pollution.
- N. Exterior lighting. The Facility will have a motion detector operated downward directional service light with an interior full cut off switch at the door of the equipment shelter as shown on attached site plan page C-7.
- O. Waste disposal. Waste will be properly disposed of to the extent the Facility creates waste.
- P. Lot layout. See attached site plan page C-1 and C-2 for lot layout.
- Q. Landscaping. An existing mature birch tree will remain in close proximity to the Facility. Fourteen shrubs will be planted around the perimeter of the Facility for landscaping and buffering as shown on site plan page C-2.
- R. Shoreland relationship. The Facility will not be located near a Shoreland District.
- S. Open space. The proposed project does not meet the threshold requiring open space.
- T. Technical and financial capacity. US Cellular has the technical capacity to carry out the project considering it has successfully constructed and maintained 300 sites in Maine. US Cellular has the financial capacity to carry out the project as shown on its attached balance sheet.
- U. Buffering. Fourteen shrubs will be planted around the perimeter of the Facility for landscaping and buffering as shown on site plan page C-2.
- V. Compliance with district regulations. The Facility complies with Highway Business District regulations.
- W. Design consistent with performance standards. The Facility complies with performance standards of Article XII insofar as they may be applicable.

**Sec. 5: Coordination with state subdivision law.**

Not applicable

**Sec. 6: Design guidelines.**

US Cellular agrees with the provisions contained in this section insofar as they may be applicable.

**Sec. 7 – 10:**

Not applicable

**Sec. 11: Expiration of approval.**

US Cellular agrees with the provisions contained in this section insofar as they may be applicable.

**Sec. 12: Performance guarantee.**

US Cellular agrees with the provisions contained in this section insofar as they may be applicable.

**Sec. 13: Independent professional review.**

US Cellular agrees with the provisions contained in this section.

**Sec. 14: Additional standards for large scale retail development.**

Not applicable.

**Sec. 15: Post-construction stormwater management standards.**

US Cellular agrees with the provisions contained in this section insofar as they may be applicable.

US Cellular requests to be placed on the Planning Board agenda for July 23, 2012 to discuss this application.

Sincerely,



Bob Gashlin  
For US Cellular

CC: Ken Kozyra  
Richard Trafton

Enc: Application fee  
Development Review Application  
Development Review Checklist  
Property owner authorization letter  
Stormwater report  
US Cellular financials  
Site plan



# PROJECT DATA

The following information is required where applicable, in order complete the application

## IMPERVIOUS SURFACE AREA/RATIO

Existing Total Impervious Area	<u>1430 +-</u> sq. ft. (BLDG + DRIVEWAY)
Proposed Total Paved Area	<u>2500 +-</u> sq. ft. ** GRAVEL
Proposed Total Impervious Area	<u>5700 +-</u> sq. ft.
Proposed Impervious Net Change	<u>5700 +-</u> sq. ft.
Impervious surface ratio existing	<u>.03</u> % of lot area
Impervious surface ratio proposed	<u>.15</u> % of lot area

## BUILDING AREA/LOT COVERAGE

Existing Building Footprint	<u>1030 +-</u> sq. ft.
Proposed Building Footprint	<u>240</u> sq. ft.
Proposed Building Footprint Net change	<u>+240</u> sq. ft.
Existing Total Building Floor Area	<u>1030 +-</u> sq. ft.
Proposed Total Building Floor Area	<u>1270 +-</u> sq. ft.
Proposed Building Floor Area Net Change	<u>240</u> sq. ft.
New Building	<u>YES</u> (yes or no)
Building Area/Lot coverage existing	<u>.02</u> % of lot area
Building Area/Lot coverage proposed	<u>.027</u> % of lot area

## ZONING

Existing	<u>HIGHWAY BUS.</u>
Proposed, if applicable	<u>UNCHANGED</u>

## LAND USE

Existing	<u>RESIDENTIAL</u>
Proposed	<u>TELECOM</u>

## RESIDENTIAL, IF APPLICABLE

Existing Number of Residential Units	<u>N/A</u>
Proposed Number of Residential Units	<u>N/A</u>
Subdivision, Proposed Number of Lots	<u>N/A</u>

## PARKING SPACES

Existing Number of Parking Spaces	<u>4</u>
Proposed Number of Parking Spaces	<u>4</u>
Required Number of Parking Spaces	<u>N/A * UNMANNED FACILITY</u>
Number of Handicapped Parking Spaces	<u>N/A</u>

## ESTIMATED COST OF PROJECT

\$152,000.00

## DELEGATED REVIEW AUTHORITY CHECKLIST

### SITE LOCATION OF DEVELOPMENT AND STORMWATER MANAGEMENT

Existing Impervious Area	<u>1430</u> sq. ft.
Proposed Disturbed Area	<u>5700</u> sq. ft.
Proposed Impervious Area	<u>5700</u> sq. ft.

1. If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with MDEP.
2. If the proposed impervious area is greater than one acre including any impervious area created since 11/16/05, then the applicant shall apply for a MDEP Stormwater Management Permit, Chapter 500, with the City.
3. If total impervious area (including structures, pavement, etc) is greater than 3 acres since 1971 but less than 7 acres, then the applicant shall apply for a Site Location of Development Permit with the City. If more than 7 acres then the application shall be made to MDEP unless determined otherwise.
4. If the development is a subdivision of more than 20 acres but less than 100 acres then the applicant shall apply for a Site Location of Development Permit with the City. If more than 100 acres then the application shall be made to MDEP unless determined otherwise.

**\*\* THE PROPOSED FACILITY WILL CREATE ONE VEHICULAR VISIT PER MONTH ON AVG. FOR ROUTINE MAINTENANCE.**

### TRAFFIC ESTIMATE

Total traffic estimated in the peak hour-existing (Since July 1, 1997) SEE ABOVE passenger car equivalents (PCE)

Total traffic estimated in the peak hour-proposed (Since July 1, 1997) SEE ABOVE passenger car equivalents (PCE)  
If the proposed increase in traffic exceeds 100 one-way trips in the peak hour then a traffic movement permit will be required.

### Zoning Summary

1. Property is located in the HIGHWAY BUSINESS zoning district.
2. Parcel Area: 1.06 acres / 46,174 square feet(sf).

Regulations	Required/Allowed	Provided
Min Lot Area	<u>20,000</u>	<u>UNCHANGED</u>
Street Frontage	<u>150'</u>	<u>UNCHANGED</u>
Min Front Yard	<u>20'</u>	<u>319'</u>
Min Rear Yard	<u>20'</u>	<u>45'</u>
Min Side Yard	<u>20'</u>	<u>21'</u>
Max. Building Height	<u>65'</u>	<u>10' SHELTER / 130' TOWER</u>
Use Designation	<u>HB</u>	<u>TELECOM</u>
Parking Requirement	1 space/ per	square feet of floor area
Total Parking:		<u>4</u>
Overlay zoning districts(if any):	<u>N/A</u>	
Urban impaired stream watershed?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> If yes, watershed name <u>N/A</u>	

## DEVELOPMENT REVIEW APPLICATION SUBMISSION

Submission shall include payment of fee and fifteen (15) complete packets containing the following materials:

1. Full size plans containing the information found in the attached sample plan checklist.
2. Application form that is completed and signed.
3. Cover letter stating the nature of the project.
4. All written submittals including evidence of right, title and interest.
5. Copy of the checklist completed for the proposal listing the material contained in the submitted application.

Refer to the application checklist for a detailed list of submittal requirements.

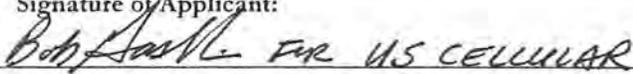
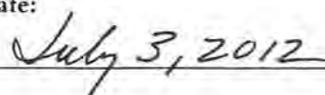
L/A's development review process and requirements have been made similar for convenience and to encourage development. Each City's ordinances are available online at their prospective websites:

Auburn: [www.auburnmaine.org](http://www.auburnmaine.org) under City Departments/ Planning and Permitting/Land Use Division/Zoning Ordinance

Lewiston: <http://www.ci.lewiston.me.us/clerk/ordinances.htm> Refer to Appendix A of the Code of Ordinances

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, I certify that the City's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for development review only; a Performance Guarantee, Inspection Fee, Building Permit Application and other associated fees and permits will be required prior to construction.

Signature of Applicant: 	Date: 
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# Development Review Checklist

City of Auburn Planning and Permitting Department  
City of Lewiston Department of Planning and Code Enforcement



THE FOLLOWING INFORMATION IS REQUIRED WHERE APPLICABLE TO BE SUBMITTED FOR AN APPLICATION TO BE COMPLETE

*MAINE RSA #1, INC. (a.k.a. US CELLULAR)*  
PROJECT NAME: PROPOSED TELECOM FACILITY  
PROPOSED DEVELOPMENT ADDRESS and PARCEL #: MAP 90 / LOT 86

Required Information		Check Submitted		Applicable Ordinance	
		Applicant	Staff	Lewiston	Auburn
<b>Site Plan</b>					
	Owner's Names/Address	PG T-1			
	Names of Development	PG T-1			
	Professionally Prepared Plan	PG T-1			
	Tax Map or Street/Parcel Number	PG T-1, C-1			
	Zoning of Property	PG C-1			
	Distance to Property Lines	PG C-1			
	Boundaries of Abutting land	PG C-1, C-2			
	Show Setbacks, Yards and Buffers	PG C-1, C-2			
	Airport Area of Influence (Auburn only)	N/A			
	Parking Space Calcs	PG C-2, C-3			
	Drive Openings/Locations	PG C-2			
	Subdivision Restrictions	N/A			
	Proposed Use	PG T-1			
	PB/BOA/Other Restrictions	N/A			
	Fire Department Review	N/A			
	Open Space/Lot Coverage	N/A			
	Lot Layout (Lewiston only)	SEE BELOW			
	Existing Building (s)	PG C-1			
	Existing Streets, etc.	PG C-1			
	Existing Driveways, etc.	PG C-1			
	Proposed Building(s)	PG C-2, 3, 7			
	Proposed Driveways	PG C-2, 5			
<b>Landscape Plan</b>					
	Greenspace Requirements	N/A			
	Setbacks to Parking	PG C-2			
	Buffer Requirements	PG C-2			
	Street Tree Requirements	N/A			
	Screened Dumpsters	N/A			

	Additional Design Guidelines	N/A		
	Planting Schedule	PG G-1, C-2		
<b>Stormwater &amp; Erosion Control Plan</b>				
	Compliance w/ chapter 500	*STORMWATER REPORT		
	Show Existing Surface Drainage	PG C-2		
	Direction of Flow	PG C-2		
	Location of Catch Basins, etc.	PG C-2		
	Drainage Calculations	*STORMWATER REPORT		
	Erosion Control Measures	PG G-1, C-2, 5		
	Maine Construction General Permit	N/A		
	Bonding and Inspection Fees	TBD		
	Post-Construction Stormwater Plan	PG G-1		
	Inspection/monitoring requirements	PG G-1		
	Third Party Inspections (Lewiston only)	TBD		
<b>Lighting Plan</b>				
	Full cut-off fixtures	PG C-7 (NOTE #2)		
	Meets Parking Lot Requirements	PG C-2, 3		
<b>Traffic Information</b>				
	Access Management	N/A		
	Signage	N/A		
	PCE - Trips in Peak Hour	*SEE APP. HEREIN PG 2		
	Vehicular Movements	*SEE APP. HEREIN PG 2		
	Safety Concerns	N/A		
	Pedestrian Circulation	N/A		
	Police Traffic	N/A		
	Engineering Traffic	N/A		
<b>Utility Plan</b>				
	Water	N/A		
	Adequacy of Water Supply	N/A		
	Water main extension agreement	N/A		
	Sewer	N/A		
	Available city capacity	SEE BELOW		
	Electric	PG C-2, C-3		
	Natural Gas	N/A		
	Cable/Phone	PG C-2, 3		
<b>Natural Resources</b>				
	Shoreland Zone	N/A		
	Flood Plain	PG C-2		
	Wetlands or Streams	PG C-2		
	Urban Impaired Stream	N/A		
	Phosphorus Check	PG G-1, C-2, 5		
	Aquifer/Groundwater Protection	N/A		
	Applicable State Permits	N/A		

	No Name Pond Watershed (Lewiston only)	N/A			
	Lake Auburn Watershed (Auburn only)	N/A			
	Taylor Pond Watershed (Auburn only)	N/A			
<b>Right Title or Interest</b>					
	Verify	ATTACHED			
	Document Existing Easements, Covenants, etc.	N/A			
<b>Technical &amp; Financial Capacity</b>					
	Cost Est./Financial Capacity	ATTACHED			
	Performance Guarantee	TBD			
<b>State Subdivision Law</b>					
	Verify/Check	N/A			
	Covenants/Deed Restrictions	N/A			
	Offers of Conveyance to City	N/A			
	Association Documents	N/A			
	Location of Proposed Streets & Sidewalks	N/A			
	Proposed Lot Lines, etc.	N/A			
	Data to Determine Lots, etc.	N/A			
	Subdivision Lots/Blocks	N/A			
	Specified Dedication of Land	N/A			
<b>Additional Subdivision Standards</b>					
	Single-Family Cluster (Lewiston only)	N/A			
	Multi-Unit Residential Development (Lewiston only)	N/A			
	Mobile Home Parks	N/A			
	Private Commercial or Industrial Subdivisions (Lewiston only)	N/A			
	PUD (Auburn only)	N/A			
<b>A jpeg or pdf of the proposed site plan</b>		✓			
<b>Final sets of the approved plans shall be submitted digitally to the City, on a CD or DVD, in AutoCAD format R 14 or greater, along with PDF images of the plans for archiving</b>		✓			

Bernard and Jeannine Rancourt  
P.O. Box 8207  
Lewiston, ME 04240

City of Lewiston  
27 Pine Street  
Lewiston, ME 04240

RE: US Cellular Zoning Application to Construct a Wireless Telecommunications Facility at 980 Sabattus St. (Tax Map 90 – Lot 86), Lewiston, ME

Dear Town of Lewiston:

As owner of the property located at 980 Sabattus St. (Tax Map 90 – Lot 86), I authorize US Cellular and its agents to file zoning and permitting applications and to undertake associated business such as conduct hearings as it relates to the construction of a wireless telecommunications facility on this property that will include a fenced in compound, tower, antennas, utilities, access road, and associated equipment as shown on US Cellular's site plan to be submitted to the city.

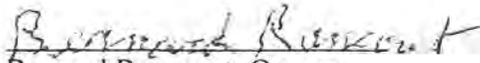
Sincerely,



Jeannine Rancourt, Owner

6-7-12

Date

  
Bernard Rancourt, Owner

6-7-12

Date

# STORMWATER REPORT

Project Name: 301332 Highland Springs

DGI Job No.: 50048661

June 29, 2012

**Information prepared for:**

U.S. Cellular

10 Corporate Drive, Suite 210

Bedford, NH 03110

**Submitted to:**

Town of Lewiston Planning Board

27 Pine Street

Lewiston, ME 04240

 **Dewberry**

280 Summer Street, 10<sup>th</sup> Floor

Boston, MA 02210

Tel: 617.695.3400

Fax: 617.695.3310

[www.dewberry.com](http://www.dewberry.com)



STORMWATER MANAGEMENT REPORT  
980 SABATTUS STREET LEWISTON, MAINE

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**PROJECT DESCRIPTION**

U.S. Cellular is proposing to develop a telecommunications facility, located at 980 Sabattus Street in Lewiston, Maine. The development will consist of installing a 130' tall A.G.L. lattice tower, a 12'x20' equipment shelter, and a 5'x8' generator pad within an 80'x40' gravel compound. For access, a proposed 12' wide gravel road will connect the compound to the adjacent existing paved parking lot.

**EXISTING DRAINAGE CONDITIONS**

Currently, the existing watershed is approximately 9.9± acres. Based on the topographic map obtained from United States Geological Survey (USGS), the terrain across the watershed is relatively flat with minimum slopes of 0.0100 ft/ft. The drainage area is comprised of two paved roads, open vegetated areas and one existing building. The existing impervious area is approximately 0.10± acres and the pervious area is 9.80± acres.

As is shown in Figure 1, the existing watershed is predominant in natural vegetation. The high points for the catchment basin are Sabattus Street (south) and North Temple Street (west). These boundaries were utilized to delineate the drainage area. When a rainfall event occurs, the runoff flows from the high points and discharges to the existing pond towards the east. The basin's time of concentration ( $T_c$ ) was modeled from the high point (intersection of North Temple Street & Sabattus Street) to the point of analysis (pond). The  $T_c$  path is shown in Figure 1.

Type III 24-hour storm events were modeled using rainfall data from the Maine Stormwater Manual's Rainfall Table (See Appendix B). Androscoggin County rainfall values of 3.0 inches, 4.6 inches, and 5.40 inches were used for the 2-year, 10-year, and 25-year 24-hour storm events. Using the software HydroCAD ver. 9.0, the run-off volume and peak discharge rates were obtained for the 2-year, 10-year, and 25-year 24-hour storm events and are shown in Table 1.

**PROPOSED DRAINAGE CONDITIONS**

The changes to the watershed are limited to the proposed compound and access road extension. These features are not located in line with the  $T_c$  flow path. Table 1 shows there is no net increase in runoff between the existing and proposed conditions. The increase in impervious area, as a result of the proposed 12' wide gravel access road and the 80'x40' compound, is approximately 5,700 s.f. When compared to the overall catchment basin, this is a negligible increase of 1.32% of impervious area (See Figure 2).

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**TABLE 1: COMPARISON OF PRE/POST DEVELOPMENT RUNOFF**

	2-year Storm (24 hrs)		10-year Storm (24 hrs)		25-year Storm (24 hrs)	
	Run-off Volume	Peak Discharge	Run-off Volume	Peak Discharge	Run-off Volume	Peak Discharge
Pre- Development	0.78 af	6.43 cfs	1.71 af	14.49 cfs	2.22 af	18.86 cfs
Post- Development	0.78 af	6.43 cfs	1.71 af	14.49 cfs	2.22 af	18.86 cfs
Variance (%)	0.00 af (0.00%)	0.00 cfs (0.00%)	0.00 cf (0.00%)	0.00 cfs (0.00%)	0.00 cf (0.00%)	0.00 cfs (0.00%)

Refer to Appendices C & D for the detailed results.

**CONCLUSION**

As shown in Table 1, due to the minimal changes to the existing site, there is no overall change within the catchment basin. Nevertheless, in order to mitigate the runoff generated from the proposed development, swales and depression areas will be added to the area adjacent to the compound. These items are shown in Appendix E.

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Period Ending	Dec 30, 2011	Dec 30, 2010	Dec 30, 2009
<b>Total Revenue</b>	<b>4,343,346</b>	<b>4,177,681</b>	<b>4,213,880</b>
Cost of Revenue	782,300	742,981	742,993
<b>Gross Profit</b>	<b>3,561,046</b>	<b>3,434,700</b>	<b>3,470,887</b>
Operating Expenses			
Research Development	-	-	-
Selling General and Administrative	2,708,582	2,651,555	2,550,258
Non Recurring	-	-	14,000
Others	573,557	570,955	564,935
<b>Total Operating Expenses</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Operating Income or Loss</b>	<b>280,780</b>	<b>201,473</b>	<b>325,525</b>
Income from Continuing Operations			
Total Other Income/Expenses Net	15,963	(6,837)	(11,130)
Earnings Before Interest And Taxes	378,436	302,671	427,364
Interest Expense	65,614	61,555	78,199
Income Before Tax	312,822	241,116	349,165
Income Tax Expense	114,078	81,958	117,850
Minority Interest	(23,703)	(23,084)	(21,768)
<b>Net Income From Continuing Ops</b>	<b>258,807</b>	<b>233,392</b>	<b>306,347</b>
Non-recurring Events			
Discontinued Operations	-	-	-
Extraordinary Items	-	-	-
Effect Of Accounting Changes	-	-	-
Other Items	-	-	-
<b>Net Income</b>	<b>175,041</b>	<b>136,074</b>	<b>209,547</b>
Preferred Stock And Other Adjustments	-	-	-
<b>Net Income Applicable To Common Shares</b>	<b>175,041</b>	<b>136,074</b>	<b>209,547</b>

Currency in USD.

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## GENERAL CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO ALL CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL CODES, INCLUDING ANSI/EA/TIA-222, AND COMPLY WITH U.S. CELLULAR WIRELESS SPECIFICATIONS.
- CONTRACTOR SHALL CONTACT DIG SAFE (1 888 DIG SAFE 888-344-7233) FOR IDENTIFICATION OF UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
- ALL DIMENSIONS TO, OF, AND ON EXISTING BUILDINGS, DRAINAGE STRUCTURES, AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
- DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.
- DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR BOLTS, ETC.
- CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES, GROUNDS DRAINS, DRAIN PIPES, VENTS, ETC. BEFORE COMMENCING WORK.
- INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH REMEDIAL ACTION SHALL REQUIRE WRITTEN APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING.
- EACH CONTRACTOR SHALL COOPERATE WITH THE OWNER'S REPRESENTATIVE, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
- CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE U.S. CELLULAR CONSTRUCTION MANAGER.
- ALL CABLE/CONDUIT ENTRY/EXIT PORTS SHALL BE WEATHERPROOFED DURING INSTALLATION USING A SILICONE SEALANT.
- WHERE EXISTING CONDITIONS DO NOT MATCH THOSE SHOWN IN THIS PLAN SET, CONTRACTOR WILL NOTIFY ENGINEER, U.S. CELLULAR WIRELESS PROJECT CONSTRUCTION MANAGER, AND LANDLORD IMMEDIATELY.
- CONTRACTOR SHALL ENSURE ALL SUBCONTRACTORS ARE PROVIDED WITH A CURRENT SET OF DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT.
- CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS FROM THE SITE AT THE END OF EACH DAY.
- CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH LANDLORD AND TAKE PRECAUTIONS TO MINIMIZE IMPACT AND DISRUPTION OF OTHER OCCUPANTS OF THE FACILITY.
- CONTRACTOR SHALL FURNISH U.S. CELLULAR WITH THREE AS-BUILT SETS OF DRAWINGS UPON COMPLETION OF WORK.
- ANTENNAS AND CABLES ARE TYPICALLY PROVIDED BY U.S. CELLULAR WIRELESS. PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH U.S. CELLULAR PROJECT MANAGER TO DETERMINE WHAT, IF ANY, ITEMS WILL BE PROVIDED BY U.S. CELLULAR WIRELESS. ALL ITEMS NOT PROVIDED BY U.S. CELLULAR WIRELESS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR WILL INSTALL ALL ITEMS PROVIDED BY U.S. CELLULAR WIRELESS.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR WILL COORDINATE WITH U.S. CELLULAR PROJECT MANAGER TO DETERMINE IF ANY PERMITS WILL BE OBTAINED BY U.S. CELLULAR. ALL REQUIRED PERMITS NOT OBTAINED BY U.S. CELLULAR MUST BE OBTAINED, AND PAID FOR, BY THE CONTRACTOR.
- CONTRACTOR SHALL START UP HVAC UNITS AND SYNCHRONIZE THE THERMOSTATS.
- CONTRACTOR SHALL INSTALL ALL SITE SIGNAGE IN ACCORDANCE WITH U.S. CELLULAR SPECIFICATIONS AND REQUIREMENTS.
- CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- UNLESS OTHERWISE NOTED U.S. CELLULAR SHALL PROVIDE ALL REQUIRED RF MATERIAL FOR CONTRACTOR TO INSTALL, INCLUDING ANTENNAS, TMA'S, BIAS-T'S, COMBINERS, PDU, DC BLOCKS, SURGE ARRESTORS, GPS ANTENNA, GPS SURGE ARRESTOR, COAXIAL CABLE.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL VERIFY ALL EQUIPMENT TO BE PROVIDED BY U.S. CELLULAR FOR INSTALLATION BY CONTRACTOR.
- ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND LOCATED ACCORDING TO U.S. CELLULAR SPECIFICATIONS, AND AS SHOWN IN THESE PLANS.
- SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH UL LISTED D FIRE CODE APPROVED MATERIALS.
- REPAIR ANY DAMAGE DURING CONSTRUCTION TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE CONSTRUCTION MANAGER.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- CONTRACTOR SHALL NOTIFY DEWBERRY A MINIMUM OF 48 HOURS IN ADVANCE OF POURING CONCRETE OR BACKFILLING ANY UNDERGROUND UTILITIES, FOUNDATIONS OR SEALING ANY WALL, FLOOR OR ROOF PENETRATIONS FOR ENGINEERING REVIEW AND APPROVAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY INCLUDING COMPLIANCE WITH ALL APPLICABLE OSHA STANDARDS AND RECOMMENDATIONS AND SHALL PROVIDE ALL NECESSARY SAFETY DEVICES INCLUDING PPE AND CONSTRUCTION DEVICES SUCH AS WELDING AND FIRE PREVENTION, TEMPORARY SHORING, SCAFFOLDING, TRENCH BOXES/SLOPING, BARRIERS, ETC.

## STRUCTURAL STEEL NOTES

- STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".
- ALL EXTERIOR STEEL WORK SHALL BE GALVANIZED IN ACCORDANCE WITH SPECIFICATION ASTM A123 HOT-DIP GALVANIZED FINISH UNLESS OTHERWISE NOTED. GALVANIZING SHALL BE PERFORMED AFTER SHOP FABRICATION TO THE GREATEST EXTENT POSSIBLE. ALL DINGS, SCRAPS, MARKS, AND WELDS IN THE GALVANIZED AREAS SHALL BE REPAIRED. REPAIR DAMAGED GALVANIZED COATINGS ON GALVANIZED ITEMS WITH GALVANIZED REPAIR PAINT ACCORDING TO ASTM A780 AND MANUFACTURER'S WRITTEN INSTRUCTIONS, PRIOR TO COMPLETION OF WORK.
- DO NOT DRILL HOLES THROUGH STRUCTURAL STEEL MEMBERS EXCEPT AS SHOWN AND DETAILED ON STRUCTURAL DRAWINGS.
- CONNECTIONS:
  - ALL WELDING SHALL BE DONE USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC AND AWS D1.1. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION" 8TH EDITION. AT THE COMPLETION OF WELDING, ALL DAMAGE TO GALVANIZED COATING SHALL BE REPAIRED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE BURNING/WELDING PERMITS AS REQUIRED BY LOCAL GOVERNING AUTHORITY, AND IF REQUIRED SHALL HAVE FIRE DEPARTMENT DETAIL FOR ANY WELDING ACTIVITY.
  - BOLTED CONNECTIONS SHALL USE BEARING TYPE GALVANIZED ASTM A325 BOLTS (SIZE AS NOTED) AND SHALL HAVE MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
  - CONNECTION DESIGN BY FABRICATOR WILL BE SUBJECT TO REVIEW AND APPROVAL BY ENGINEER.
  - WELDING SHALL MEET THE AMERICAN WELDING SOCIETY STRUCTURAL WELDING CODE-STEEL WELDING OPERATORS SHALL BE CERTIFIED BY THE STANDARD QUALIFICATIONS AWS PROCEDURE FOR THE TYPE OF WELD REQUIRED.
  - SQUARE AND PLUMB THE STRUCTURE BEFORE TIGHTENING BOLTED CONNECTIONS OR WELDING ANY FIELD WELDED CONNECTIONS. SEE AISC SPECIFICATIONS 7.11.3.
  - CONSTRUCTION OF THE TOWER SHALL SATISFY ALL FEDERAL, STATE, AND LOCAL BUILDING CODES AS WELL AS BE ABLE TO SATISFY THE NEEDS OF FUTURE CO-LOCATIONS AS DESCRIBED HEREIN SUBJECT TO THE EXTENT OF EACH CO-LOCATORS EQUIPMENT REQUIREMENTS.

## GENERAL FOUNDATION NOTES:

(APPLICABLE FOR CONCRETE PADS ONLY)

- THOROUGHLY COMPACT BOTTOM OF EXCAVATIONS PRIOR TO PLACING RIGID INSULATION BARRIER. BACKFILL AND COMPACTION PROCEDURES SHALL BE DONE PER INDUSTRY STANDARDS.
- ALL REINFORCING STEEL SHALL BE ASTM A615 - GRADE 60. SECURE REINFORCING IN PLACE TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT.
- PROVIDE A CLEAR COVER OF 2" FOR ALL REINFORCING STEEL. THIS REQUIREMENT SHALL BE CONSIDERED ACTUAL AND SHOULD NOT BE ADJUSTED IN THE FIELD.
- VERIFY DETAILS AND DIMENSIONS WITH SHELTER DRAWINGS. NOTIFY U.S. CELLULAR WIRELESS OF ANY DISCREPANCIES.
- ALL WORK SHALL COMPLY WITH THE APPLICABLE CODES ENFORCED BY THE MUNICIPALITY CODE ENFORCEMENT OFFICER.
- INSULATION BARRIER PROVIDED IS FOR FROST PROTECTION IN LIEU OF STANDARD FOUNDATIONS WITH BEARING AT CODE REQUIRED FROST DEPTH AS APPROVED BY ENGINEER ONLY.

## EROSION AND SEDIMENT CONTROL PLAN:

THIS PLAN HAS BEEN DEVELOPED TO PROVIDE A STRATEGY FOR CONTROLLING SOIL EROSION AND SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROPOSED DEVELOPMENT.

THE EQUIPMENT ANTICIPATED TO BE USED FOR THE CONSTRUCTION INCLUDES THE FOLLOWING: BACKHOES, BULLDOZERS, LOADERS, TRUCKS, CRANES, COMPACTORS, AND GRADERS. THE FOLLOWING MEASURES WILL BE UNDERTAKEN TO PROVIDE MAXIMUM PROTECTION TO THE SOIL, WATER, AND ADJUTING LANDS:

- PRIOR TO GRUBBING OR ANY EARTHMOVING OPERATION, SILTATION FENCE WILL BE INSTALLED ACROSS THE SLOPE ON THE CONTOUR AT THE DOWNHILL LIMIT OF THE WORK AS PROTECTION AGAINST CONSTRUCTION RELATED EROSION.
- STONE CHECK DAMS WILL BE INSTALLED IN THE DRAINAGE SWALES TO PREVENT EROSION PRIOR TO THE STABILIZATION OF THE CHANNELS. EROSION CONTROL MESH WILL ALSO BE INSTALLED IN ALL DITCH TO BE REVEGETATED.
- PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY UNDISTURBED LAND AREA WILL BE COMPLETED WITHIN FIFTEEN CALENDAR DAYS AFTER FINAL GRADING HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE OR THIRTY CALENDAR DAYS OF EXPOSURE OF SOIL ALL DISTURBED AREAS WILL BE MULCHED FOR EROSION CONTROL UPON COMPLETION OF ROUGH GRADING.
- ANY EXPOSED SLOPES GREATER THAN 3:1 AND NEWLY CONSTRUCTED DRAINAGE SWALES WILL BE STABILIZED WITH EROSION CONTROL MESH TO PREVENT EROSION DURING CONSTRUCTION AND TO FACILITATE REVEGETATION AFTER LOAMING AND SEEDING.
- TO PROVIDE PROTECTION AGAINST EROSION, RIPRAP WILL BE PLACED AT ALL STORM DRAIN INLETS AND OUTLETS AS SHOWN ON THE ATTACHED DRAWINGS.
- IN AREAS OF CONSTRUCTION DEWATERING, ISOLATED SETTLEMENT TRAPS WILL BE CONSTRUCTED ADJACENT TO THE ACTIVITY. WATER WILL BE PUMPED FROM THE EXCAVATIONS TO THESE DEPRESSION AREAS FOR SEDIMENT REMOVAL. ADDITIONAL SEDIMENTATION PROTECTION WILL BE PROVIDED BY THE INSTALLATION OF HAYBALE BARRIERS BETWEEN THE BASINS AND THE RECEIVING DRAINAGE COURSE.
- NATIVE TOPSOIL SHALL BE SAVED, STOCKPILED, MULCHED, AND REUSED AS MUCH AS POSSIBLE ON THE SITE. SILTATION FENCE SHALL BE INSTALLED AT THE BASE OF STOCKPILES AT THE DOWNHILL LIMIT TO PROTECT AGAINST EROSION. STOCKPILES WILL BE STABILIZED BY SEEDING AND MULCHING UPON FORMATION OF THE PILES. UPHILL OF THE STOCKPILES, STABILIZED DITCHES AND/OR BERMS WILL BE CONSTRUCTED TO DIVERT STORMWATER RUNOFF AWAY FROM THE PILES.
- ALL SILTATION FENCE AND HAY BALE BARRIERS WILL BE INSPECTED BY THE CONTRACTOR ON A WEEKLY BASIS OR FOLLOWING ANY SIGNIFICANT RAINFALL (1/2 INCH OR MORE) OR SNOWMELT. ALL DAMAGED EROSION CONTROL DEVICES WILL BE REPAIRED AND/OR REPLACED IMMEDIATELY. TRAPPED SEDIMENT WILL BE REMOVED BEFORE IT HAS ACCUMULATED TO ONE-HALF OF THE INSTALLED SILTATION FENCE OR HAY BALE BARRIER HEIGHT. DEVICES NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION WILL ALSO BE REPAIRED AND/OR REPLACED AS NECESSARY.
- IF FINAL SEEDING OF THE UNDISTURBED AREAS IS NOT COMPLETED BY SEPTEMBER 15 OF THE YEAR OF CONSTRUCTION, THEN WITHIN THE NEXT 10 CALENDAR DAYS THESE AREAS WILL BE GRADED AND SMOOTHED, THEN SEED TO A WINTER COVER CROP OF RYE AT A RATE OF 3 LBS. PER 1,000 SQ. FT. THE FOLLOWING WILL BE INCORPORATED INTO THE SOIL PRIOR TO RYE SEEDING: GROUND LIMESTONE AT A RATE OF 130 LBS. PER 1,000 SQ. FT., FOLLOWED BY A 10-10 FERTILIZER AT A RATE OF 14 LBS. PER 1,000 SQ. FT. HAY MULCH WILL BE APPLIED AT A RATE OF 100 LBS. PER 1,000 SQ. FT. FOLLOWING SEEDING. IF THE RYE SEEDING CANNOT BE COMPLETED BY OCTOBER 1, THEN ON THAT DATE HAY MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE TO PROVIDE WINTER PROTECTION. OF RYE DOES NOT MAKE ADEQUATE GROWTH BY NOVEMBER 5, THEN ON THAT DATE, HAY MULCH SHALL BE APPLIED AT THE RATE OF 100 LBS. PER 1,000 SQ. FT. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON HAY MULCH FOR WIND CONTROL BIODEGRADABLE NETTING WILL BE INSTALLED ON STEEP SLOPES (3:1 AND STEEPER) AND ON AREAS OF CONCENTRATED FLOWS.
- INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND INCORPORATED INTO THE PROJECT AREA.
- SHOULD CONSTRUCTION OCCUR AFTER NOVEMBER 15, ADDITIONAL EROSION CONTROL METHODS WILL BE IMPLEMENTED. ALL DISTURBED AREAS WILL BE MINIMIZED AS MUCH AS POSSIBLE. PRIOR TO FREEZING, ADDITIONAL EROSION CONTROL DEVICES WILL BE INSTALLED AS APPROPRIATE INSPECTION OF THESE EROSION CONTROL ITEMS WILL BE CONSTANT, WITH PARTICULAR ATTENTION PAID TO WEATHER PREDICTIONS TO ENSURE THAT THESE MEASURES ARE PROPERLY IN PLACE TO HANDLE LARGE AMOUNTS OF RUNOFF FROM HEAVY RAINS OR THAWS.

## SEEDING AND REVEGETATION PLAN:

UPON COMPLETION OF SITE CONSTRUCTION, ALL AREAS PREVIOUSLY DISTURBED WILL BE TREATED AS STATED BELOW. THESE AREAS WILL BE CLOSELY MONITORED BY THE CONTRACTOR UNTIL SUCH TIME AS A SATISFACTORY GROWTH OF VEGETATION IS ESTABLISHED.

- LOAM WILL BE SPREAD OVER ALL DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH OF 4 INCHES.
- THE FOLLOWING WILL BE INCORPORATED INTO THE SOIL PRIOR TO SEEDING: AGRICULTURAL LIMESTONE AT THE RATE OF 130 POUNDS PER 1,000 SQUARE FEET, FOLLOWED BY 10-10-10 FERTILIZER AT THE RATE OF 14 POUNDS PER 1,000 SQUARE FEET.
- DISTURBED AREAS WILL BE SEEDING WITH CREEPING RED FESCUE AT THE RATE OF 20 LBS/ACRE, REDTOP AT THE RATE OF 2 LBS/ACRE, AND TALL FESCUE AT THE RATE OF 20 LBS/ACRE.
- SEEDING WILL BE COMPLETED BETWEEN THE DATES OF APRIL 1 AND SEPTEMBER 15. WATERING MAY BE REQUIRED DURING DRY PERIODS.
- HAY MULCH WILL BE APPLIED AT THE RATE OF 100 LBS. PER 1,000 SQ. FT. FOLLOWING SEEDING. MULCH SHALL BE ANCHORED BY WATERING OR TRACKING BY BULLDOZER FLAT AREAS, USING ANCHORING EMULSION OR TRACKING BY BULLDOZER ON AREAS OF MODERATE SLOPES AND INSTALLING BIODEGRADABLE NETS ON STEEP SLOPES (3:1 AND STEEPER).
- ALL SEDIMENT CONTROL STRUCTURES WILL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED. ESTABLISHED MEANS A MINIMUM OF 75% OF THE AREA IS VEGETATED WITH VIGOROUS GROWTH.

## CONCRETE AND REINFORCING STEEL NOTES:

- DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF ALL APPLICABLE CODES INCLUDING: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", AND ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- MIX DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE AND SUBMITTED TO ENGINEER PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL BE NORMAL WEIGHT, 6% AIR ENTRAINED (+/- 1.5%) WITH A MAXIMUM 4" SLUMP AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE NOTED.
- THE FOLLOWING MATERIALS SHALL BE USED:
 

PORTLAND CEMENT:	ASTM C-150, TYPE 1 OR 2
REINFORCEMENT:	ASTM A-185, PLAIN STEEL WELDED WIRE FABRIC
REINFORCEMENT BARS:	ASTM A615, GRADE 60, DEFORMED
NORMAL WEIGHT AGGREGATE:	ASTM C-33
WATER:	DRINKABLE
ADMIXTURES:	NON-CHLORIDE CONTAINING
- MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS (UNLESS OTHERWISE NOTED):
  - CONCRETE CAST AGAINST EARTH: 3"
  - ALL OTHER CONCRETE: 2"
- A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE IN ACCORDANCE WITH ACI 301 SECTION 4.2.4, UNLESS NOTED OTHERWISE.
- INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL, OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE.
- ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI 301.
- DO NOT WELD OR TACK WELD REINFORCING STEEL.
- REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
- DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
- DO NOT ALLOW REINFORCEMENT, CONCRETE OR SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 3 DAYS AFTER PLACEMENT.
- FOR COLD-WEATHER AND HOT-WEATHER CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS, MINIMUM.
- CONCRETE SHALL BE RUBBED TO A ROUGH GROUT FINISH. PADS SHALL BE SEALED BY STEEL TROWEL.
- UNLESS OTHERWISE NOTED:
  - ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60.
  - WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- SPLICING OF REINFORCEMENT IS PERMITTED ONLY AT LOCATIONS SHOWN IN THE CONTRACT DRAWINGS OR AS ACCEPTED BY THE ENGINEER. UNLESS OTHERWISE SHOWN OR NOTED REINFORCING STEEL SHALL BE SPLICED TO DEVELOP ITS FULL TENSILE CAPACITY (CLASS A) IN ACCORDANCE WITH ACI 318.
- REINFORCING BAR DEVELOPMENT LENGTHS, AS COMPUTED IN ACCORDANCE WITH ACI 318, FORM THE BASIS FOR BAR EMBEDMENT LENGTHS AND BAR SPLICED LENGTHS SHOWN IN THE DRAWINGS. APPLY APPROPRIATE MODIFICATION FACTORS FOR TOP STEEL, BAR SPACING, COVER AND THE LIKE.
- DETAILING OF REINFORCING STEEL SHALL CONFORM TO "ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 315).
- ALL SLAB CONSTRUCTION SHALL BE CAST MONOLITHICALLY WITHOUT HORIZONTAL CONSTRUCTION JOINTS, UNLESS SHOWN IN THE CONTRACT DRAWINGS.
- LOCATION OF ALL CONSTRUCTION JOINTS ARE SUBJECT TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, CONFORMANCE WITH ACI 318, AND ACCEPTANCE OF THE ENGINEER. DRAWINGS SHOWING LOCATION OF DETAILS OF THE PROPOSED CONSTRUCTION JOINTS SHALL BE SUBMITTED WITH REINFORCING STEEL PLACEMENT DRAWINGS.
- SPLICES OF WWF, AT ALL SPLICED EDGES, SHALL BE SUCH THAT THE OVERLAP MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET IS NOT LESS THAN THE SPACING OF THE CROSS WIRE PLUS 2 INCHES, NOR LESS THAN 8".
- BAR SUPPORTS SHALL BE ALL-GALVANIZED METAL WITH PLASTIC TIPS.
- ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE TO PREVENT DISPLACEMENT BY CONSTRUCTION TRAFFIC OR CONCRETE. TIE WIRE SHALL BE 16 GAUGE CONFORMING TO ASTM A82.
- SLAB ON GROUND
  - COMPACT STRUCTURAL FILL TO 95% DENSITY AND THEN PLACE 6" GRAVEL BENEATH SLAB.
  - PROVIDE VAPOR BARRIER BENEATH SLAB ON GROUND.



10 CORPORATE DRIVE  
SUITE 210  
BEDFORD, NH 03110

HIGHLAND SPRINGS  
SITE NO.: 301332

## CONSTRUCTION DRAWINGS

NO.	DATE	DESCRIPTION
2	06/29/12	FOR SUBMITTAL
1	04/19/12	FOR SUBMITTAL
0	03/09/12	FOR SUBMITTAL
B	03/06/12	FOR COMMENT
A	02/10/12	FOR COMMENT



Dewberry Engineers Inc.

250 SUMMER ST  
10TH FLOOR  
LEWISTON, MA 02210  
PHONE: 617.695.3400  
FAX: 617.695.3310



DRAWN BY: GMT

REVIEWED BY: GMT

CHECKED BY: PPB

PROJECT NUMBER: 50002714

JOB NUMBER: 50048661

SITE ADDRESS

980 SABATTUS STREET  
LEWISTON, ME 04240

SHEET TITLE

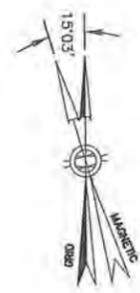
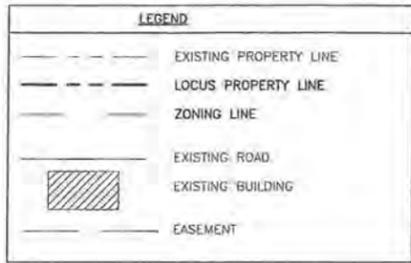
GENERAL NOTES

SHEET NUMBER

G-1

**GENERAL NOTES**

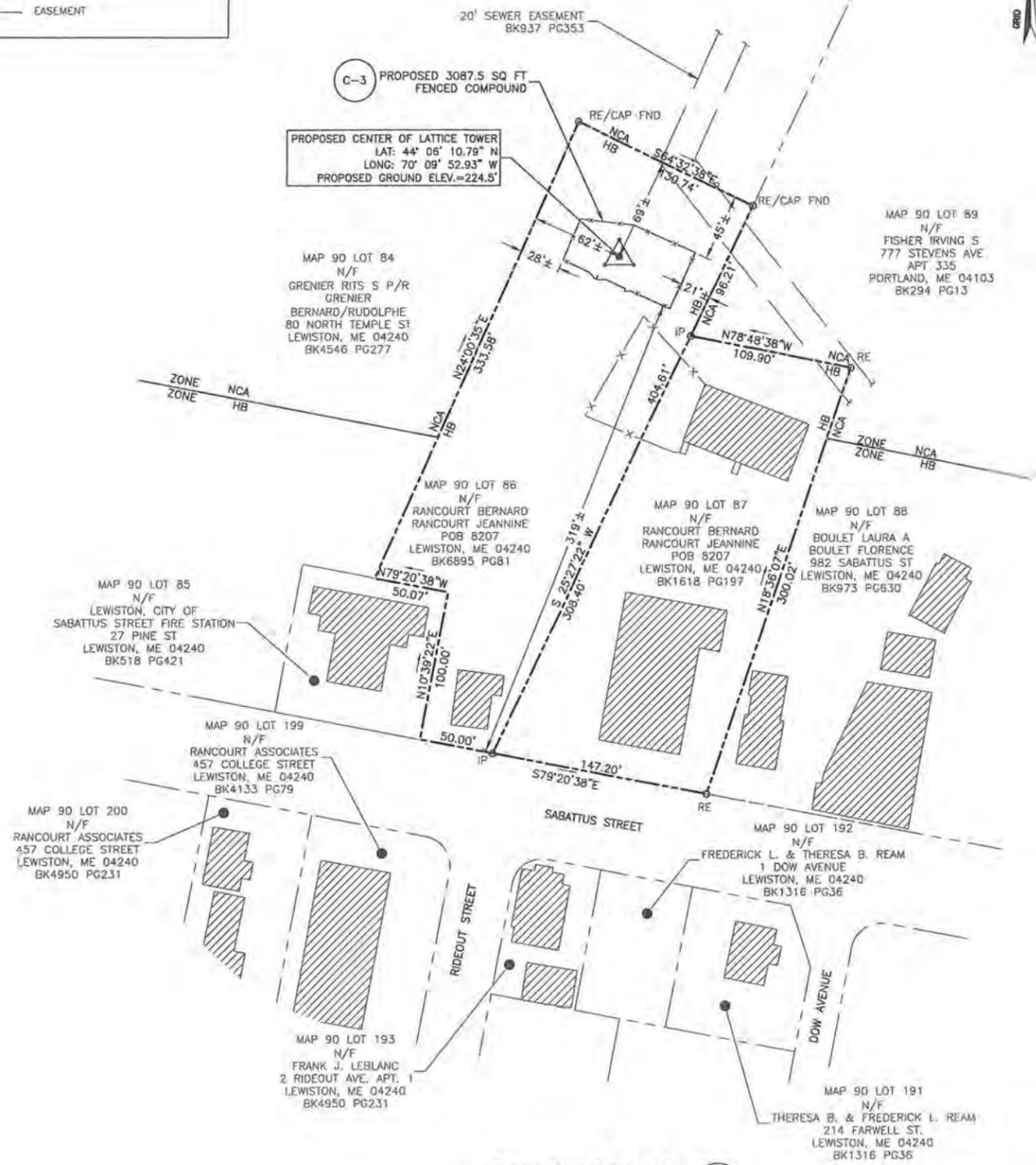
- FIELD SURVEY DATE: FEBRUARY 1, 2012
- VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988.
- HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83) GEOID 09
- CENTER PROPOSED TOWER:  
LAT 44°06'10.79" N  
LON 70°09'52.93" W  
EXISTING GROUND ELEV.=224.5'±  
PROPOSED GROUND ELEV.=224.5'±  
PROPOSED TOWER BASE ELEV.=226.0'±
- OWNER: RANCOURT BERNARD  
RANCOURT JEANNINE  
POB 8207  
LEWISTON, ME 04240  
HIGHLAND SPRINGS
- SITE NAME: HIGHLAND SPRINGS
- SITE NUMBER: 301332
- SITE ADDRESS: 980 SABATTUS STREET  
LEWISTON, ME 04240
- ABUTTERS INFORMATION TAKEN FROM TOWN TAX DATA
- JURISDICTION: LEWISTON, ME 04240
- TAX ID: MAP 90 LOT 86
- DEED REFERENCE: VOLUME 6895 PAGE 81
- PLAT REFERENCE: SURVEY WORKS INC, 4/27/07
- GRID NORTH BASED ON GPS
- ELEVATIONS AND COORDINATES FROM GPS LOCATIONS.
- ALL UNDERGROUND UTILITY INFORMATION PRESENTED HEREON WAS DETERMINED FROM SURFACE EVIDENCE AND PLANS OF RECORD. ALL UNDERGROUND UTILITIES SHOULD BE LOCATED IN THE FIELD PRIOR TO COMMENCEMENT OF ALL SITE WORK. CALL DIGSAFE (1800) 322-4844 A MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY.
- ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS, THE PROPOSED TOWER STAKE ON THIS PROPERTY IS LOCATED IN AN AREA DESIGNATED AS ZONE C. NOT WITHIN THE 100 YEAR FLOOD BOUNDARY. COMMUNITY PANEL NO. 230004 0010 B, SEP 28, 1979
- PROPERTY LINE INFORMATION IS COMPILED FROM DEEDS AND PLANS OF RECORD AND IS NOT THE RESULT OF A FULL BOUNDARY SURVEY.
- BEARING SYSTEM OF THIS PLAN IS BASED ON GRID NORTH.
- SURVEYED PERFORMED BY: COLONIAL SURVEY CO., INC.  
28 WOODLAND WAY  
STOW, MA 01775



**ZONING INFORMATION**

DISTRICT: HB - HIGHWAY BUSINESS		
	REQUIRED	PROPOSED
MIN. AREA:	NONE OR 20,000 S.F.	N/C
MAX. BUILDING HEIGHT:	65'	10' SHELTER
MIN. FRONTAGE:	150'	N/C
MIN. FRONT SETBACK:	30'	319'± **
MIN. FRONT YARD DEPTH:	20'	N/C
MIN. SIDE SETBACK:	20' *	21'± **
MIN. REAR SETBACK:	20' *	45'± **
MAX. LOT COVERAGE:	0.50	0.18±
MAX. IMPERVIOUS SURFACE:	0.75	0.18±
MIN. OPEN SPACE:	0.25	0.82±

N/C - NO CHANGE  
\* ABUTS RESIDENTIAL DISTRICT SO SETBACK IS 20' PER SPACE & BULK STANDARDS.  
\*\* SETBACKS TO PROPOSED COMPOUND FENCE.



**ABUTTERS PLAN**  
SCALE: 1"=100' FOR 11"x17"  
1"=50' FOR 22"x34"  
0' 300' 600'

- SITE NOTES:**
- SOME EXISTING INFORMATION IS NOT SHOWN FOR CLARITY.
  - THIS IS NOT A FULL BOUNDARY SURVEY. ALL DISTANCES AND BOUNDARIES SHOWN AS APPROXIMATE.
  - COORDINATE UTILITY ROUTING WITH LOCAL UTILITY COMPANIES.
  - ALL BUILDINGS WITHIN 200' OF LOCUS PARCEL ARE SHOWN.
  - NO GROUND DISTURBANCE IS PROPOSED FOR ACCESS WAY OVER MAP 90--LOT 87 PARCEL.

**U.S. Cellular**  
10 CORPORATE DRIVE  
SUITE 210  
BEDFORD, NH 03110

**HIGHLAND SPRINGS  
SITE NO.: 301332**

**CONSTRUCTION DRAWINGS**

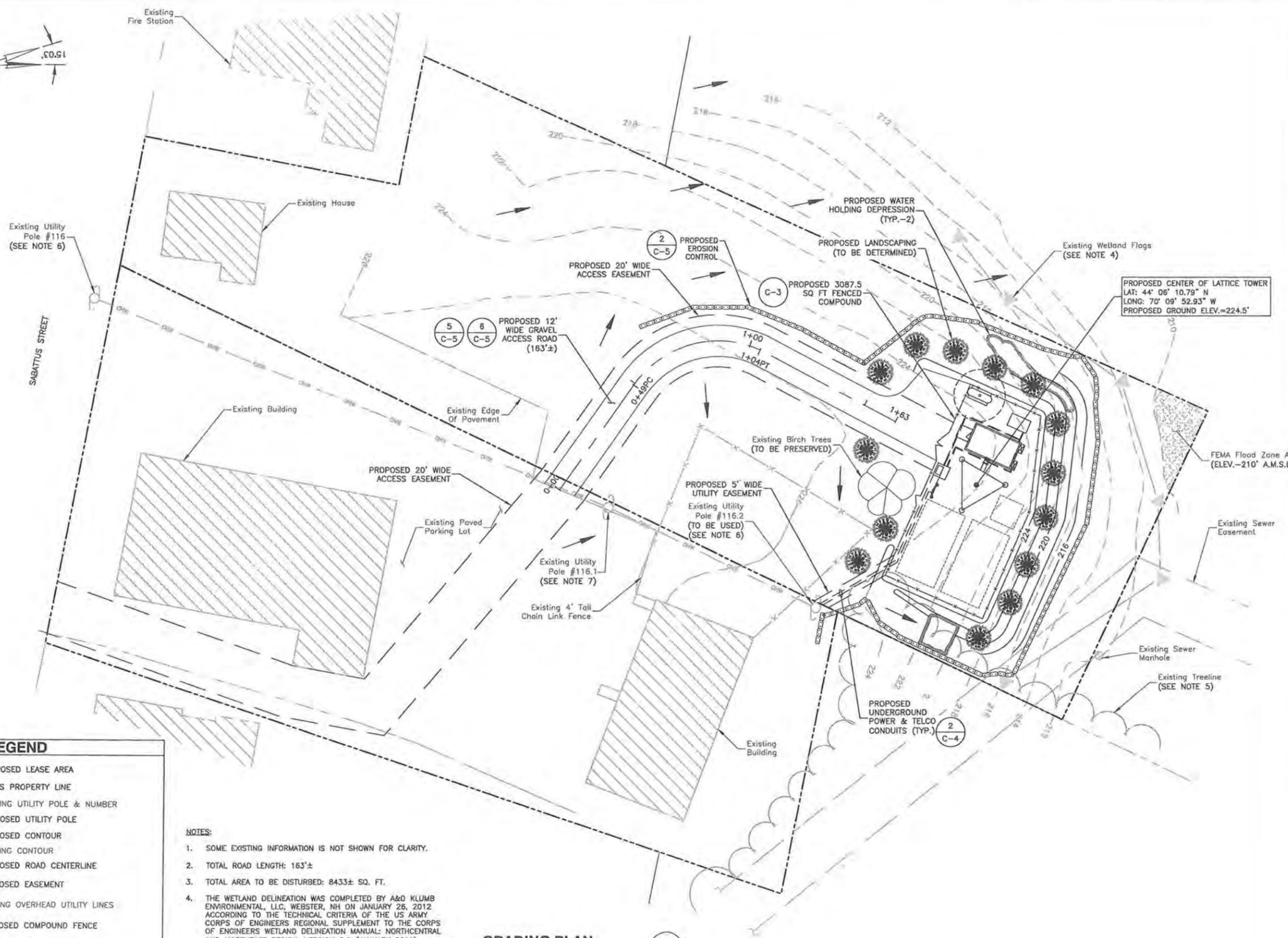
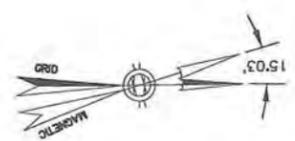
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**Dewberry**  
Dewberry Engineers Inc.  
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10TH FLOOR  
BOSTON, MA 02210  
PHONE: 617.695.3400  
FAX: 617.695.3310



DRAWN BY: JIM  
REVIEWED BY: GMT  
CHECKED BY: PPB  
PROJECT NUMBER: 50002714  
JOB NUMBER: 50048661  
SITE ADDRESS: 980 SABATTUS STREET  
LEWISTON, ME 04240  
SHEET TITLE: ABUTTERS PLAN  
SHEET NUMBER:

C-1



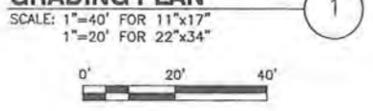
**LEGEND**

- PROPOSED LEASE AREA
- LOCUS PROPERTY LINE
- UP# EXISTING UTILITY POLE & NUMBER
- UP PROPOSED UTILITY POLE
- XXX PROPOSED CONTOUR
- XXX EXISTING CONTOUR
- PROPOSED ROAD CENTERLINE
- PROPOSED EASEMENT
- oww EXISTING OVERHEAD UTILITY LINES
- x-x PROPOSED COMPOUND FENCE
- PROPOSED EROSION CONTROL
- > RUNOFF FLOW ARROW
- EXISTING TREELINE
- x 221.8' PROPOSED SPOT GRADE
- EXISTING WETLAND DELINEATION

**NOTES:**

1. SOME EXISTING INFORMATION IS NOT SHOWN FOR CLARITY.
2. TOTAL ROAD LENGTH: 163'±
3. TOTAL AREA TO BE DISTURBED: 8433± SQ. FT.
4. THE WETLAND DELINEATION WAS COMPLETED BY A&D KLUMB ENVIRONMENTAL, LLC, WEBSTER, NH ON JANUARY 26, 2012 ACCORDING TO THE TECHNICAL CRITERIA OF THE US ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0 (JANUARY 2012).
5. THE AVERAGE TREE HEIGHT IN THE VICINITY OF THE PROPOSED TOWER IS 56'± A.G.L.
6. EXISTING UTILITY POLES ONSITE ARE OWNED BY CENTRAL MAINE POWER.
7. THE PARCEL IS SUBJECT TO A GUY WIRE EASEMENT FOR EXISTING UTILITY POLE #116.1 AS RECORDED IN BOOK 685B PAGE 349.
8. NO GROUND DISTURBANCE IS PROPOSED FOR ACCESS WAY OVER MAP 90--LOT 87 PARCEL.

**GRADING PLAN**



10 CORPORATE DRIVE  
SUITE 210  
BEDFORD, NH 03110

**HIGHLAND SPRINGS  
SITE NO.: 301332**

**CONSTRUCTION DRAWINGS**

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DRAWN BY: JIM

REVIEWED BY: GMT

CHECKED BY: PPB

PROJECT NUMBER: 50002714

JOB NUMBER: 50048661

SITE ADDRESS

980 SABATTUS STREET  
LEWISTON, ME 04240

SHEET TITLE

GRADING PLAN

SHEET NUMBER

C-2

## HIGHLAND SPRINGS SITE NO.: 301332

### CONSTRUCTION DRAWINGS

2	06/29/12	FOR SUBMITTAL
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B	03/06/12	FOR COMMENT
A	02/10/12	FOR COMMENT

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PHONE: 617.695.3400  
FAX: 617.695.3310



6-29-12

DRAWN BY: JIM

REVIEWED BY: GMT

CHECKED BY: PPB

PROJECT NUMBER: 50002714

JOB NUMBER: 50048661

SITE ADDRESS

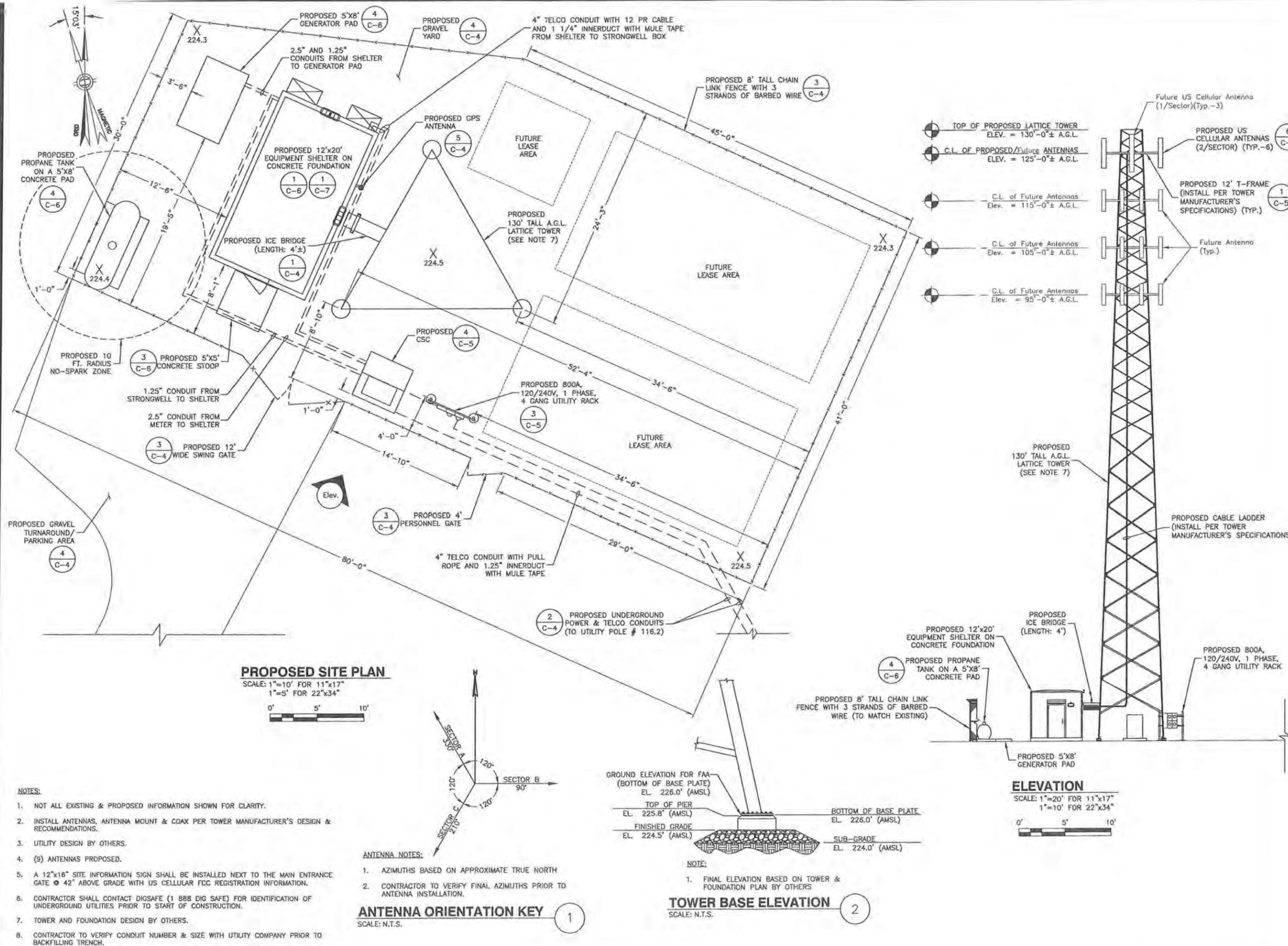
980 SABATTUS STREET  
LEWISTON, ME 04240

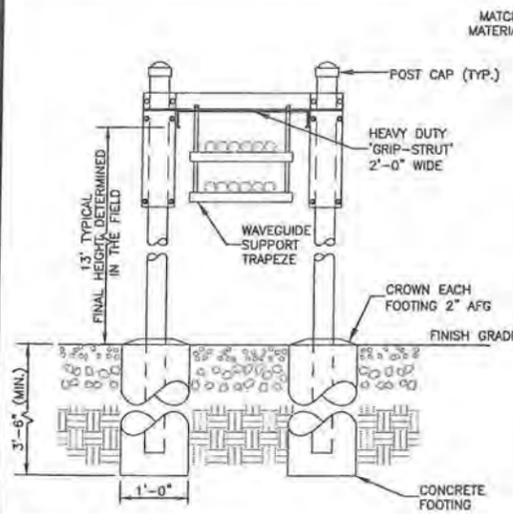
SHEET TITLE

DETAILED SITE PLAN  
& ELEVATION

SHEET NUMBER

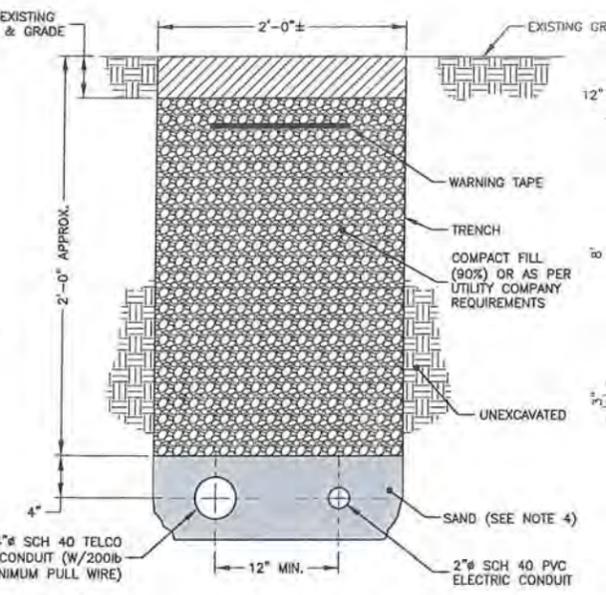
C-3





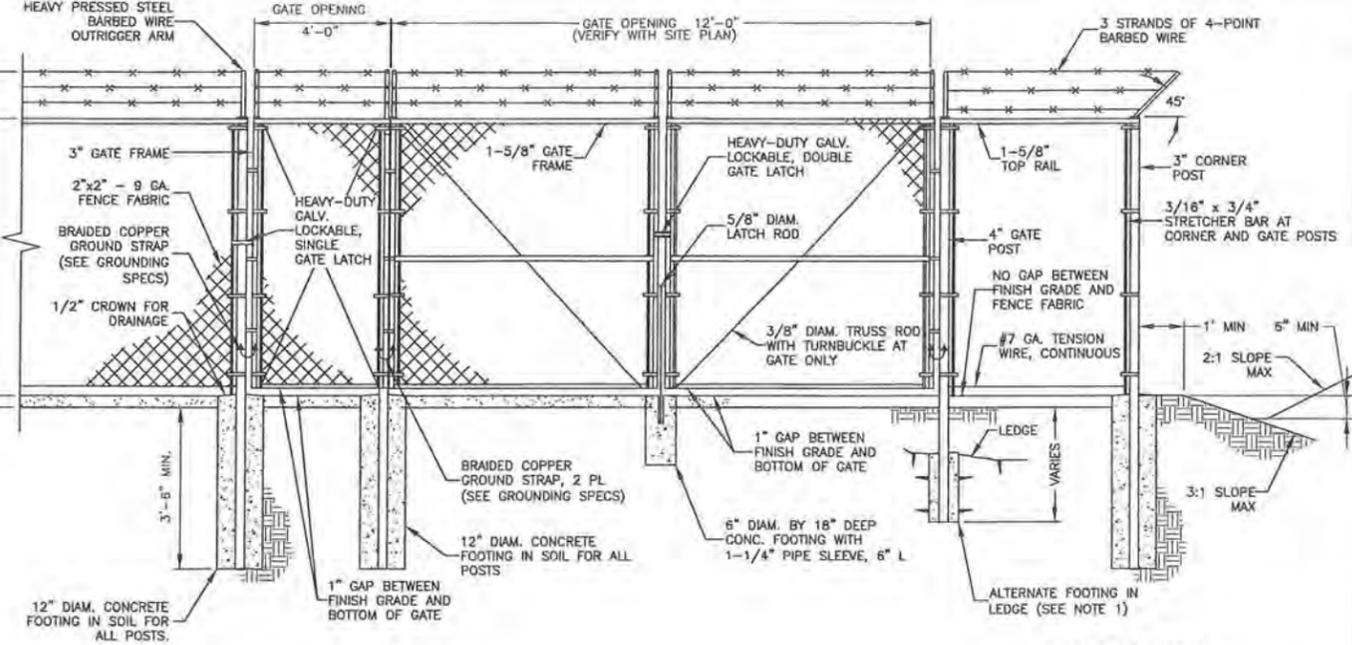
- ICE BRIDGE NOTES:**
- ICE BRIDGE SHALL BE VALMONT GRIP STRUT TRANSMISSION LINE BRIDGE KIT (P/N: B2734) OR APPROVED EQUAL.
  - CABLE SUPPORT SHALL BE VALMONT DOUBLE LEVEL CHANNEL (P/N: B02264) OR APPROVED EQUAL.
  - ALL COMPONENTS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
  - CONTRACTOR SHALL DETERMINE REQUIRED QUANTITY OF ALL ICE BRIDGE COMPONENTS.
  - SNAP-IN HANGERS, SPLICE KITS, HINGE KITS, EXTENSION KITS, STIFFENERS, AND OTHER MISCELLANEOUS HARDWARE SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED.
  - ICE BRIDGE SHALL BE ROUTED TO ACCOMMODATE THE MINIMUM BENDING RADIUS OF THE COAXIAL CABLE.
  - ICE BRIDGE COMPONENTS SHOWN ARE SCHEMATIC, CONSULT MANUFACTURER FOR EXACT AND CURRENT SPECIFICATIONS.

**ICE BRIDGE DETAIL**  
SCALE: N.T.S.



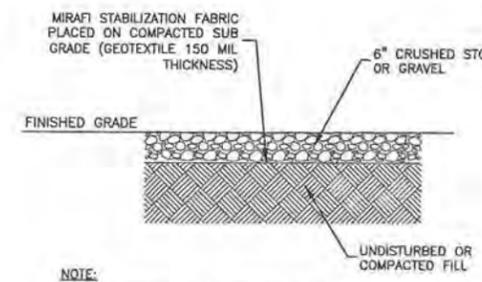
- TRENCH NOTES:**
- IF FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL, EXCAVATED MATERIAL MAY BE USED FOR BACKFILL.
  - IF NOT, PROVIDE CLEAN, COMPACTIBLE MATERIAL COMPACT IN 8" LIFTS. REMOVE ANY LARGE ROCKS PRIOR TO BACKFILLING. CONTRACTOR TO VERIFY LOCATION OF EXISTING U/G UTILITIES PRIOR TO DIGGING.
  - IF CURRENT AS-BUILT DRAWINGS ARE NOT AVAILABLE CONTRACTOR SHALL HAND DIG U/G TRENCHING.
  - CONTRACTOR TO VERIFY SIZE OF CONDUIT WITH WIRING AND TRENCHING INSPECTOR PRIOR TO INSTALLATION.
  - CONCRETE ENCASE UNDER ANY DRIVEN WAYS.
  - CONTRACTOR TO VERIFY LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

**JOINT SERVICE TRENCH BURIED CONDUIT (ELECTRIC/TELEPHONE)**  
SCALE: N.T.S.



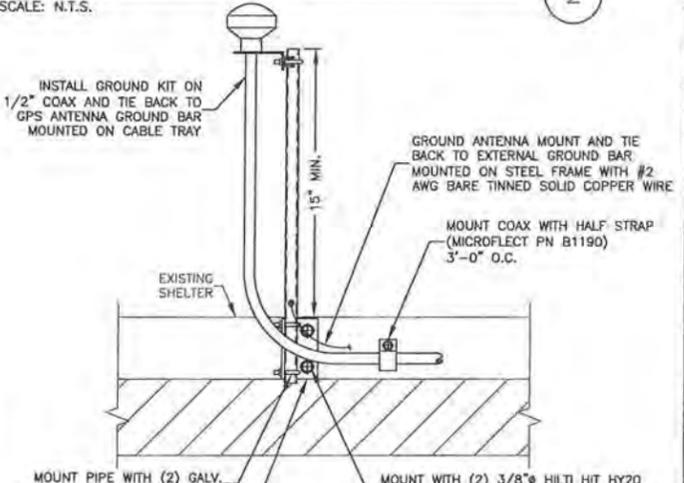
- FENCE NOTES:**
- ALTERNATE FOOTINGS FOR ALL FENCE POSTS IN LEDGE: IF LEDGE IS ENCOUNTERED AT GRADE, OR AT A DEPTH SHALLOWER THAN 3'-6", CORE DRILL AN 8" DIA HOLE 18" INTO THE LEDGE. CENTER POST IN THE HOLE AND FILL WITH CONCRETE OR GROUT. IF LEDGE IS BELOW FINISH GRADE, COAT BACKFILLED SECTION OF POST WITH COAL TAR, AND BACKFILL WITH WELL-DRAINING GRAVEL.
  - ATTACH EACH GATE WITH 1-1/2 PAIR OF NON-LIFT-OFF TYPE, MALLEABLE IRON OR FORGING, PIN-TYPE HINGES. ASSEMBLIES SHALL ALLOW FOR 180° OF GATE TRAVEL.
- FENCE SPECIFICATIONS:**
- CORNER POSTS 3" SS40
  - POSTS FOR 12' GATE 4" SS40
  - POSTS FOR 4' GATE 3" SS40
  - USE A SPLIT GATE FOR 4' GATE
  - LINE POSTS 2.5" SS40
  - TOP RAIL 1.625" SS40
  - BRACE 1.625" SS40
  - GALV 9 GA MESH
  - TRUSSED CORNERS
  - TENSION WIRE

**GATE & FENCE DETAIL**  
SCALE: N.T.S.



- NOTE:**
- FILL SHALL CONSIST OF CLEAN SOIL. NO DELETERIOUS MATERIALS OR ORGANICS TO BE USED.

**GRAVEL YARD DETAIL**  
SCALE: N.T.S.

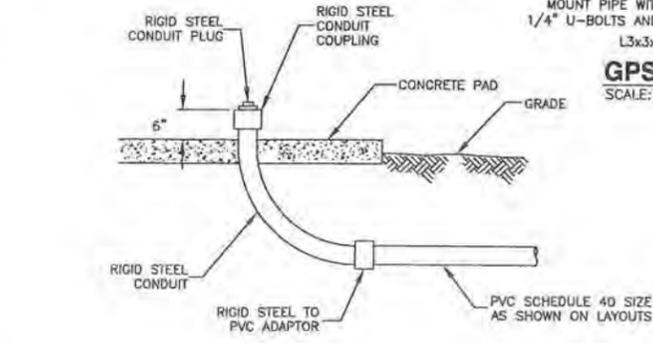


**GPS ANTENNA MOUNT**  
SCALE: N.T.S.

ANTENNA AND COAXIAL CABLE SCHEDULE											
ANTENNA MARK	SECTOR	ANTENNA	COAX CABLE FEED LOC	AZIMUTH (TRUE NORTH)	AZIMUTH (MAGNETIC NORTH)	RAD CENTER	COAXIAL CABLE LENGTH	COAXIAL CABLE	COLOR CODE	MECHANICAL DOWNTILT	ELECTRICAL DOWNTILT
A1	ALPHA	(1) KATHREIN 800 10735V01K	BOTTOM	330°	346°	125'	150'	LCF158-50JA-A7	R	0°	3'
A2	1	(1) KATHREIN 800 10736K	BOTTOM	330°	346°	125'	150'	LCF78-50JA-A7	R(2X)	0°	3'
A3	ALPHA	(1) KATHREIN 800 10735V01K	BOTTOM	330°	346°	125'	150'	LCF158-50JA-A7	R(3X)	0°	3'
B1	BETA	(1) KATHREIN 800 10735V01K	BOTTOM	110°	126°	125'	150'	LCF158-50JA-A7	W	0°	3'
B2	2	(1) KATHREIN 800 10736K	BOTTOM	90°	106°	125'	150'	LCF78-50JA-A7	W(2X)	0°	3'
B3	BETA	(1) KATHREIN 800 10735V01K	BOTTOM	110°	126°	125'	150'	LCF158-50JA-A7	W(3X)	0°	3'
G1	GAMMA	(1) KATHREIN 800 10735V01K	BOTTOM	220°	236°	125'	150'	LCF158-50JA-A7	B	0°	3'
G2	3	(1) KATHREIN 800 10736K	BOTTOM	210°	226°	125'	150'	LCF78-50JA-A7	B(2X)	0°	3'
G3	GAMMA	(1) KATHREIN 800 10735V01K	BOTTOM	220°	236°	125'	150'	LCF158-50JA-A7	B(3X)	0°	3'

- ANTENNA & COAX NOTES:**
- ALL ANTENNAS TO BE FURNISHED WITH DOWNTILT BRACKETS. CONTRACTOR TO COORDINATE REQUIRED MECHANICAL DOWNTILT FOR EACH ANTENNA WITH RF ENGINEERS.
  - ANTENNA CENTERLINE HEIGHT IS ABOVE GROUND LEVEL (AGL).
  - CHECK WITH RF ENGINEER FOR LATEST ANTENNA TYPE AND AZIMUTH.
  - CONTRACTOR SHALL VERIFY ANTENNA TYPE AND AZIMUTH WITH CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL NOT INSTALL SHRINK WRAP UNTIL AFTER CABLES HAVE BEEN SWEEPED.
  - THE USE OF ALTERNATE GROUNDING MEANS (SUCH AS LYNCOLE XII) SHALL COMPLY WITH O.C.E.I. CONSTRUCTION SPECIFICATIONS AND BUILDING PRACTICES.
  - GROUND ANTENNAS PER MANUFACTURER RECOMMENDATIONS.
  - R = RED, W = WHITE, B = BLUE.

**ANTENNA AND COAXIAL CABLE SCHEDULE**  
SCALE: N.T.S.



**UNDERGROUND CONDUIT STUB-UP DETAIL**  
SCALE: N.T.S.

**HIGHLAND SPRINGS**  
SITE NO.: 301332

**CONSTRUCTION DRAWINGS**

NO.	DATE	DESCRIPTION
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REVIEWED BY: \_\_\_\_\_ GMT

CHECKED BY: \_\_\_\_\_ PPB

PROJECT NUMBER: 50002714

JOB NUMBER: 50048661

SITE ADDRESS  
980 SABATTUS STREET  
LEWISTON, ME 04240

SHEET TITLE

CONSTRUCTION DETAILS I

SHEET NUMBER

**HIGHLAND SPRINGS  
SITE NO.: 301332**

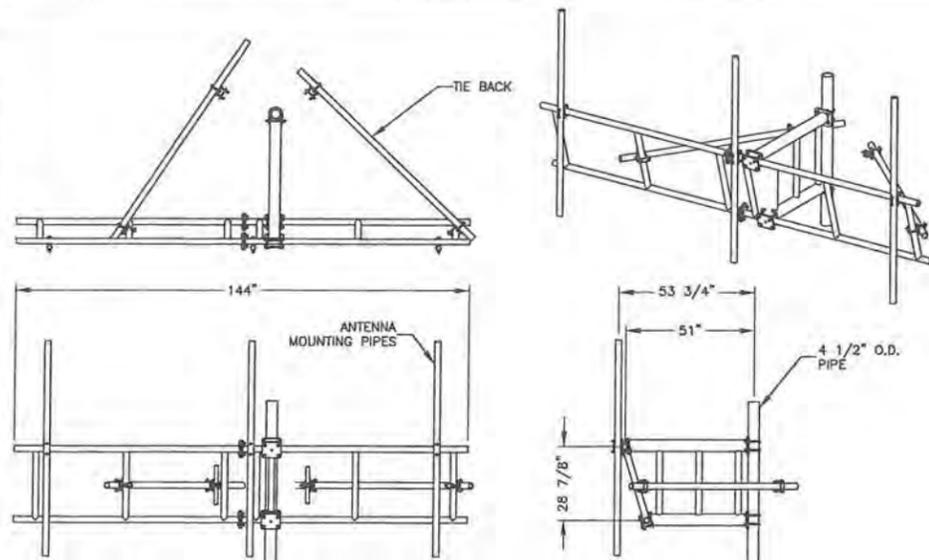
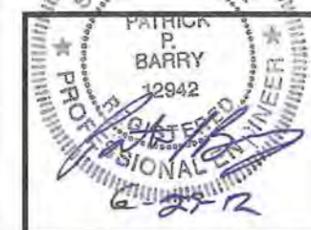
**CONSTRUCTION DRAWINGS**

2	06/29/12	FOR SUBMITTAL
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0	03/09/12	FOR SUBMITTAL
B	03/06/12	FOR COMMENT
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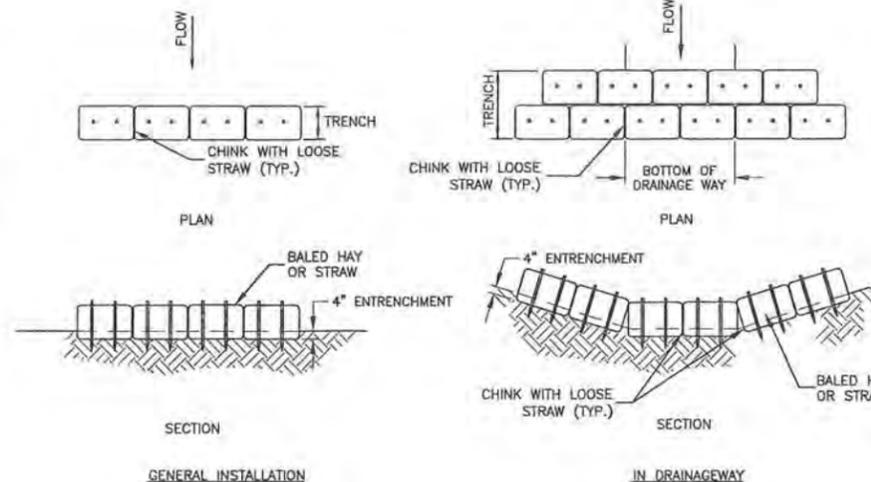


NOTE:  
1. INSTALL ANTENNAS, ANTENNA MOUNT & COAX PER TOWER MANUFACTURER'S DESIGN & RECOMMENDATIONS.

**LOW PROFILE T-FRAME**

SCALE: N.T.S.

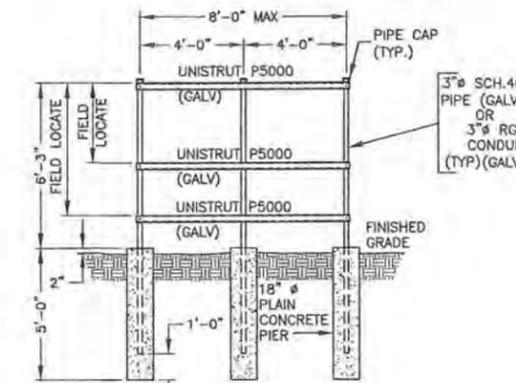
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**HAYBALE INSTALLATION DETAIL**

SCALE: N.T.S.

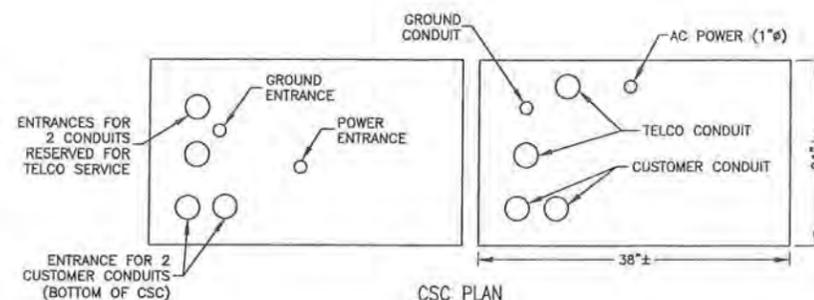
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**METER & DISCONNECT MOUNTING RACK**

SCALE: N.T.S.

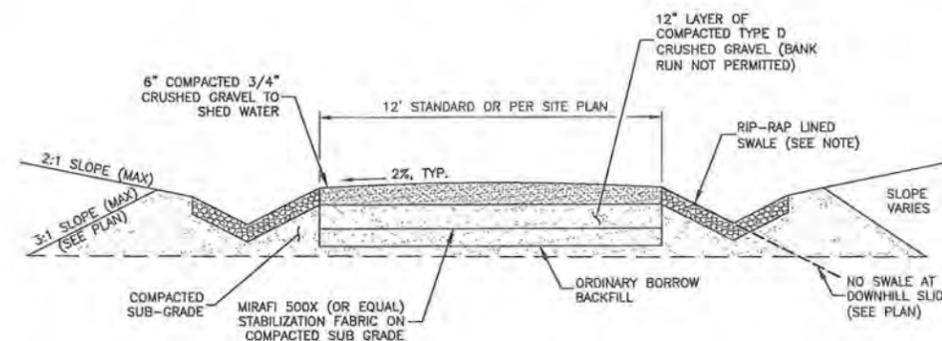
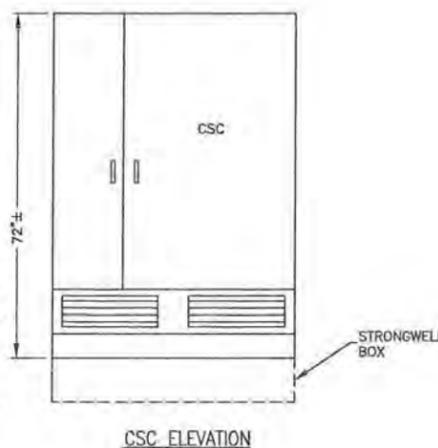
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**CELL SITE CABINET DETAIL**

SCALE: N.T.S.

4



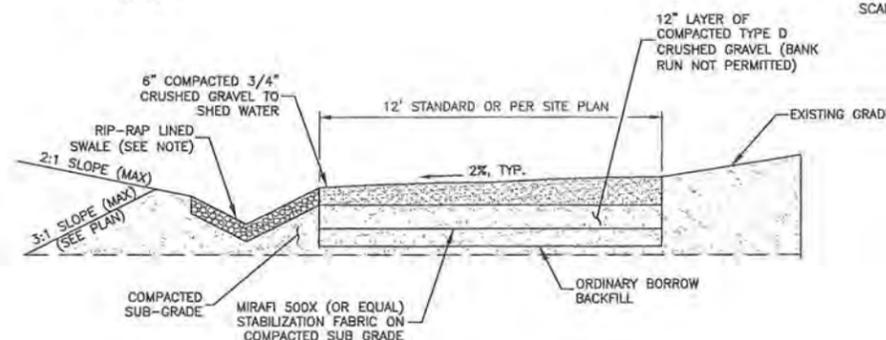
NOTES:

1. RIP-RAP NOT REQUIRED.
2. SUBGRADE AND FILL SHALL CONSIST OF CLEAN SOIL. NO DELETERIOUS MATERIALS OR ORGANICS TO BE USED.
3. REMOVE MINIMUM OF 12" OF TOP SOIL AND ORGANICS BEFORE COMMENCING ACCESS ROAD.

**ROAD CROSS SECTION WITH CROWN  
(STA 0+00 to STA 1+04)**

SCALE: N.T.S.

5



NOTES:

1. RIP-RAP NOT REQUIRED.
2. SUBGRADE AND FILL SHALL CONSIST OF CLEAN SOIL. NO DELETERIOUS MATERIALS OR ORGANICS TO BE USED.
3. REMOVE MINIMUM OF 12" OF TOP SOIL AND ORGANICS BEFORE COMMENCING ACCESS ROAD.

**ROAD CROSS SECTION WITH CROSS SLOPE  
(STA 1+04 to STA 1+63)**

SCALE: N.T.S.

6

DRAWN BY: GMT

REVIEWED BY: GMT

CHECKED BY: PPB

PROJECT NUMBER: 50002714

JOB NUMBER: 50048661

SITE ADDRESS

980 SABATTUS STREET  
LEWISTON, ME 04240

SHEET TITLE

CONSTRUCTION DETAILS II

SHEET NUMBER

**HIGHLAND SPRINGS  
SITE NO.: 301332**

**CONSTRUCTION DRAWINGS**

NO.	DATE	DESCRIPTION
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0	03/09/12	FOR SUBMITTAL
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DRAWN BY: GMT

REVIEWED BY: GMT

CHECKED BY: PPB

PROJECT NUMBER: 50002714

JOB NUMBER: 50048661

SITE ADDRESS

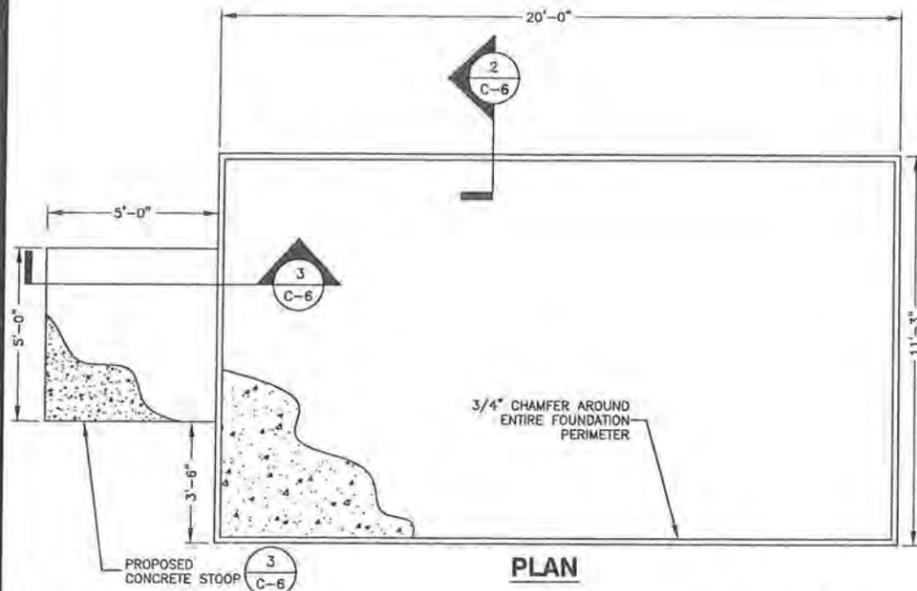
980 SABATTUS STREET  
LEWISTON, ME 04240

SHEET TITLE

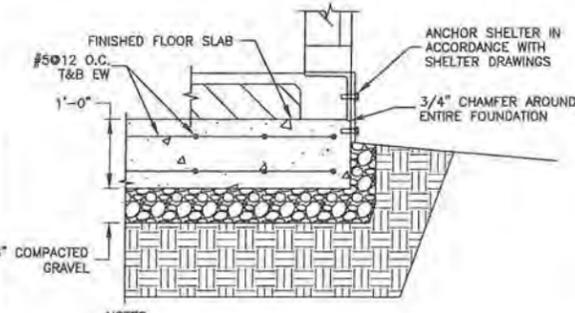
SHELTER  
FOUNDATION DETAILS

SHEET NUMBER

C-6



**PLAN**



**FOUNDATION  
WALL & SLAB DETAIL**

SCALE: 3/4"=1'-0"

- NOTES:**
1. BEARING STRATA MEDIUM TO DENSE INSET GRANULAR MATERIAL OR COMPACTED GRAVEL FILL. 95% COMPACTION.
  2. MAINTAIN 3" MIN. COVER ON ALL STEEL REINFORCEMENT.
  3. IF BEDROCK IS ENCOUNTERED @ A SHALLOW DEPTH USE DETAIL 5, THIS SHEET.

**SPECIFICATIONS AND NOTES:**

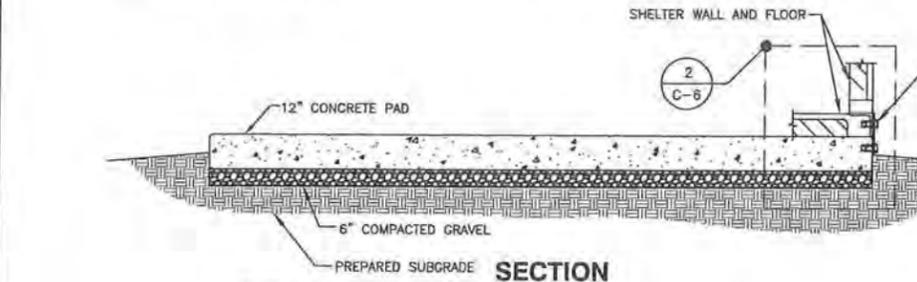
1. SCOPE / SUBMITTALS  
CONCRETE FOR SHELTER FOUNDATION AND FENCE POST SETTING - SUBMIT PROPOSED MODIFICATIONS TO THESE DRAWINGS AND SPECIFICATIONS FOR APPROVAL BY USCC.
2. QUALITY STANDARDS  
COMPLY WITH THE STANDARDS OF THE AMERICAN CONCRETE INSTITUTE, THE CONCRETE REINFORCING STEEL INSTITUTE, AND APPLICABLE ASTM REQUIREMENTS.
3. FORMWORK MATERIALS  
CONCRETE HAS GENERALLY BEEN DESIGNED FOR PLACEMENT AGAINST EARTH OR FILL MATERIALS, HOWEVER, THE TOP 6" MINIMUM OF SHELTER AND TOWER FOUNDATIONS SHALL BE PLACED USING EDGE FORMS. CONSTRUCT FORMWORK TO PROVIDE FINISHED CONCRETE ACCURATE TO LINES AND LEVELS SHOWN ON THE DRAWINGS. CONSTRUCT FORMWORK WITH TIGHT JOINTS TO MINIMIZE LEAKAGE. INCLUDE ALL ACCESSORIES NECESSARY TO SUPPORT EMBEDDED ITEMS DURING PLACEMENT OF CONCRETE.
4. REINFORCING MATERIALS  
REINFORCING BARS SHALL COMPLY WITH ASTM A 615, GRADE 60. STEEL WIRE SHALL COMPLY WITH ASTM A 82. WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A 185. INCLUDE ALL BOLSTERS, CHAIRS, SPACERS AND OTHER DEVICES FOR PROPERLY SECURING THE REINFORCING DURING PLACEMENT OF CONCRETE. ALL REINFORCING MATERIALS SHALL BE CLEANED OF RUST, SCALE AND OTHER MATTER THAT INHIBITS BOND TO CONCRETE.
5. CONCRETE MATERIALS  
CEMENT SHALL COMPLY WITH ASTM C 150, TYPE V, SULFATE RESISTANT. AGGREGATES SHALL COMPLY WITH ASTM C 33 AND SHALL BE WELL GRADED. WATER SHALL BE CLEAN, POTABLE, AND FREE FROM ANY TRACE ELEMENTS THAT MIGHT AFFECT PERFORMANCE OF THE COMPLETED INSTALLATION. ALL CONCRETE SHALL BE AIR ENTRAINED ACCORDING TO ACI RECOMMENDATIONS FOR THE LOCATION OF THIS PROJECT. ANY OTHER ADMIXTURES PROPOSED SHALL BE SUBMITTED TO USCC FOR APPROVAL. MAXIMUM SLUMP SHALL BE 4". STRENGTH SHALL BE 4000 PSI AT 28 DAYS. MODIFY MIX FOR HOT AND COLD WEATHER AS REQUIRED BY ACI 305 AND 306.
6. PLACEMENT AND FINISHING  
INSTALL FORMWORK AND REINFORCING AS REQUIRED FOR CONFIGURATION OF CONCRETE SHOWN ON THE DRAWINGS. PLACE CONCRETE CONTINUOUSLY IN EACH LOCATION, CONSOLIDATE CONCRETE USING EQUIPMENT APPROPRIATE TO EACH CONDITION, LIMITING THE DURATION TO PREVENT BRINGING AN EXCESS OF FINE AGGREGATE TO THE SURFACE. BRING SLABS TO CORRECT LEVEL WITH STRAIGHT EDGE, FLOAT SMOOTH AND TROWEL TO A HARD, DENSE FINISH HAVING A TOLERANCE OF 1/8" IN 10'-0". EXTERIOR WALKING SURFACES SHALL BE GIVEN A BROOMED FINISH PERPENDICULAR TO DIRECTION OF TRAVEL. HOT AND COLD WEATHER PLACEMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 305 AND 306.

**BUILDING FOUNDATION NOTES:**

1. ALL APPLICABLE FEDERAL, STATE AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
2. PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR RESISTANCE TO LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS OF ACI 318 CHAPTER 4 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE. AS A MINIMUM, ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF FC = 4000 P.S.I. AT 28 DAYS TESTING UNLESS NOTED OTHERWISE ON DRAWINGS. ALL CONCRETE SHALL CONTAIN 6% +/- 1% ENTRAINED AIR ADMIXTURE PER ASTM C-260.
3. MAXIMUM SIZE OF CONCRETE AGGREGATE SHALL NOT EXCEED 1 INCH SIZE SUITABLE FOR INSTALLATION METHOD UTILIZED OR ONE-THIRD CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING.
4. APPROVED SPACERS SHALL BE ATTACHED INTERMITTENTLY TO REINFORCEMENTS TO INSURE 3 INCHES COVER FOR ALL REINFORCEMENT.
5. ALL CONCRETE SHALL BE PLACED IN A CONTINUOUS OPERATION AND CONSOLIDATED BY MECHANICAL VIBRATING EQUIPMENT.
6. ALL REINFORCING STEEL SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT/ENGINEER PRIOR TO PLACEMENT OF CONCRETE. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER 48 HOURS BEFORE PLACING CONCRETE.
7. READY MIX CONCRETE SHALL BE IN ACCORDANCE WITH ASTM-C-94.
8. EXCAVATE ALL SOILS CONTAINING ORGANICS. THE BOTTOM OF THE FOUNDATION SHALL BE PLACED ON A MIN. 4 INCH LAYER OF CRUSHED GRAVEL COMPACTED IN 8 INCH MAXIMUM LAYERS TO 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM 0698. ADDITIONALLY, CRUSHED GRAVEL MUST HAVE A MINIMUM COMPACTED UNIT WEIGHT OF 100 POUNDS PER CUBIC FOOT AND MEET THE FOLLOWING GRADATION SPECIFICATION.

SIEVE SIZE	PERCENTAGE BY WEIGHT PASSING
3 INCH	100
2 INCH	95-100
1 INCH	55-85
NO. 4	27-52
NO. 200	0-12

9. U.S. CELLULAR CORPORATION PROJECT MANAGER & DEWBERRY SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS AND SHELTER PLACEMENTS.

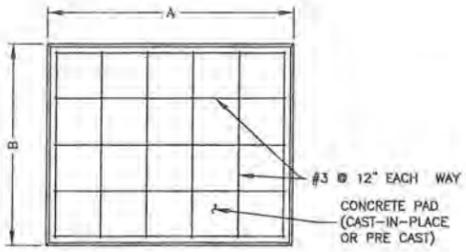


**SECTION**

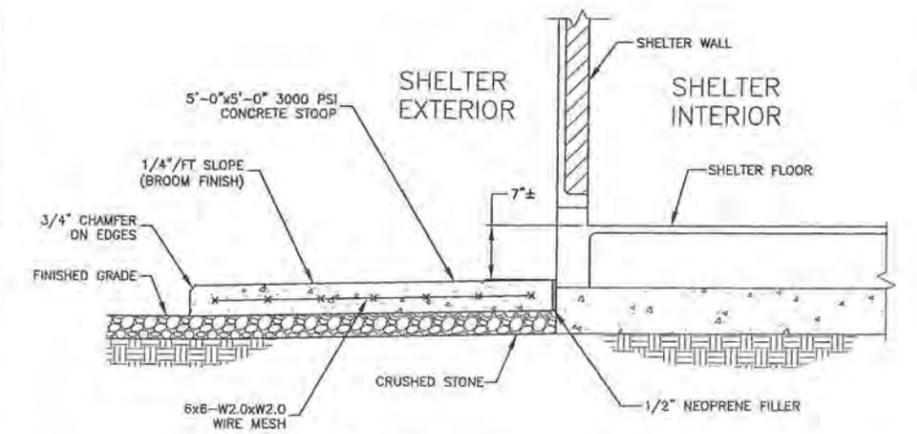
- NOTES:**
1. GRADE SHALL SLOPE AWAY FROM THE CONCRETE PAD TO ALLOW FOR PROPER WATER RUN OFF.
  2. ANCHOR SHELTER TO FOUNDATION PER SHELTER MANUFACTURER RECOMMENDATIONS.
  3. IF BEDROCK IS ENCOUNTERED @ A SHALLOW DEPTH USE DETAIL 5, THIS SHEET.
  4. BEARING STRATA MEDIUM TO DENSE INSET GRANULAR MATERIAL OR COMPACTED GRAVEL FILL. 95% COMPACTION.
  5. SUBGRADE & FILL SHALL CONSIST OF CLEAN SOIL. NO DELETERIOUS MATERIALS OR ORGANICS TO BE USED.

**CONCRETE PAD FOUNDATION**

SCALE: 3/8"=1'-0"



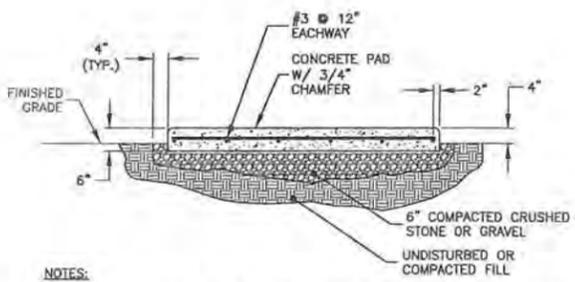
GENERATOR/PROPANE TANK		
A	B	I (THICKNESS)
4'	5'	6"



- NOTE:**
1. VERIFY DOOR LOCATION WITH SHELTER MANUFACTURER PRIOR TO CONSTRUCTION.

**CONCRETE STOOP SECTION**

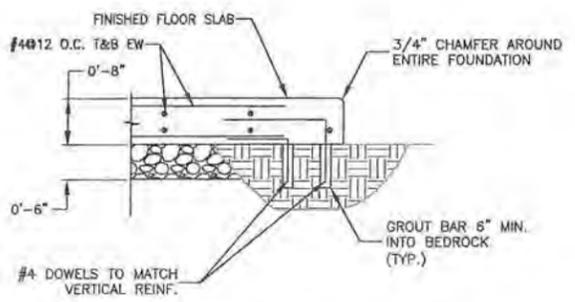
SCALE: N.T.S.



- NOTES:**
1. USE GALVANIZED HILTI EXPANSION ANCHORS OR, APPROVED EQUAL, FOR EQUIPMENT ANCHORAGE.
  2. FOR SIZE AND LOCATION OF ANCHORS AND OTHER REQUIREMENTS, SEE EQUIPMENT VENDOR DRAWINGS.
  3. BEARING STRATA MEDIUM TO DENSE INSET GRANULAR MATERIAL OR COMPACTED GRAVEL FILL. 95% COMPACTION.
  4. SUBGRADE & FILL SHALL CONSIST OF CLEAN SOIL. NO DELETERIOUS MATERIALS OR ORGANICS TO BE USED.

**OUTDOOR PAD FOR  
MINOR EQUIPMENT**

SCALE: N.T.S.



**FOUNDATION SLAB DETAIL @ BEDROCK**

SCALE: 3/4"=1'-0"



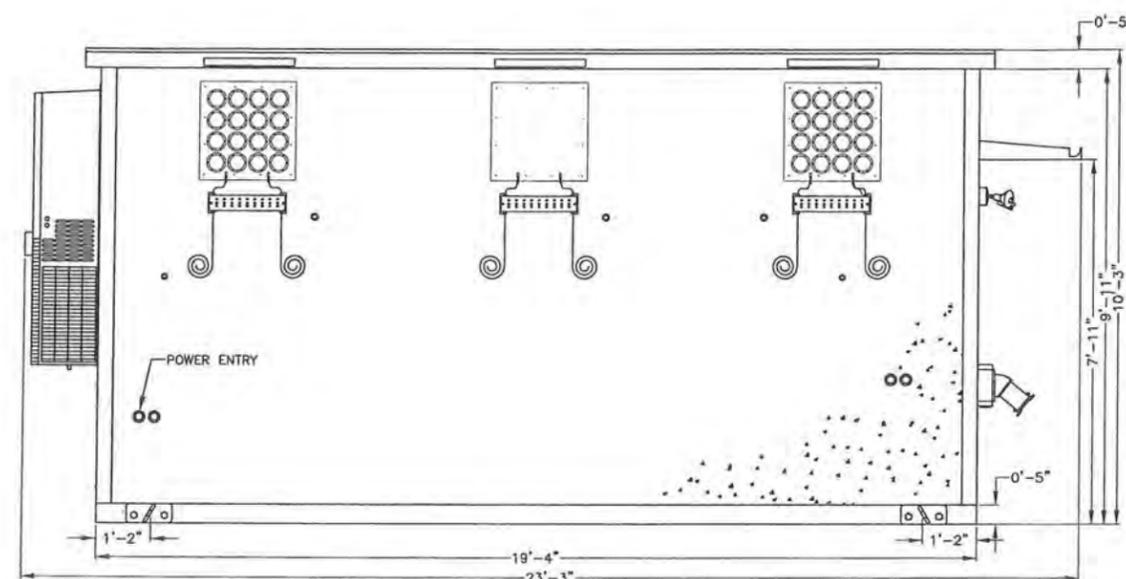
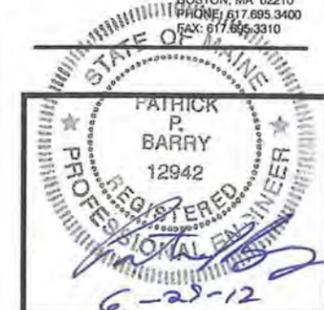
**HIGHLAND SPRINGS  
SITE NO.: 301332**

**CONSTRUCTION DRAWINGS**

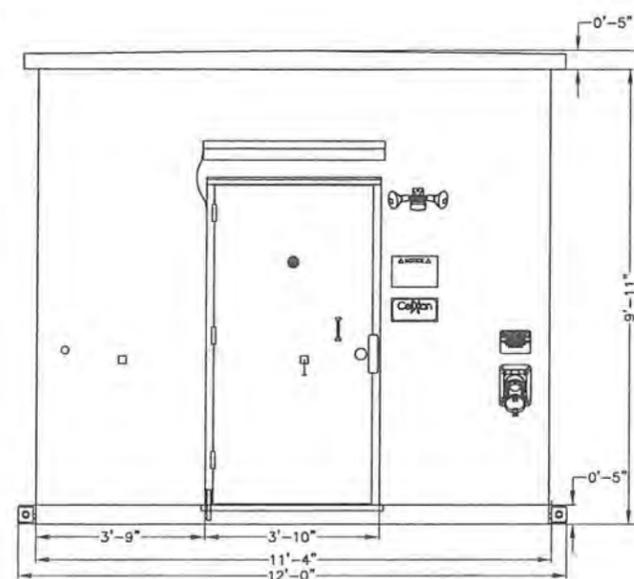
2	06/29/12	FOR SUBMITTAL
1	04/19/12	FOR SUBMITTAL
0	03/09/12	FOR SUBMITTAL
B	03/06/12	FOR COMMENT
A	02/10/12	FOR COMMENT

**Dewberry®**

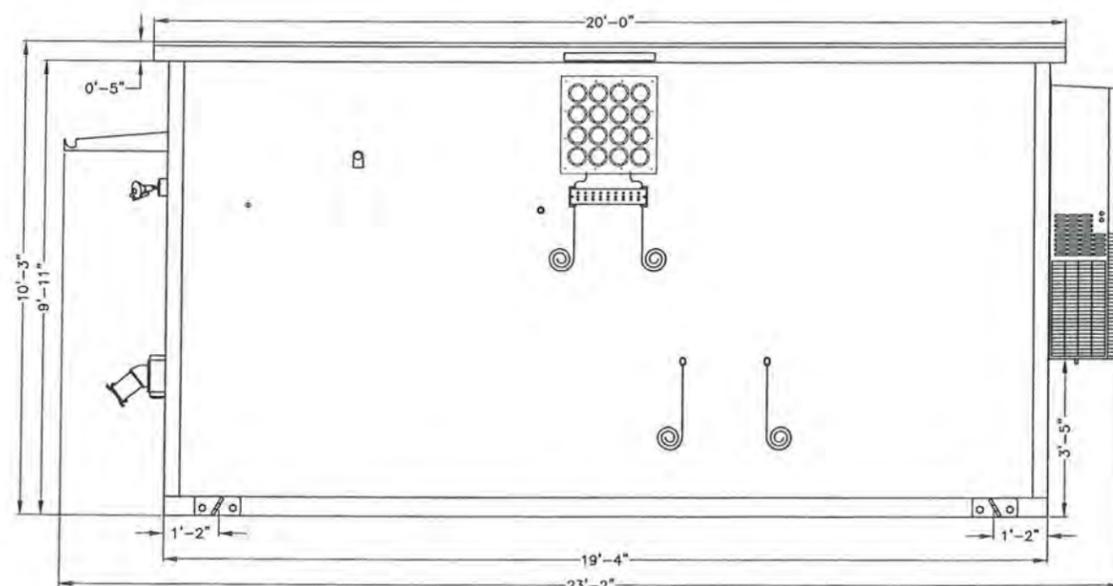
Dewberry Engineers Inc.  
280 SUMMER ST.  
10TH FLOOR  
BOSTON, MA 02210  
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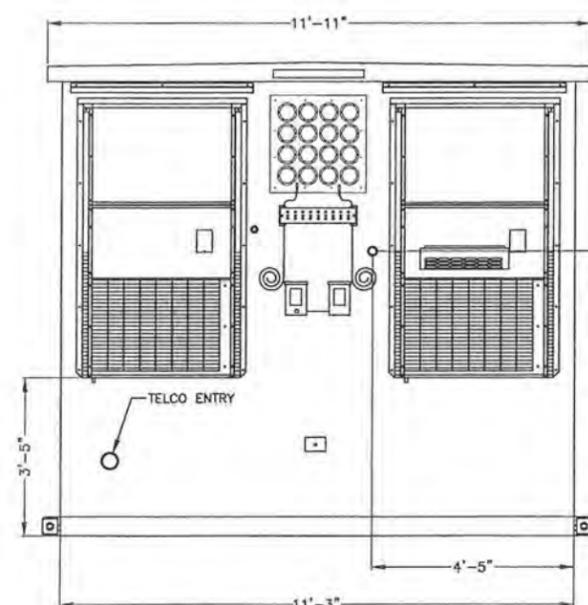
**EXTERIOR ELEVATION WALL 'B'**  
SCALE: N.T.S.



**EXTERIOR ELEVATION WALL 'A'**  
SCALE: N.T.S.



**EXTERIOR ELEVATION WALL 'D'**  
SCALE: N.T.S.



**EXTERIOR ELEVATION WALL 'C'**  
SCALE: N.T.S.

**NOTES:**

- REFER TO CELLXION DRAWING NO. SUSM46 FOR COMPLETE LIST OF PARTS.
- EQUIPMENT SHELTER SHALL HAVE ONE (1) EXTERIOR 100-WATT MOTION DETECTOR OPERATED DOWNWARD DIRECTIONAL LIGHT WITH INTERIOR FULL CUT-OFF SWITCH.

**SHELTER ELEVATIONS**  
SCALE: N.T.S.

1

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980 SABATTUS STREET  
LEWISTON, ME 04240

SHEET TITLE

SHELTER ELEVATIONS

SHEET NUMBER

C-7